

PERMIT SET

# BROOKHAVEN PARK IMPROVEMENTS

## SITE DEVELOPMENT PACKAGE

PREPARED FOR:

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT



**DO NOT BEGIN CONSTRUCTION**  
before the on-site pre-construction meeting  
with the City Land Development Inspector.  
Schedule through the Project Portal:  
<https://cityworks.brookhavenga.gov/ProjectPortal>

The City of Brookhaven does not certify the accuracy of these drawings. In approving these drawings and specifications, the City has relied upon the accuracy of the information and representations furnished herein by the engineer, or architect, and/or applicant. The City of Brookhaven assumes no liability or responsibility for the accuracy of the representations provided.

NOTE: ALL PROPOSED SEWER IS OWNED AND MAINTAINED BY OWNER OF THE PROPERTY. SAP SHALL BE IMPLEMENTED PER APPROVAL BY DEKALB COUNTY D.W.M.

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-	SURVEY (2 OF 4) (PROVIDED FOR REFERENCE)	C2.09A	PIPE CHART	C5.03	SANITARY SEWER DETAILS
-	SURVEY (3 OF 4) (PROVIDED FOR REFERENCE)	C2.10	ESPC PLAN KEY SHEET	C5.11	WATER PLAN
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		C4.07	SITE DETAILS		
		C4.08	SITE DETAILS		

### OWNER

CITY OF BROOKHAVEN  
BUDGET DEPARTMENT  
4362 PEACHTREE ROAD  
BROOKHAVEN, GA 30319  
  
CONTACT: KAREN OWENS  
404.637.0548

### DEVELOPER

CITY OF BROOKHAVEN  
PARKS AND RECREATION DEPARTMENT  
3360 OSBORNE ROAD, NE  
BROOKHAVEN, GA 30319  
CONTACT: BRIAN BORDAN, DIRECTOR  
404.637.0562

### DESIGNER

**LOSE DESIGN**  
LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL  
ENGINEERING/PLANNING  
  
220 WEST CROGAN STREET, SUITE 100  
LAWRENCEVILLE, GEORGIA 30046  
PHONE: 770-338-0017  
CONTACT: AARON ST. PIERRE

### CONSULTANTS

**ELECTRICAL:**  
PARSONS ENGINEERING, INC  
4751 TROUSDALE DRIVE, SUITE 202  
NASHVILLE, TN 37220-1440  
615-386-9396

**STRUCTURAL:**  
EMC STRUCTURAL ENGINEERS, INC  
1000 TROUSDALE DRIVE  
NASHVILLE, TN 37204-4513  
615-781-8199

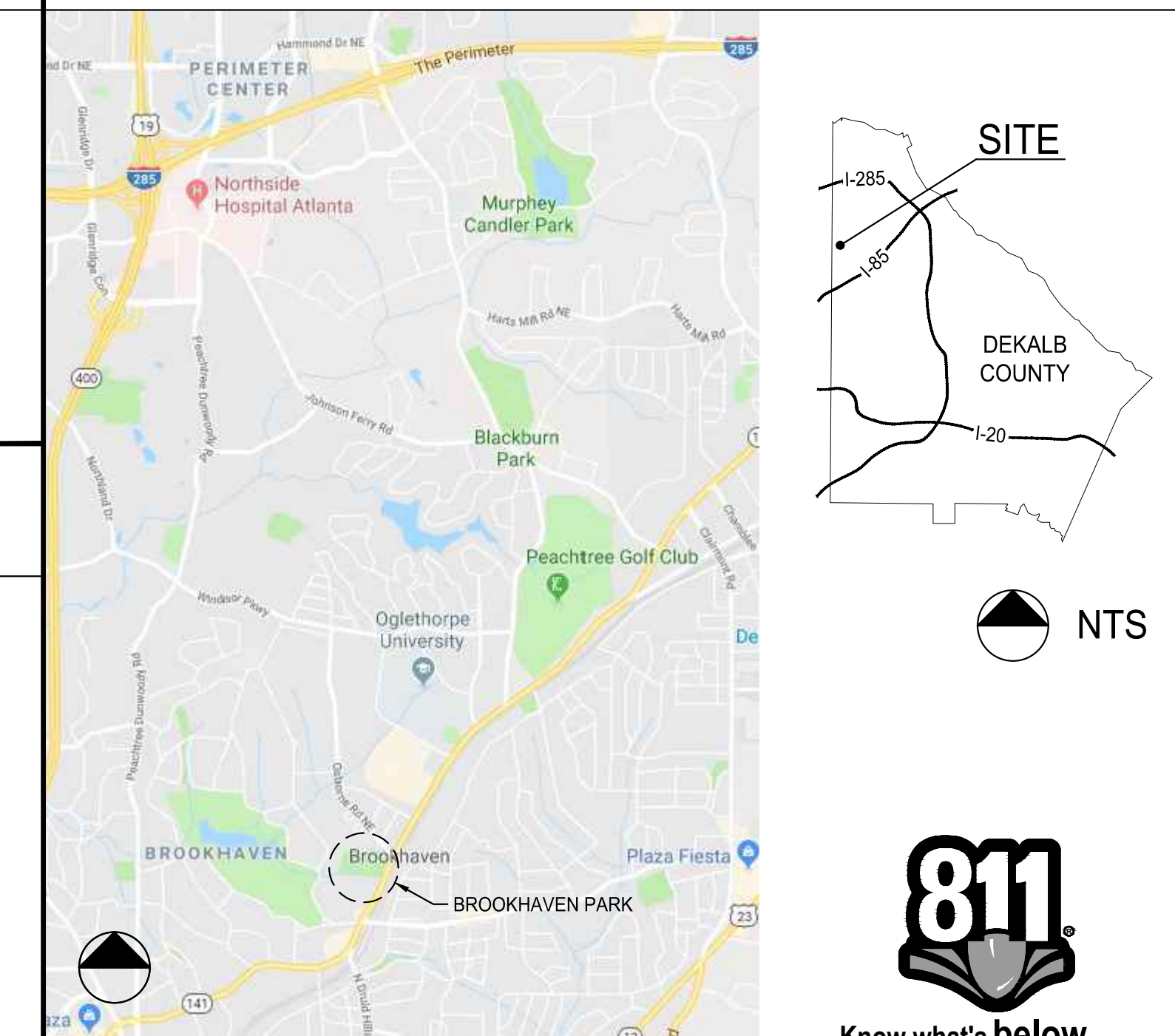
### SITE INFORMATION

- PROPERTY ADDRESS: 2660 OSBORNE RD, NE, ATLANTA, GA 30319
- PARCEL (AFTER COMBINATION PLAT): 18 240 04 067
- ZONING CLASS: PR-1
- TOTAL SITE AREA: ± 912,604 SF (± 20.95 AC.)
- TOTAL SITE IMPERVIOUS AREA: ± 4.62 ACRES
- PERCENTAGE OF SITE IMPERVIOUS: ± 22.1% IMPERVIOUS
- TOTAL DISTURBED AREA: ± 320,166-SF (± 7.35 AC.)
- TOTAL DISTURBED IMPERVIOUS AREA: ± 2.05 ACRES
- PERCENTAGE OF DISTURBED IMPERVIOUS: ± 28.5% IMPERVIOUS

DEKALB COUNTY DEVELOPMENT FILE # 3116284  
REFERENCE APPLICATIONS:  
COMBINATION PLAT: AP# 3121308  
COUNTY LDP: 3061148 (FOR PARCEL 18 240 04 066)  
COUNTY LDP: 3091402 (FOR PARCEL 18 240 04 067)  
CITY OF BROOKHAVEN FILE # LDP22-00013

**PROJECT SCOPE OF WORK:**  
THE PROJECT CONSISTS OF DEMOLITION OF EXISTING STRUCTURES, PAVEMENT, AND PLAYGROUND AREA, MASS GRADING, DRAINAGE IMPROVEMENTS, A NEW ASPHALT PARKING AREA, NEW CONCRETE TRAIL, 6 NEW BUILDINGS (2 RESTROOM BUILDINGS, 2 PICNIC PAVILIONS, AND 2 SHADE STRUCTURES), AND A NEW PLAYGROUND AREA. NEW SANITARY SEWER AND WATER SERVICES ARE BEING PROVIDED WITHIN THE SCOPE OF WORK.

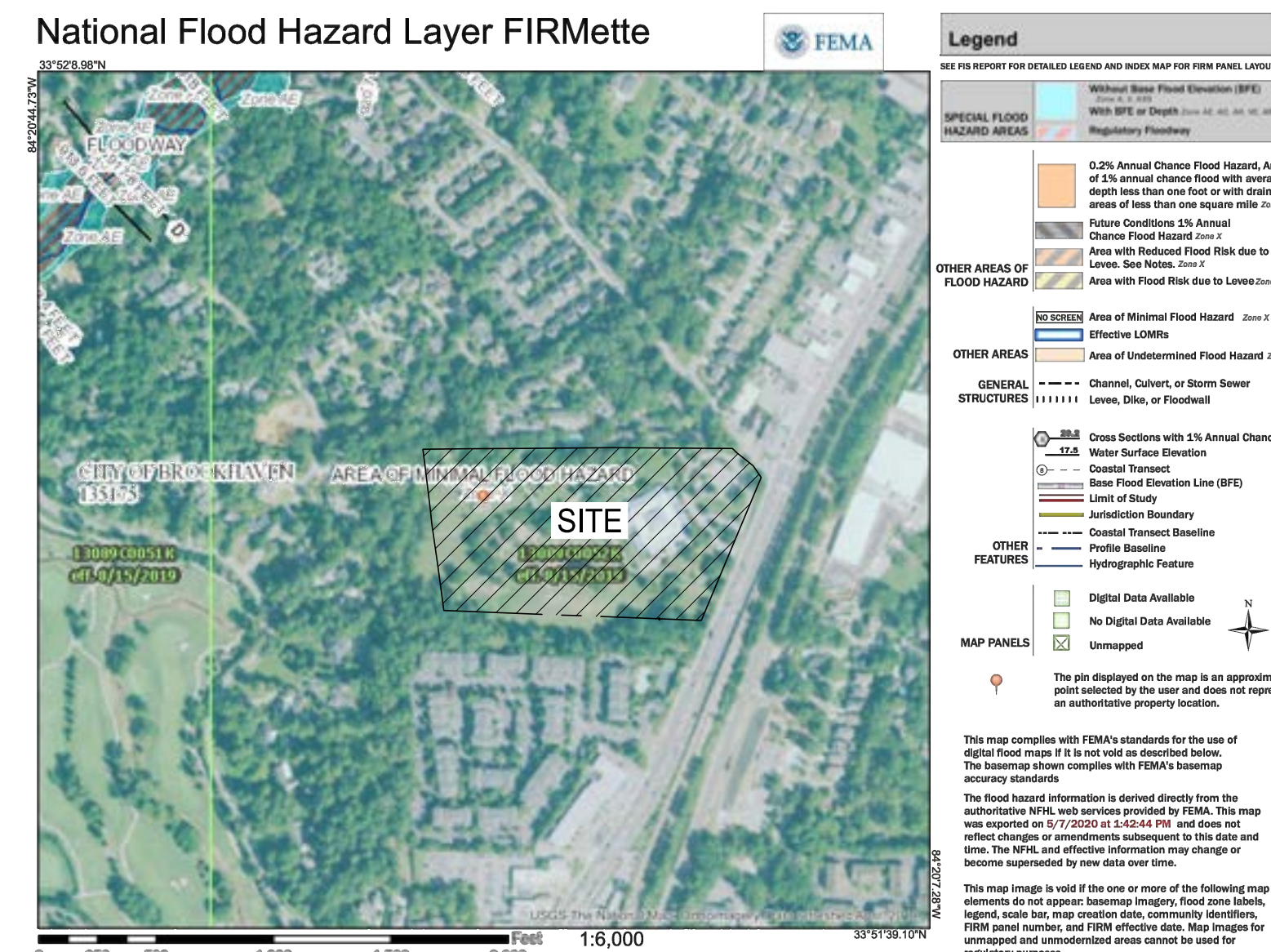
### LOCATION MAP



PRIMARY PERMITTEE / 24-HR  
EMERGENCY CONTACT:  
KAREN OWENS  
CITY OF BROOKHAVEN  
3360 OSBORNE ROAD  
BROOKHAVEN, GA 30319  
PHONE: 404.637.0548

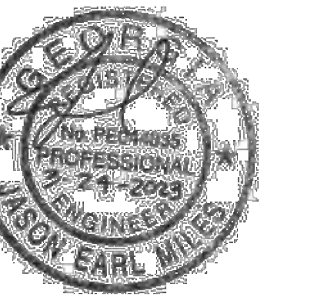
- THERE ARE NO DELINEATED ON-SITE WETLANDS WITHIN 200 FEET OF THE PROJECT SITE
- THE SUBJECT PROPERTY IS WITHIN 200' OF WATERS OF THE STATE REQUIRING STATE AND CITY STREAM BUFFERS.

**DESIGNER GSWCC LEVEL II**  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.



FLOODPLAIN NOTE:  
THIS SITE IS NOT LOCATED WITHIN A ZONE AS DEFINED BY FIRM COMMUNITY PANEL NUMBER 13089C0052K FOR UNINCORPORATED DeKalb COUNTY, GEORGIA (AUGUST 15, 2019).

**LOSE DESIGN**  
SPACES FOR LIFE.



BROOKHAVEN PARK IMPROVEMENTS  
SITE DEVELOPMENT PACKAGE

LAND LOTS 240 & 241, DISTRICT 18  
CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN, GEORGIA

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	09/09/2022	PERMIT REVISIONS
3	04/27/2023	REV. PER CITY COMMENTS (03/23)

ISSUED FOR PERMIT	
SHEET TITLE	
COVER SHEET	
PROJECT NO.	DATE
19002	07/01/2022
DRAWN BY	SCALE
MTG	N/A
CHECKED BY	
DMY	
SHEET NO.	

GENERAL NOTES

- 1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS, LEVELS, PLAN ELEVATIONS, INVERTS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK...

DEMOLITION (CONT.)

- 2. ALL DEMOLISHED MATERIALS (EXCLUDING FOREIGN ITEMS AS LISTED IN 'GENERAL') BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED BY THE OWNERS...

CLEARING & GRUBBING

- 1. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.

DEMOLITION

- 1. DEMOLITION INCLUDES THE FOLLOWING WITHIN THE PROPERTY LINES: 1.1. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED AREA...

EXISTING UTILITIES

- 1. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LOSE DESIGN, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL 811 TO HAVE EXISTING UTILITIES MARKED.

DEVELOPMENT

- 1. NOTIFY OWNER AND LOSE DESIGN AT 50, 95, AND 100 PERCENT COMPLETION OF EVERY PHASE OF CONSTRUCTION

GRADING

- 1. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS.

LAYOUT

- 1. ALL LAYOUT MEASUREMENTS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. 2. COORDINATE POINTS SHOWN ARE TAKEN FROM BASE INFORMATION PROVIDED BY OTHERS.

ADA REQUIREMENTS

- 1. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36CFR PARTS 1190 AND 1191.

TREE PROTECTION / REMOVAL

- 1. EXISTING TREES ON-SITE TO BE REMOVED HAVE BEEN MARKED ON THE SITE PLANS WITH AN 'X'. ONLY THOSE MARKED TREES SHALL BE REMOVED. CONTRACTOR SHALL PROCEED WITH THE FOLLOWING FOR TREES TO BE REMOVED ONLY:

TREE PROTECTION / REMOVAL (CONT.)

- 2.10. IN THE EVENT OF UTILITY LINE ADJUSTMENTS, ADDITIONS OR RELOCATIONS, THE CONTRACTOR SHALL WORK WITH THE UTILITY PROVIDER AND INSTALLER TO ROUTE THE UTILITY LINE OUTSIDE OF THE TREE PROTECTION ZONE.

BROOKHAVEN TREE PROTECTION NOTES:

- 1. TREES IDENTIFIED TO BE PRESERVED AND COUNTED TOWARD THE TREE DENSITY REQUIREMENTS SHALL HAVE TEMPORARY FHAIN LINK FENCE OR FOUR FOOT ORANGE TREE PROTECTION FENCING AND STAKED HAY BALES INSTALLED AT OR BEYOND THE CRITICAL ROOT ZONE.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes ASPH - ASPHALT, @ - AT, BOC - BOTTOM OF CURB, BPF - BACKFLOW PREVENTER, BS - BOTTOM OF STEP, BW - BOTTOM OF WALL, CL - CENTERLINE, CJ - CONTROL JOINT, CO - COMPANY, CONT - CONTINUOUS, CY - CUBIC YARD, DIA - DIAMETER, DR - DRIVE, EJ - EXPANSION JOINT, ELEC - ELECTRIC, ELEV - ELEVATION, FH - FIRE HYDRANT, EX - EXISTING, FT - FEET, FL - FLOW LINE, GALV - GALVANIZED, HPT - HIGH POINT, HT - HEIGHT, HW - HEADWALL, HYD - HYDRANT, ID - INSIDE DIAMETER, JUNC - JUNCTION, LOC - LIMITS OF CLEARANCE, L.O.D. - LIMITS OF DISTURBANCE, LF - LINEAR FEET, MAX - MAXIMUM, MN - MINIMUM, MH - MANHOLE, MPH - MILES PER HOUR, NIC - NOT IN CONTRACT, NO - NUMBER, OC - ON CENTER, OD - OUTSIDE DIAMETER, PD - PERFORATED DRAIN, PL - PROPERTY LINE, POB - POINT OF BEGINNING, PP - POWER POLE, R - RADIUS, ROW - RIGHT OF WAY, SERV - SERVICE, SCH - SCHEDULE, SF - SQUARE FEET, S.F. - SILT FENCE, SQ - SQUARE, SY - SQUARE YARD, SIG - SIGNAL, SPEC - SPECIFICATION(S), STA - STATION, ST - STREET, T - TELEPHONE, TC - TOP OF CASTING, TOC - TOP OF CURB, TF - TOP OF FOOTING, TP - TOP OF PAVEMENT, TS - TOP OF STEP, TW - TOP OF WALL, TYP. - TYPICAL, VERT - VERTICAL, W - WATER, WS - WATER SERVICE, WW - WATER VALVE, WWF - WELDED WIRE FABRIC

Table with 2 columns: Abbreviation and Full Name. Includes BVCS - BEGINNING OF VERTICAL CURVE STATION, EVCS - ENDING OF VERTICAL CURVE STATION, EVC - ENDING OF VERTICAL CURVE ELEVATION, PVI - POINT OF VERTICAL INTERSECTION

NOTE: THESE ABBREVIATIONS ARE GENERAL. INDIVIDUAL SHEETS MAY INCLUDE OTHERS.

"C" SHEETS LEGEND

Legend table with symbols and descriptions: OE OVERHEAD ELECTRIC, UE UNDERGROUND ELECTRIC, G GAS, W WATER, SW STORM SEWER, SS SANITARY SEWER, BENCHMARK, FIRE HYDRANT



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GENERAL NOTES

BROOKHAVEN PARK IMPROVEMENTS SITE DEVELOPMENT PACKAGE CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT LAND LOTS 240 & 241, DISTRICT 18 BROOKHAVEN GEORGIA

Table with 2 columns: NO. and DESCRIPTION. Header: SUBMITTALS / REVISIONS

ISSUED FOR PERMIT

SHEET TITLE

GENERAL NOTES



Know what's below. Call before you dig.

C0.01 APPROVED PLAN 05/31/2023 Permit # LDP22-00013

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**BROOKHAVEN PARK IMPROVEMENTS**  
**SITE DEVELOPMENT PACKAGE**

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
LAND LOTS 240 & 241, DISTRICT 18  
BROOKHAVEN GEORGIA

SUBMITTALS / REVISIONS	
NO.	DESCRIPTION
1	09/09/2022 PERMIT REVISIONS

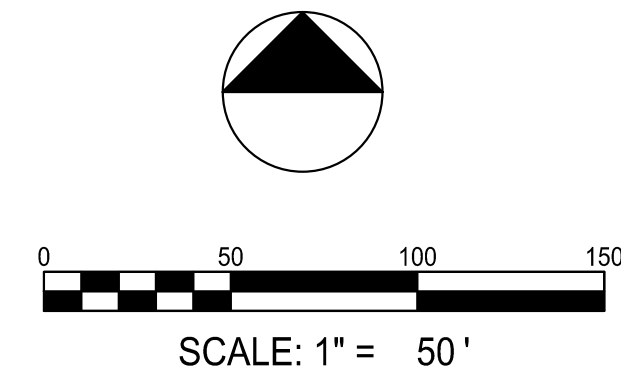
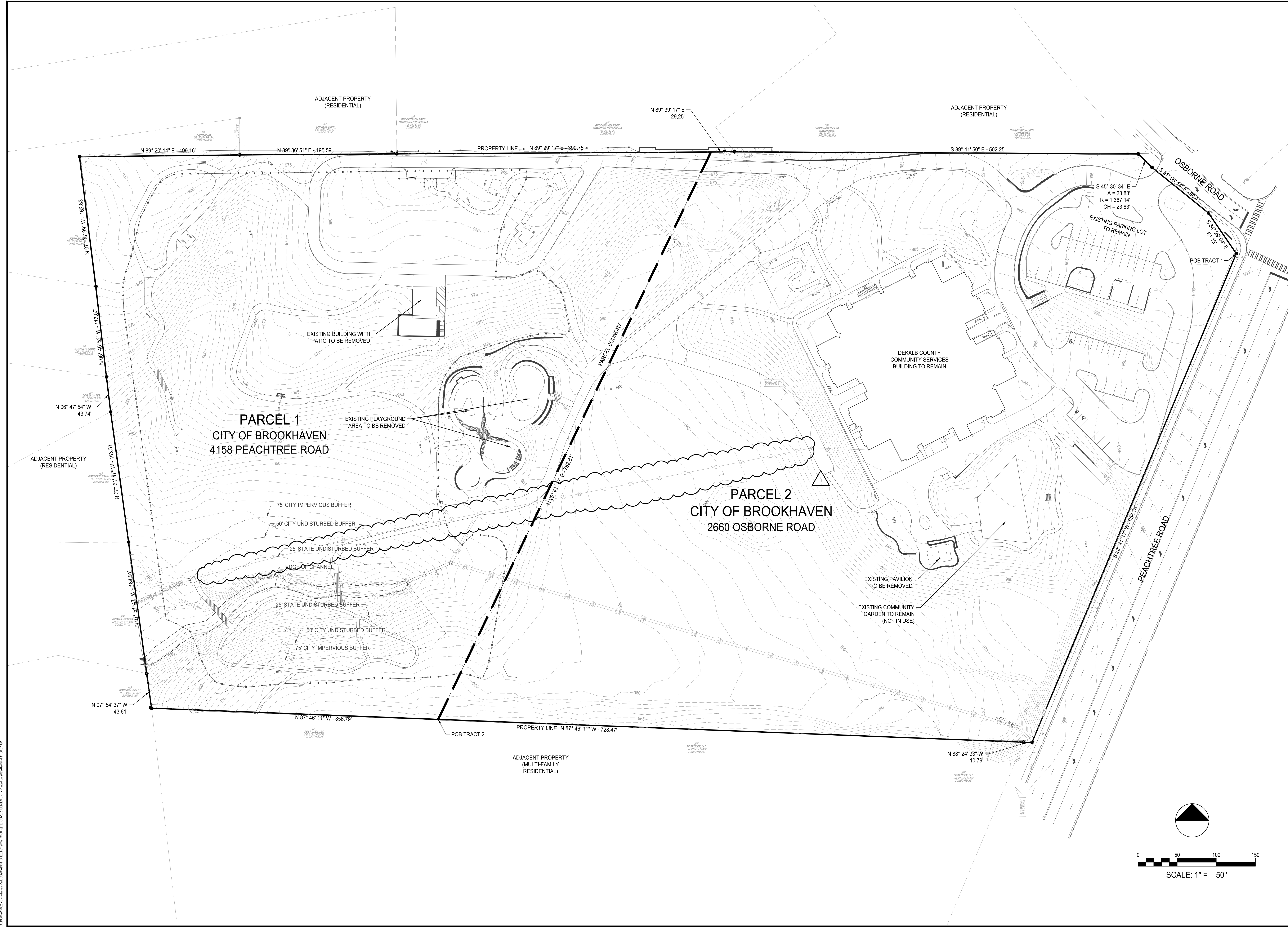
ISSUED FOR PERMIT

SHEET TITLE

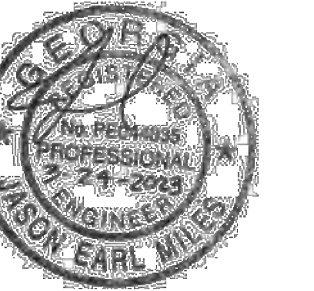
OVERALL EXISTING CONDITIONS PLAN

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	
SHEET NO.	

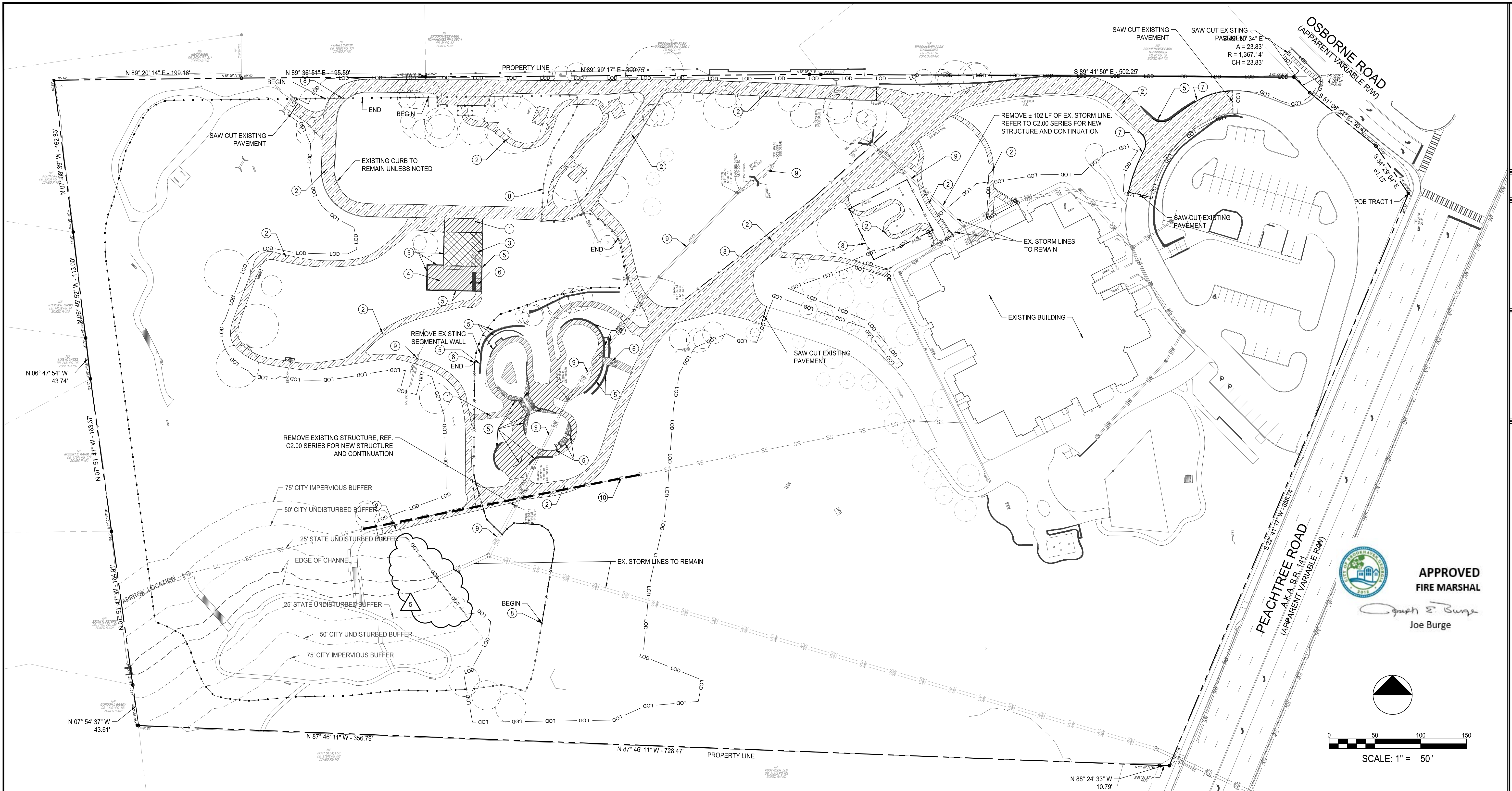
**C0.02**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013



0:\19002\1902 - Brookhaven Park Development - SHEETS\19002\_005\_SITELAYOUT\_SITES.dwg - 7/1/2022 11:38:57 AM



**BROOKHAVEN PARK IMPROVEMENTS  
SITE DEVELOPMENT PACKAGE**



**APPROVED  
FIRE MARSHAL**  
*Joseph E. Burge*  
Joe Burge

SCALE: 1" = 50'

**GENERAL BUILDING DEMOLITION NOTES**

- A. GENERAL INTENT IS TO DEMOLISH AND REMOVE EXISTING CONSTRUCTION AS NOTED AND AS REQUIRED FOR THE NEW DESIGN. COORDINATE THIS WORK WITH EXISTING CONDITIONS AND ALL CONTRACT DOCUMENTS.
- B. INTENT IS FOR ENTIRE BUILDING TO BE REMOVED IN ENTIRETY. ROOF, INTERIOR AND EXTERIOR WALLS, DOORS, WINDOWS, ETC. TO BE REMOVED. ALL FINISHES AND FURNISHINGS TO BE REMOVED. BUILDING FOUNDATION TO BE REMOVED AND BACKFILLED AND COMPACTED AS REQUIRED TO PROVIDE ACCEPTABLE SOILS FOR NEW CONSTRUCTION. CAP ALL UTILITIES TO REMAIN FOR FUTURE USE AS REQUIRED.
  - (1) EXISTING ELECTRICAL SYSTEM TO BE REMOVED IN ENTIRETY
  - (2) EXISTING PLUMBING SYSTEM TO BE REMOVED IN ENTIRETY.
  - (3) EXISTING HVAC DUCTWORK TO BE REMOVED IN ENTIRETY
- C. THE CONTRACTOR SHALL VISIT PROJECT DURING BID PERIOD, ATTEND ALL PRE-BID CONFERENCES, AND BECOME FAMILIAR WITH THE ENTIRE SCOPE OF WORK. CONTRACTOR'S BID PROPOSAL SHALL BE BASED IN PART BY HIS OBSERVANCE OF ALL EXISTING CONDITIONS.
 

**CONTRACTOR SHALL CLARIFY HIS BID TO INDICATE ANY AREAS THEY WERE NOT ABLE TO GAIN ACCESS TO VIEW EXISTING CONDITIONS.**
- D. POOL WILL BE CLOSED DURING DEMOLITION AND CONSTRUCTION OF RENOVATION PROJECT. COORDINATE AND SCHEDULE ALL WORK WITH OWNER AND BUILDING OFFICIALS, INCLUDING MAINTAINING OF ANY REQUIRED EXITING.
- E. THE CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR ALL SHORING, BRACING, SCAFFOLDING, ETC., AND THEIR STRENGTH AND ADEQUACY, PROPER USE, OPERATION, AND MAINTENANCE.
- F. UNLESS OTHERWISE DIRECTED, SHOWN, OR SPECIFIED, ALL MATERIALS AND EQUIPMENT REMOVED OR DEMOLISHED, EXCEPT THOSE NOTED TO BE SALVAGED OR RELOCATED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF LEGALLY.

- G. CARE SHALL BE TAKEN TO AVOID DAMAGING OR DISTURBING EXISTING CONSTRUCTION WHICH IS INDICATED TO REMAIN. AT NO EXPENSE TO OWNER, CONTRACTOR SHALL MAKE ANY REPAIRS NECESSARY TO RECTIFY DAMAGE AND RESTORE EXISTING CONSTRUCTION TO UNDAMAGED STATE EXISTING PRIOR TO COMMENCEMENT OF WORK.
- H. EXISTING ELECTRICAL, PLUMBING, VENT, AND GAS LINES THAT ARE TO BE ABANDONED SHALL BE CAPPED IN WALLS OR UNDER FLOOR, OR AS NOTED IN PLAN DEMOLITION NOTES, OR AS REQUIRED BY CODE. PATCH DEMOLISHED AREAS FLUSH WITH ADJACENT SURFACES USING LIKE MATERIALS. REMOVE WIRING BACK TO PANEL.
- I. WHERE EXISTING ACTIVE ELECTRICAL EQUIPMENT, COMMUNICATION LINES, ETC. (THAT REMAIN) ARE ATTACHED TO WALLS THAT WILL BE REMOVED, REROUTE AND RE-SUPPORT LINES AS NECESSARY FOR TEMPORARY USE FOR PROPER INSTALLATION OF NEW CONSTRUCTION.
- J. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, SANITARY SEWERS, ELECTRICAL AND FOUNDATIONS, ETC. BEFORE COMMENCING ANY SAWCUTTING OR DIGGING.
- K. REFER TO REMAINDER OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION AND ADDITIONAL MISCELLANEOUS DEMOLITION.
- L. HAZARDOUS MATERIALS HAVE NOT BEEN IDENTIFIED IN THE EXISTING STRUCTURES.
  - 1. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK.
  - 2. IF HAZARDOUS MATERIALS ARE ENCOUNTERED OR IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER.
  - 3. DECISION WILL BE MADE ON DIRECTION OF ABATEMENT:
    - a. OPTION 1 - HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT BY LICENSED CONTRACTOR FAMILIAR AND ALE TO PERFORM ALL REQUIRED HAZARDOUS MATERIALS ABATEMENT SERVICES.
    - b. OPTION 2 - HAZARDOUS MATERIALS WILL BE REMOVED BY GENERAL CONTRACTOR UNDER A SEPARATE CONTRACT BY LICENSED CONTRACTOR FAMILIAR AND ALE TO PERFORM ALL REQUIRED HAZARDOUS MATERIALS ABATEMENT SERVICES.

**SITE DEMO NOTES**

- 1. SEE SHEET C0.01 FOR ADDITIONAL DEMOLITION NOTES.
- 2. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS IMMEDIATELY UPON DISCOVERY.
- 3. CONTRACTOR TO COORDINATE WITH OWNER FOR STORAGE LOCATIONS FOR CONSTRUCTION MATERIALS TO BE SALVAGED.
- 4. PRIOR TO BEGINNING DEMOLITION, ENSURE EROSION AND INLET PROTECTION ARE IN PLACE.
- 5. DISPOSE OF DEMOLISHED MATERIALS LEGALLY OFF SITE.
- 6. ANY DAMAGES TO EXISTING ITEMS TO REMAIN SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 7. SITE BOUNDARY SHALL BE FENCED WITH STANDARD STAKED ORANGE CONSTRUCTION FENCING.
- 8. ALL LIGHTING AND LIGHTING EQUIPMENT TO REMAIN SHALL BE PROTECTED IN PLACE WITH TREE PROTECTION FENCING PRIOR TO DEMOLITION.
- 9. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT BY GEOHYDRO ENGINEERS, DATED MAY 30, 2019. GEOHYDRO REPORT NO. 190367.20.
- 10. CONTRACTOR TO BACKFILL AND COMPACT ANY HOLES/VOIDS CAUSED BY DEMO WORK.
- 11. EXISTING UTILITIES MAY BE PRESENT THAT WERE NOT IDENTIFIED ON THE SURVEY, IF THE CONTRACTOR ENCOUNTERS ANY SUCH UTILITY, CONTRACTOR TO NOTIFY OWNER AND DESIGNER IMMEDIATELY. ANY UTILITIES IDENTIFIED TO BE CUT OFF SHALL BE REMOVED THE THE EXTENT NECESSARY FOR PROPOSED WORK, THEM CAPPED AND SEALED IN PLACE.

**LEGEND:**

- EXISTING CONCRETE PAVEMENT REMOVAL SEE DEMO REFERENCE 1, THIS SHEET
- EXISTING ASPHALT PAVEMENT REMOVAL SEE DEMO REFERENCE 2, THIS SHEET
- STRUCTURE REMOVAL (BUILDINGS, RETAINING WALLS, ETC.) SEE DEMO REFERENCE 3, 4, 5, 6, 7, THIS SHEET
- SAW CUT LINE (PROVIDE CLEAN, STRAIGHT EDGE AT EXISTING PAVEMENT)
- EXISTING FENCE TO BE REMOVED SEE DEMO REFERENCE 8, THIS SHEET
- LIMITS OF DISTURBANCE
- EXISTING SANITARY SEWER LINE TO BE REMOVED

**DEMOLITION REFERENCES:**

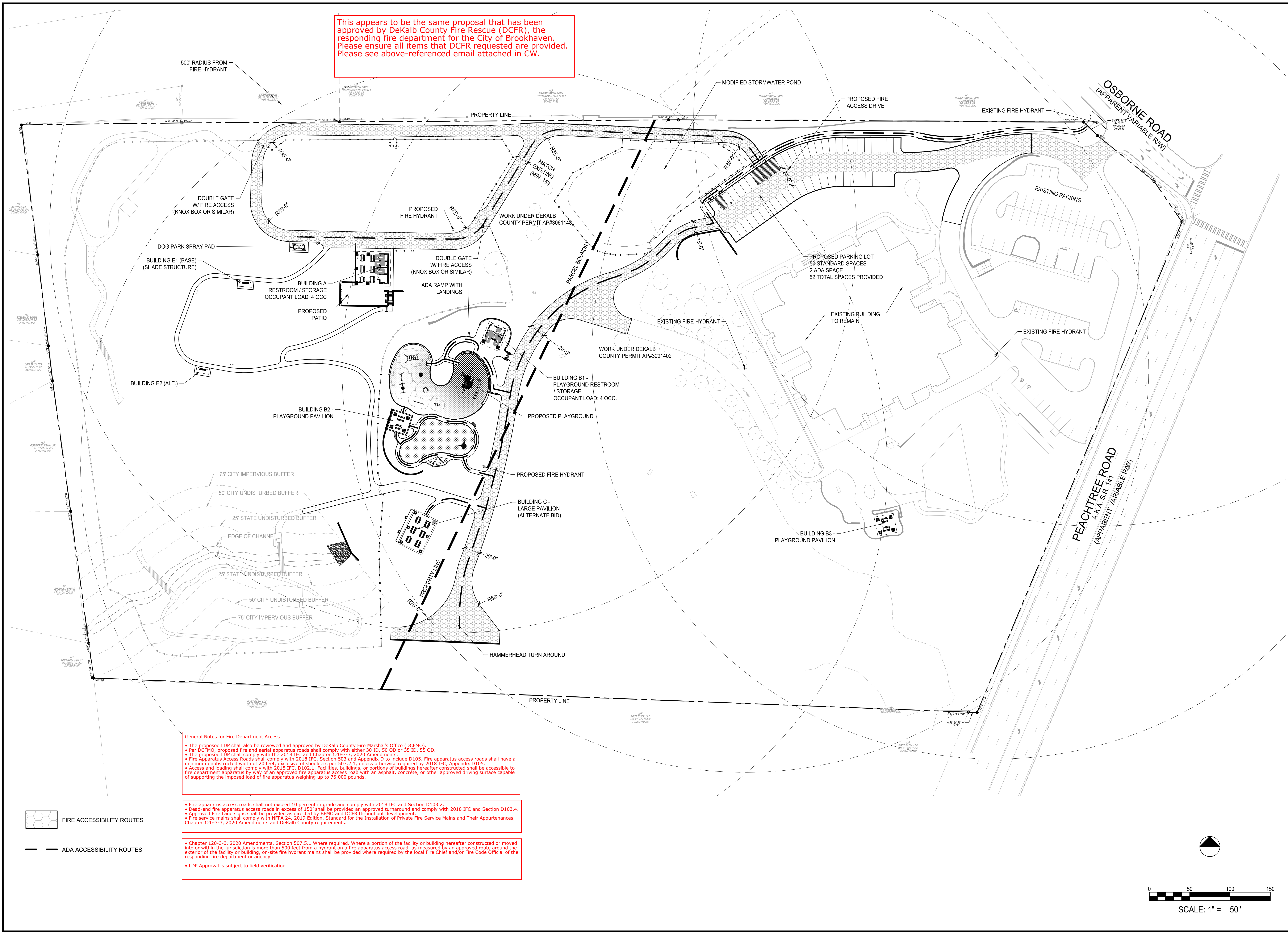
- 1. REMOVE EXISTING CONCRETE PAVEMENT.
- 2. REMOVE EXISTING ASPHALT PAVEMENT.
- 3. REMOVE EXISTING BUILDINGS, INCLUDING ALL UTILITY CONNECTIONS, PAVEMENT, SITE FURNISHINGS, ETC. SEE BUILDING DEMOLITION NOTE FOR ADDITIONAL INFORMATION.
- 4. REMOVE EXISTING PATIO AND STRUCTURE
- 5. REMOVE EXISTING WALL WITH FOUNDATION.
- 6. REMOVE EXISTING CONCRETE STAIRS WITH FOUNDATION.
- 7. REMOVE EXISTING CURB
- 8. REMOVE EXISTING FENCE AND FOOTING FOUNDATIONS
- 9. REMOVE STORM LINES (SIZES VARY)
- 10. REMOVE SANITARY SEWER LINE.

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
5	05/19/2023	PER CITY REVIEW 05/11/2023

ISSUED FOR PERMIT  
SHEET TITLE  
**DEMOLITION PLAN**

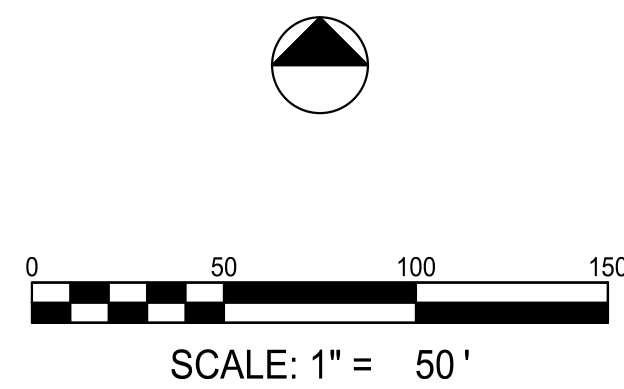
PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	SHEET NO.

This appears to be the same proposal that has been approved by DeKalb County Fire Rescue (DCFR), the responding fire department for the City of Brookhaven. Please ensure all items that DCFR requested are provided. Please see above-referenced email attached in CW.



- General Notes for Fire Department Access**
- The proposed LDP shall also be reviewed and approved by DeKalb County Fire Marshal's Office (DCFMO).
  - Per DCFMO, proposed fire and aerial apparatus roads shall comply with either 30 ID, 50 OD or 35 ID, 55 OD.
  - The proposed LDP shall comply with the 2018 IFC and Chapter 120-3-3, 2020 Amendments.
  - Fire Apparatus Access Roads shall comply with 2018 IFC, Section 503 and Appendix D to include D105. Fire apparatus access roads shall have a minimum unobstructed width of 20 feet, exclusive of shoulders per 503.2.1, unless otherwise required by 2018 IFC, Appendix D105.
  - Access and loading shall comply with 2018 IFC, D102.1. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds.
- Fire apparatus access roads shall not exceed 10 percent in grade and comply with 2018 IFC and Section D103.2.
  - Dead-end fire apparatus access roads in excess of 150' shall be provided an approved turnaround and comply with 2018 IFC and Section D103.4.
  - Approved Fire Lane signs shall be provided as directed by BFMG and DCFR throughout development.
  - Fire service mains shall comply with NFPA 24, 2019 Edition, Standard for the Installation of Private Fire Service Mains and Their Appurtenances, Chapter 120-3-3, 2020 Amendments and DeKalb County requirements.
- Chapter 120-3-3, 2020 Amendments, Section 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 500 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrant mains shall be provided where required by the local Fire Chief and/or Fire Code Official of the responding fire department or agency.
  - LDP Approval is subject to field verification.

FIRE ACCESSIBILITY ROUTES  
 ADA ACCESSIBILITY ROUTES



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**BROOKHAVEN PARK IMPROVEMENTS**  
**SITE DEVELOPMENT PACKAGE**  
 CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
 LAND LOTS 240 & 241, DISTRICT 18  
 BROOKHAVEN, GEORGIA

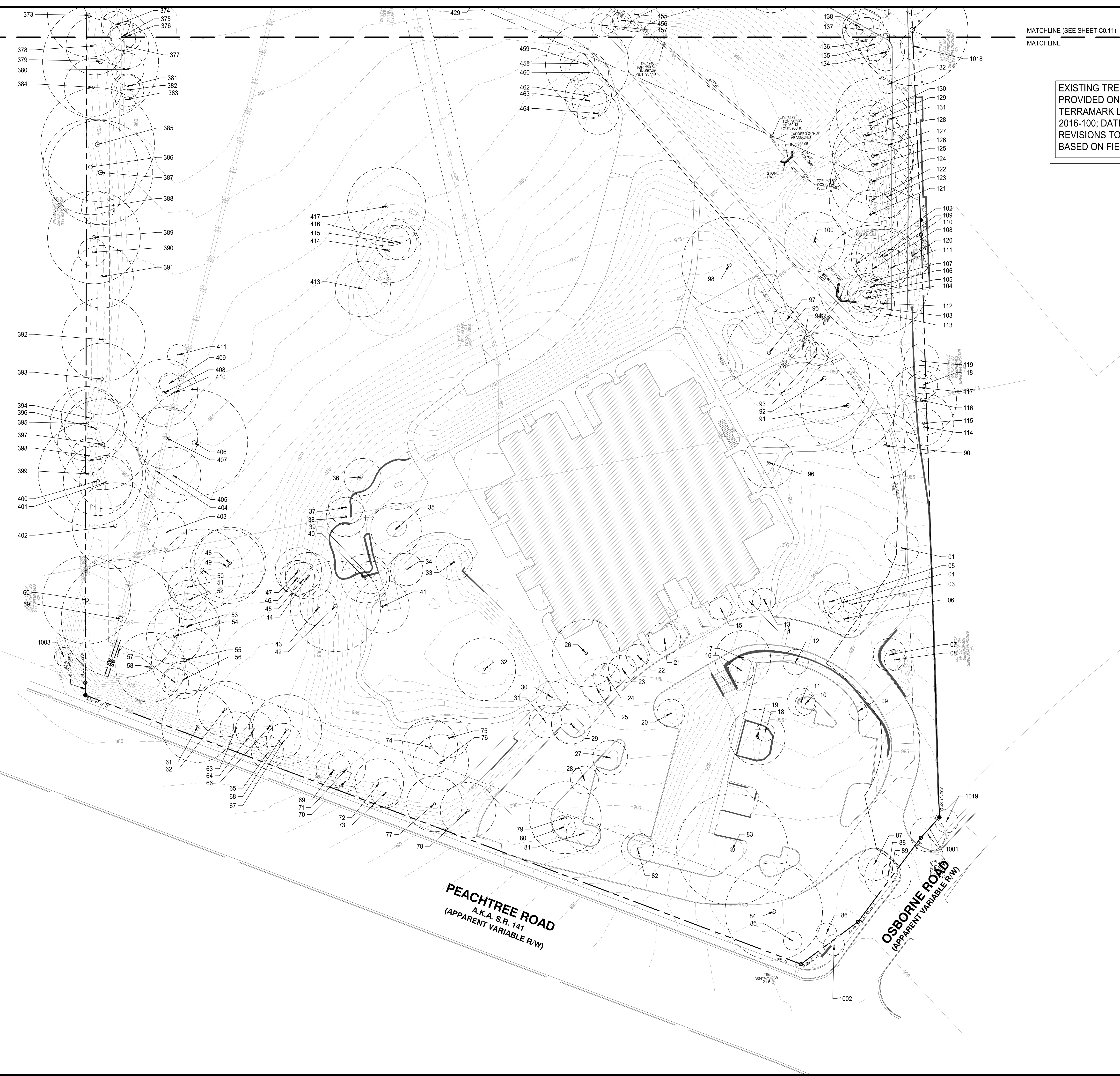
SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

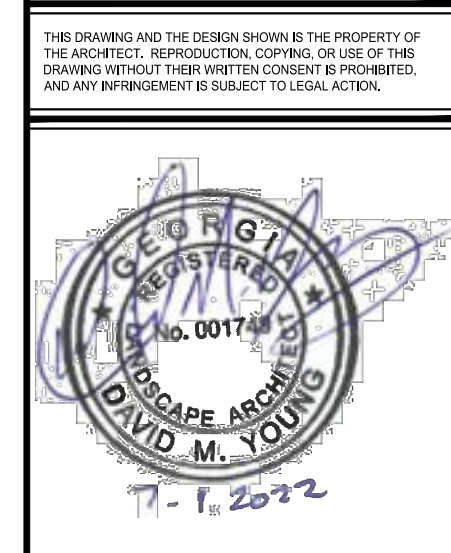
SHEET TITLE  
**FIRE AND ADA ACCESSIBILITY PLAN**

PROJECT NO. 19002  
 DATE 07/01/2022  
 DRAWN BY MTC  
 SCALE AS SHOWN  
 CHECKED BY DMV  
 SHEET NO.



EXISTING TREE INFORMATION WAS PROVIDED ON THE SURVEY, PREPARED BY TERRAMARK LAND SURVEYING INC., (NO. 2016-100; DATE: 8-31-2016). REVISIONS TO LIST OF EXISTING TREES BASED ON FIELD VISIT.

**LOSE DESIGN**  
SPACES FOR LIFE.



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**BROOKHAVEN PARK IMPROVEMENTS**  
**SITE DEVELOPMENT PACKAGE**  
CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
CITY OF BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18  
GEORGIA

SUBMITTALS / REVISIONS

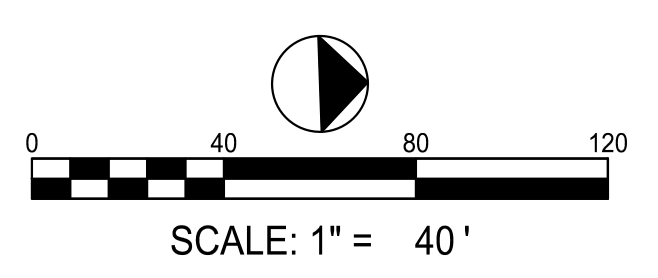
NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

SHEET TITLE  
**EXISTING TREE SURVEY**

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY DMY	SCALE AS SHOWN
CHECKED BY ASP	SHEET NO.

**C0.10**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013



C:\19002\19002 - Brookhaven Park Improvements\Site Development\Site Development\Site Development.dwg, Title Sheet.dwg, Plot on 2023/07/01 at 10:48:49 AM.



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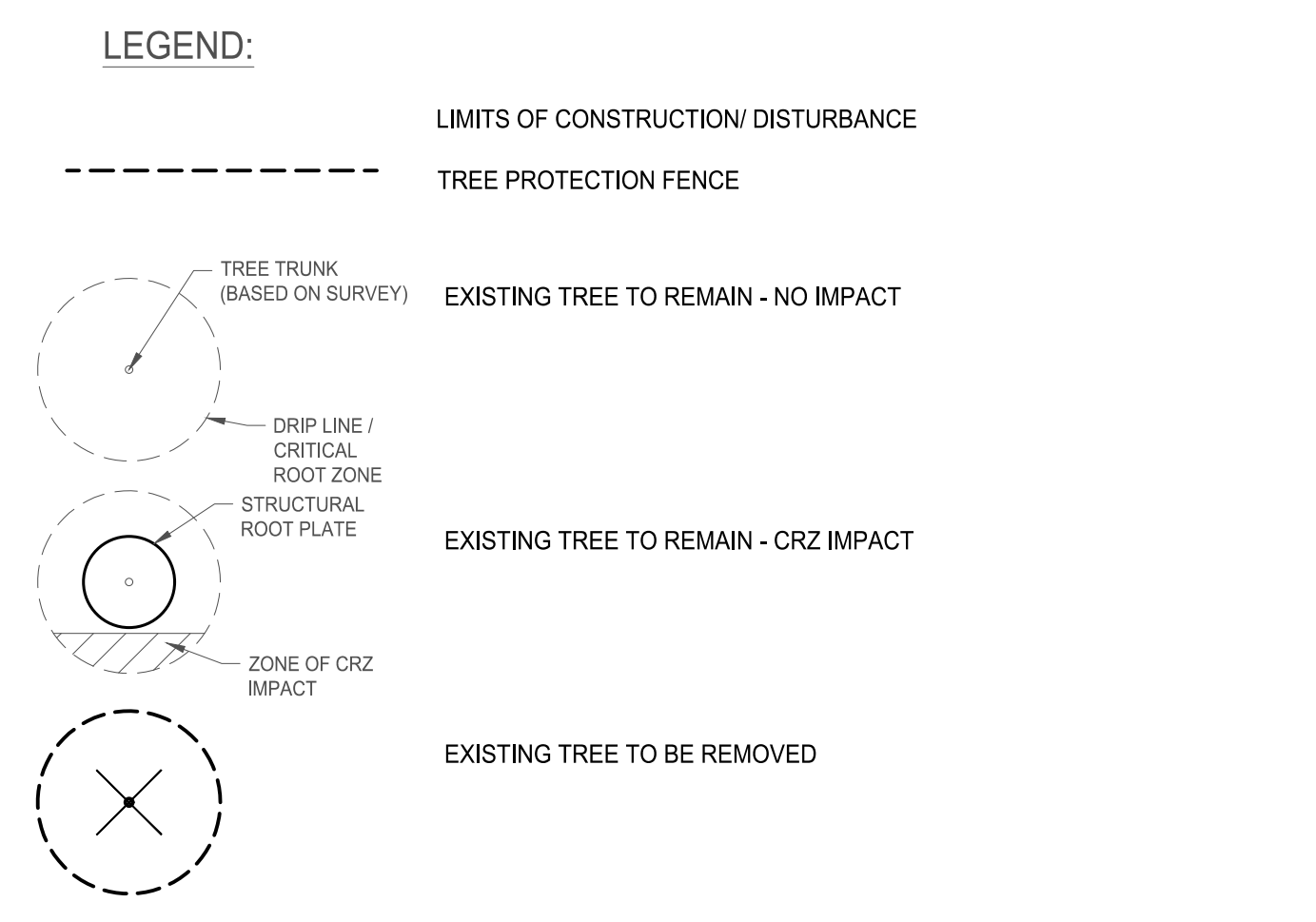
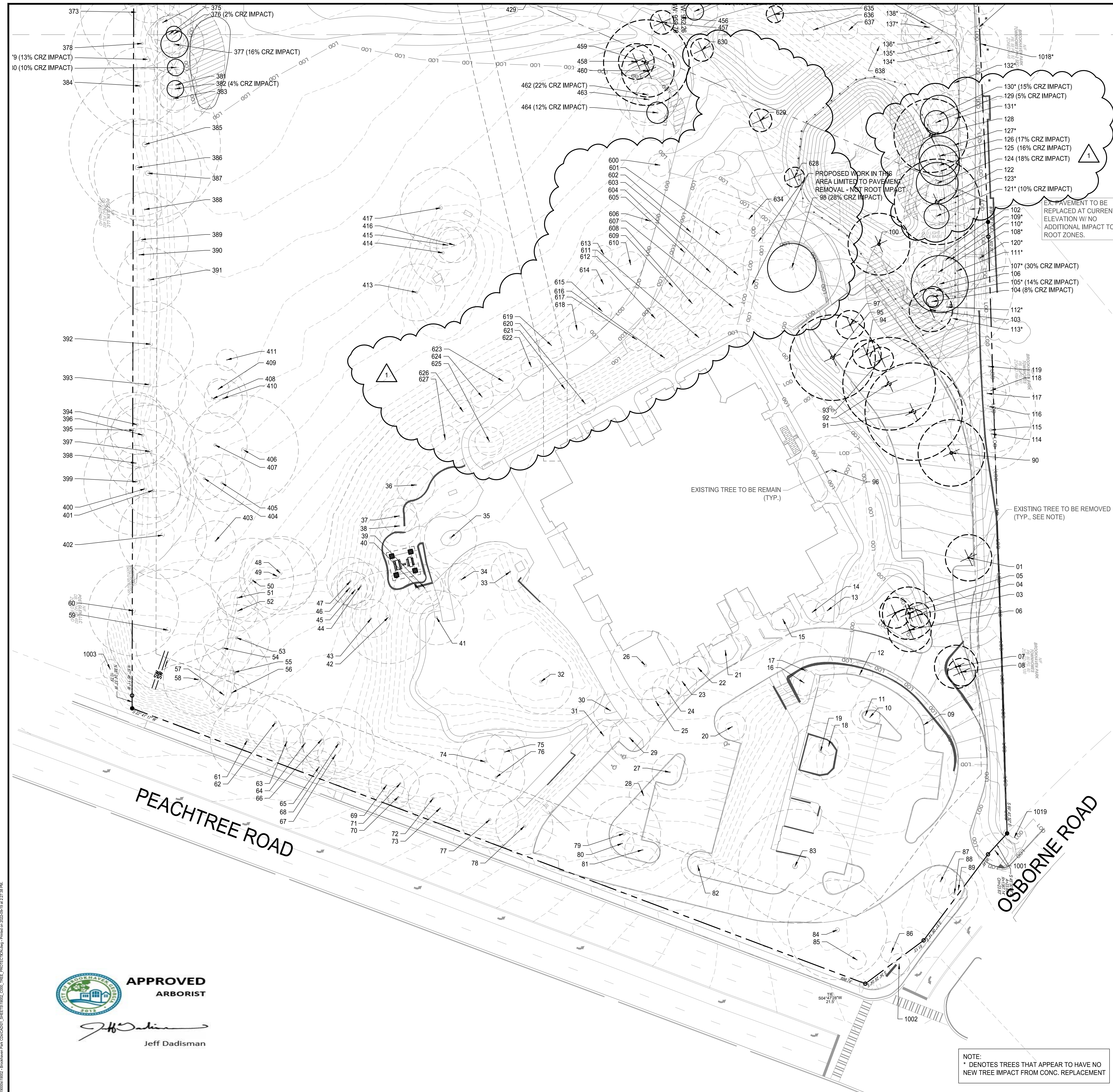
NO.	SPECIES	DBH (INCHES)	NOTES	NO.	SPECIES	DBH (INCHES)	NOTES	NO.	SPECIES	DBH (INCHES)	NOTES	NO.	SPECIES	DBH (INCHES)	NOTES
1	OAK	15		101	HARDWOOD	35	DEAD	201	PINE	25		301	OAK	50	Specimen
2	N/A		Removed by prior work	102	HARDWOOD	10		202	OAK	37	Specimen	302	PINE	12	
3	DOGWOOD	8		103	HARDWOOD	14		203	OAK	15		303	OAK	16	Specimen
4	CRAPE MYRTLE	17		104	HARDWOOD	10		204	PINE	24		304	PINE	12	
5	DOGWOOD	12 (MS)		105	HARDWOOD	17		205	OAK	18		305	POPLAR	15	
6	DOGWOOD	18 (MS)		106	HARDWOOD	10		206	OAK	24		306	POPLAR	32	Specimen
7	HARDWOOD	14		107	SYCAMORE	48	Specimen	207	HARDWOOD	12		307	POPLAR	17	
8	HARDWOOD	9		108	HARDWOOD	14 (MS)		208	POPLAR	20		308	PINE	25	
9	DOGWOOD	8		109	HARDWOOD	24		209	OAK	35	Specimen	309	PINE	18	
10	DOGWOOD	9 (MS)		110	HARDWOOD	24 (MS)		210	PINE	24		310	POPLAR	20	
11	HARDWOOD	12		111	MAPLE	16		211	HARDWOOD	16		311	POPLAR	22	
12	DOGWOOD	10 (MS)		112	HARDWOOD	12		212	HARDWOOD	10		312	POPLAR	16	
13	CRAPE MYRTLE	10		113	NOT LABELED ON SURVEY			213	MAGNOLIA	16		313	OAK	35	Specimen
14	CRAPE MYRTLE	10		114	HARDWOOD	18 (MS)		214	HARDWOOD	14		314	POPLAR	16	
15	CRAPE MYRTLE	10		115	PINE	26	Specimen	215	HARDWOOD	16		315	POPLAR	35	Specimen
16	DOGWOOD	14 (MS)		116	OAK	30	Specimen	216	HARDWOOD	16		316	POPLAR	24	
17	PINE	24		117	HARDWOOD	12		217	POPLAR	34	Specimen	317	POPLAR	18	
18	CRAPE MYRTLE	8		118	HARDWOOD	12		218	POPLAR	36	Specimen	318	PINE	20	
19	PINE	24		119	HARDWOOD	15		219	HARDWOOD	15		319	PINE	17	
20	MAPLE	12		120	HARDWOOD	17		220	POPLAR	37	Specimen	320	PINE	22	
21	CRAPE MYRTLE	14		121	HARDWOOD	21 (MS)		221	HARDWOOD	17		321	POPLAR	24	
22	CRAPE MYRTLE	10		122	OAK	36	Specimen	222	OAK	38	Specimen	322	POPLAR	26	
23	CRAPE MYRTLE	12		123	HARDWOOD	18		223	OAK	17		323	POPLAR	12	
24	CRAPE MYRTLE	12		124	OAK	36	Specimen	224	DOGWOOD	10		324	PINE	25	
25	CRAPE MYRTLE	12		125	OAK	34	Specimen	225	DOGWOOD	8 (MS)		325	POPLAR	26	
26	MAPLE	29	Specimen	126	OAK	35	Specimen	226	OAK	36	Specimen	326	PINE	24	
27	MAPLE	15		127	HARDWOOD	20		227	OAK	35	Specimen	327	PINE	25	
28	DOGWOOD	12 (MS)		128	OAK	31 (MS)	Specimen	228	POPLAR	15		328	POPLAR	27	
29	MAPLE	17		129	OAK	15		229	POPLAR	24		329	PINE	17	
30	BIRCH	21 (MS)		130	OAK	32	Specimen	230	HARDWOOD	18 (MS)		330	PINE	24	
31	HARDWOOD	14		131	HARDWOOD	18		231	HARDWOOD	13 (MS)		331	GUM	15	
32	OAK	27	Specimen	132	HARDWOOD	8		232	HARDWOOD	18 (MS)		332	PINE	26	Specimen
33	DOGWOOD	15 (MS)		133	OAK	48	Specimen	233	POPLAR	48	Specimen	333	PINE	15	
34	HARDWOOD	14		134	HARDWOOD	16		234	POPLAR	47	Specimen	334	PINE	16	
35	BIRCH	26 (MS)		135	HARDWOOD	14		235	HARDWOOD	15		335	POPLAR	12	
36	OAK	16		136	HARDWOOD	20		236	POPLAR	30	Specimen	336	PINE	15	
37	BIRCH	15 (MS)		137	HARDWOOD	18		237	GUM	30	Specimen	337	PINE	16	
38	BIRCH	17 (MS)		138	HARDWOOD	12		238	OAK	17		338	PINE	12	
39	HARDWOOD	14		139	HARDWOOD	12		239	OAK	16		339	PINE	20	
40	HARDWOOD	22 (MS)		140	HARDWOOD	14		240	OAK	25		340	POPLAR	15	
41	OAK	23		141	CRAPE MYRTLE	24		241	OAK	14		341	POPLAR	16	
42	PINE	39	Specimen	142	OAK	28	Specimen	242	OAK	12		342	OAK	38	Specimen
43	BIRCH	16		143	HARDWOOD	20 (MS)		243	PINE	25		343	POPLAR	14	
44	PINE	20		144	HARDWOOD	12		244	OAK	28	Specimen	344	OAK	29	Specimen
45	PINE	15		145	OAK	12		245	POPLAR	21		345	OAK	49	Specimen
46	PINE	15		146	OAK	16		246	OAK	34	Specimen	346	PINE	14	
47	PINE	20		147	OAK	27	Specimen	247	OAK	15		347	PINE	25	
48	OAK	31	Specimen	148	CRAPE MYRTLE	24		248	OAK	14		348	PINE	25	
49	OAK	32	Specimen	149	OAK	47	Specimen	249	HARDWOOD	14		349	PINE	25	
50	OAK	35	Specimen	150	CYPRESS	15		250	OAK	20		350	POPLAR	32	Specimen
51	OAK	17		151	CYPRESS	16		251	OAK	12		351	OAK	55	Specimen
52	POPLAR	17		152	OAK	15		252	POPLAR	42	Specimen	352	PINE	16	
53	POPLAR	28		153	PINE	25		253	HARDWOOD	17 (MS)		353	PINE	15	
54	POPLAR	24		154	HARDWOOD	9		254	OAK	28	Specimen	354	PINE	18	
55	GUM	29		155	OAK	35	Specimen	255	HARDWOOD	24 (MS)		355	PINE	16	
56	GUM	16		156	OAK	15		256	HARDWOOD	9		356	PINE	18	Specimen
57	HARDWOOD	12		157	OAK	15		257	POPLAR	25 (MS)		357	PINE	22	
58	OAK	30	Specimen	158	OAK	24		258	HARDWOOD	12		358	PINE	10	
59	OAK	51	Specimen	159	HARDWOOD	14		259	POPLAR	21		359	OAK	12	
60	POPLAR	38	Specimen	160	HARDWOOD	12		260	POPLAR	13		360	POPLAR	26	
61	POPLAR	31	Specimen	161	HARDWOOD	16		261	POPLAR	30	Specimen	361	POPLAR	21	
62	CRAPE MYRTLE	24		162	HARDWOOD	15		262	HARDWOOD	20		362	PINE	26	Specimen
63	MAPLE	14		163	PINE	37	Specimen	263	POPLAR	26		363	GUM	32	Specimen
64	OAK	24 (MS)		164	HARDWOOD	15		264	HARDWOOD	42	Specimen	364	PINE	27	Specimen
65	HARDWOOD	14		165	POPLAR	45	Specimen	265	SYCAMORE	28	Specimen	365	POPLAR	14	
66	CRAPE MYRTLE	18		166	OAK	25		266	HARDWOOD	15 (MS)		366	POPLAR	16	
67	HARDWOOD	15		167	HARDWOOD	12		267	HARDWOOD	12		367	PINE	27	Specimen
68	CRAPE MYRTLE	30	Specimen	168	HARDWOOD	10		268	POPLAR	26		368	POPLAR	10	
69	CRAPE MYRTLE	15		169	OAK	27	Specimen	269	HARDWOOD	14		369	POPLAR	17	
70	MAPLE	9		170	PINE	24		270	POPLAR	12		370	POPLAR	16	
71	MAPLE	26 (MS)	Specimen	171	OAK	26	Specimen	271	OAK	16		371	POPLAR	19 (MS)	
72	MAPLE	27 (MS)	Specimen	172	HARDWOOD	17		272	OAK	37	Specimen	372	POPLAR	17	
73	CRAPE MYRTLE	13		173	OAK	14		273	OAK	18		373	OAK	36	Specimen
74	OAK	24		174	OAK	29	Specimen	274	HARDWOOD	15		374	POPLAR	12	
75	OAK	17		175	HARDWOOD	13		275	OAK	35	Specimen	375	POPLAR	12	
76	OAK	24		176	MAGNOLIA	12		276	HARDWOOD	12		376	OAK	13	
77	CRAPE MYRTLE	24		177	OAK	20		277	OAK	24		377	MAPLE	23 (MS)	
78	OAK	24		178	HARDWOOD	14		278	SYCAMORE	28	Specimen	378	POPLAR	25	
79	OAK	31	Specimen	179	HARDWOOD	16		279	POPLAR	16		379	OAK	50	Specimen
80	MAPLE	10		180	MAGNOLIA	10		280	HARDWOOD	15		380	POPLAR	14	
81	MAPLE	15		181	HARDWOOD	10		281	POPLAR	17		381	POPLAR	10	
82	MAPLE	14		182	HARDWOOD	12		282	POPLAR	25		382	MAPLE	14	
83	OAK	48	Specimen	183	OAK	30	Specimen	283	POPLAR	12		383	MAPLE	9	
84	OAK	42	Specimen	184	PINE	27	Specimen	284	POPLAR	35	Specimen	384	OAK	25	
85	MAPLE	8		185	OAK	39	Specimen	285	OAK	25		385	OAK	49	Specimen
86	OAK	9		186	MAGNOLIA	12		286	SYCAMORE	37	Specimen	386	OAK	41	Specimen
87	HOLLY	17 (MS)		187	HARDWOOD	16		287	POPLAR	32	Specimen	387	POPLAR	45	Specimen
88	CRAPE MYRTLE	20		188	HARDWOOD	14		288	POPLAR	34	Specimen	388	POPLAR	14	
89	CRAPE MYRTLE	8		189	OAK	46	Specimen	289	OAK	35	Specimen	389	POPLAR	40	Specimen
90	OAK	28	Specimen	190	PINE	25		290	POPLAR	14		390	HARDWOOD	12	
91	OAK	41	Specimen - In Decline	191	PINE	24		291	PINE	21		391	GUM	27	
92	OAK	39	Specimen	192	PINE	28	Specimen	292	PINE	26		392	OAK	36	Specimen
93	OAK	10		193	MAGNOLIA	8		293	POPLAR	24		393	PINE	32 (MS)	Specimen
94	OAK	12		194	OAK	16		294	PINE	21		394	OAK	25	
95	OAK	36	Specimen	195	HARDWOOD	14		295	PINE	17		395	OAK	35	Specimen
96	OAK	22		196	OAK	30	Specimen	296	PINE	27	Specimen	396	OAK	27	Specimen
97	OAK	12		197	HARDWOOD	20		297	OAK	16		397	OAK	39	Specimen
98	OAK	41	Specimen	198	MAGNOLIA	16		298	POPLAR	20		398	OAK	15	
99	N/A		Removed by prior work	199	HARDWOOD	12		299	POPLAR	28		399	POPLAR	45	Specimen
100	GUM	26		200	HARDWOOD	12		300	POPLAR	12		400	POPLAR	30	Specimen

NOTES:  
DBH MARKED WITH (MS) INDICATES THAT THE TREE IS MULTI-STEM  
EXISTING TREE CALCULATIONS:  
TOTAL TREES ON SITE: 456  
TOTAL EXISTING INCHES: 9,842  
TOTAL SPECIMEN INCHES: 4,083

**BOUNDARY TREES**

NO.	SPECIES	DBH (INCHES)	NOTES
1001	CRAPE MYRTLE	15	
1002	CRAPE MYRTLE	9	
1003	HARDWOOD	8	
1004	OAK	27	
1005	OAK	24	
1006	OAK	34	
1007	PINE	30	
1008	OAK	45	
1009	MAGNOLIA	13	
1010	OAK	30	
1011	OAK	15	
1012	OAK	15	
1013	PINE	28	
1014	OAK	10	
1015	OAK	16	
1016	OAK	17	
1017	HARDWOOD	10	
1018	HARDWOOD	12	
1019			

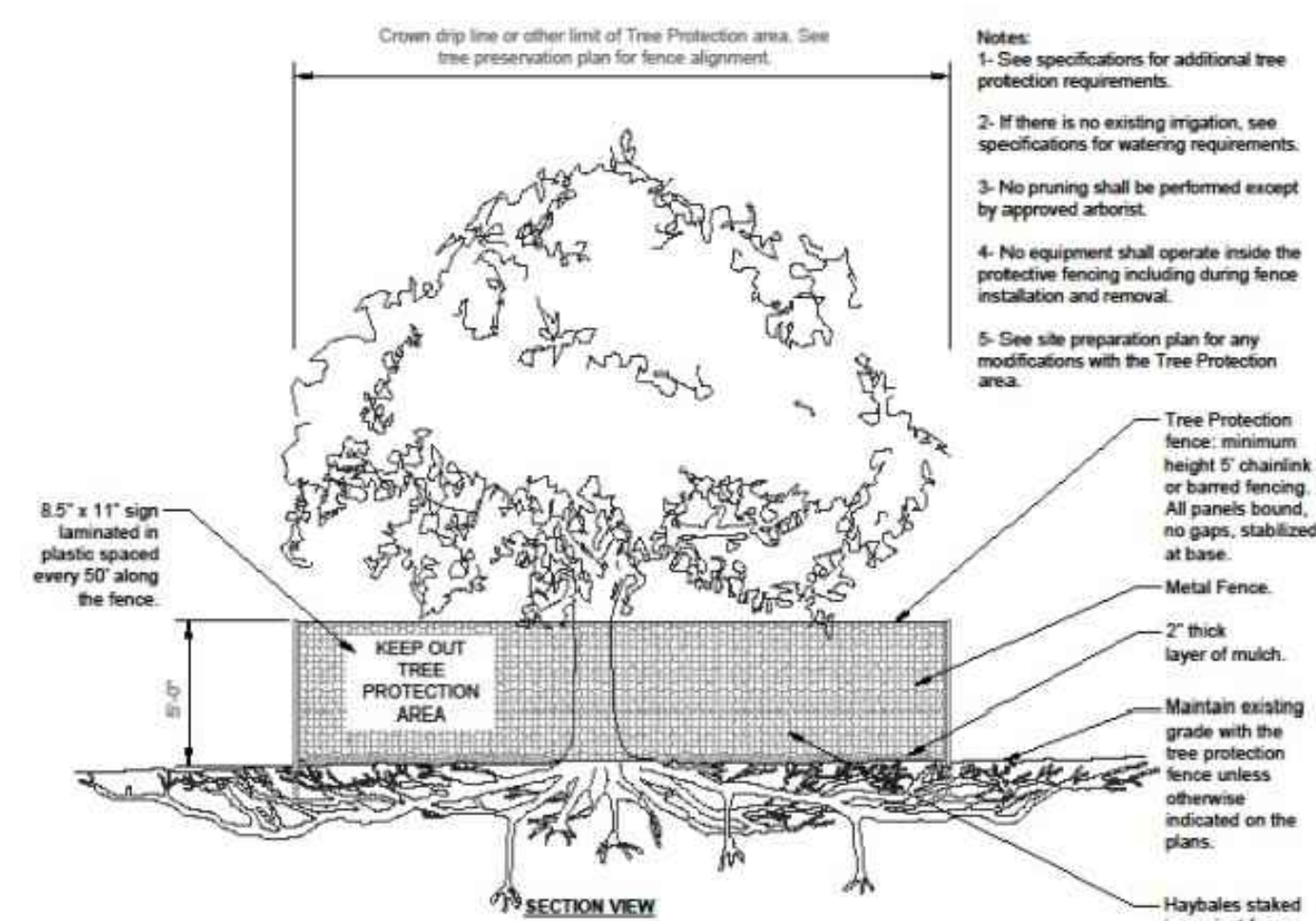




NO.	SPECIES	DBH (INCHES)	REASON FOR REMOVAL
1	OAK	15	LOCATED WITHIN WORK AREA
3	DOGWOOD	8	LOCATED WITHIN WORK AREA
4	CRAPE MYRTLE	17	LOCATED WITHIN WORK AREA
5	DOGWOOD	12 (MS)	LOCATED WITHIN WORK AREA
6	DOGWOOD	18 (MS)	LOCATED WITHIN WORK AREA
7	HARDWOOD	14	LOCATED WITHIN WORK AREA
8	HARDWOOD	9	LOCATED WITHIN WORK AREA
90	OAK (Specimen)	28	LOCATED WITHIN WORK AREA
91	OAK (Specimen) **	41	LOCATED WITHIN WORK AREA
92	OAK (Specimen)	39	LOCATED WITHIN WORK AREA
93	OAK	10	LOCATED WITHIN WORK AREA
94	OAK	12	LOCATED WITHIN WORK AREA
95	OAK (Specimen)	36	LOCATED WITHIN WORK AREA
97	OAK	12	LOCATED WITHIN WORK AREA
100	GUM	26	LOCATED WITHIN WORK AREA
103	HARDWOOD	14	LOCATED WITHIN WORK AREA
122	OAK (Specimen)	36	LOCATED WITHIN WORK AREA
128	OAK (Specimen)	31 (MS)	LOCATED WITHIN WORK AREA
458	HACKBERRY	15	LOCATED WITHIN WORK AREA
459	HACKBERRY	36	LOCATED WITHIN WORK AREA
460	HACKBERRY	17 (MS)	LOCATED WITHIN WORK AREA
628	OAK	10	LOCATED WITHIN WORK AREA
629	REDBUD	8	LOCATED WITHIN WORK AREA
630	EASTERN RED CEDAR	8	LOCATED WITHIN WORK AREA

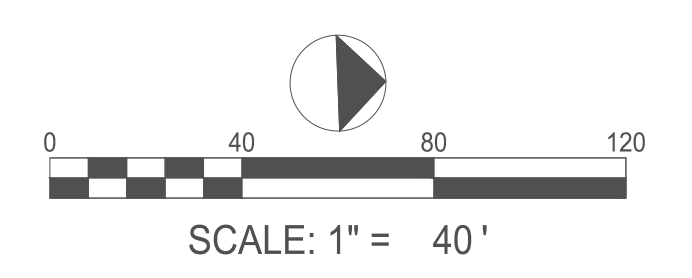
REFER TO SHEET C0.21 FOR EXISTING TREE CALCULATIONS

\*\* DENOTES TREES THAT APPEAR TO BE IN DECLINE, THE APPLICANT REQUEST TO HAVE THESE TREES REMOVED FROM THE CALCULATIONS (NOTE, INCHES WILL BE INCLUDED UNTIL APPROVED BY CITY ARBORIST)



**1 BROOKHAVEN TREE PROTECTION**  
SCALE: NTS

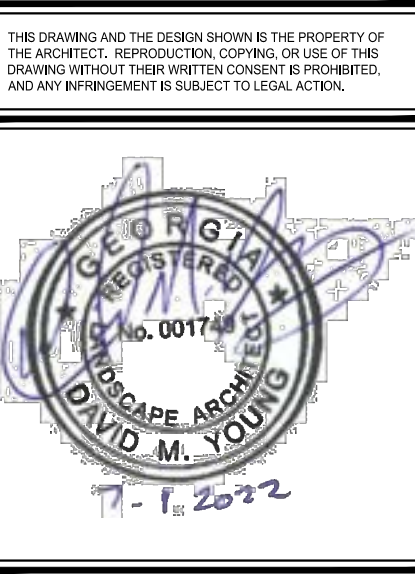
**TREE PROTECTION:**  
NO MACHINE TRENCHING THROUGH CRITICAL ROOT ZONE. HAND-DIG WHERE SILT FENCE (SD-1) CROSSES THE CRITICAL ROOT ZONE OF ANY TREE. ROOT PRUNE AS NEEDED ACCORDING TO ISA/ANSI PROFESSIONAL STANDARDS.



**APPROVED ARBORIST**  
*Jeff Dadisman*  
Jeff Dadisman

NOTE:  
\* DENOTES TREES THAT APPEAR TO HAVE NO NEW TREE IMPACT FROM CONC. REPLACEMENT

**LOSE DESIGN**  
SPACES FOR LIFE.



**BROOKHAVEN PARK IMPROVEMENTS**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
LAND LOTS 240 & 241, DISTRICT 18  
BROOKHAVEN, GEORGIA

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
01	05/09/2022	PERMIT REVISIONS

ISSUED FOR PERMIT

SHEET TITLE  
**TREE REMOVAL PLAN**

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	
SHEET NO.	

**C0.20**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013



SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
01	09.09.2022	PERMIT REVISIONS

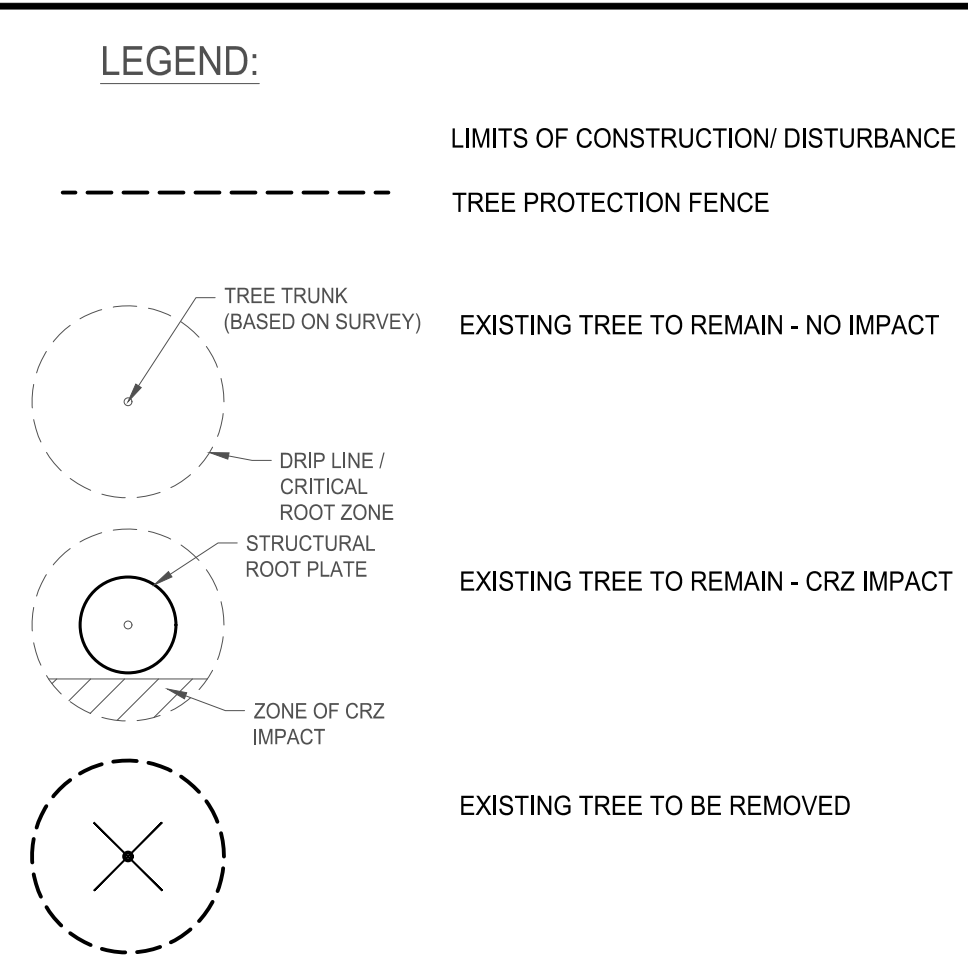
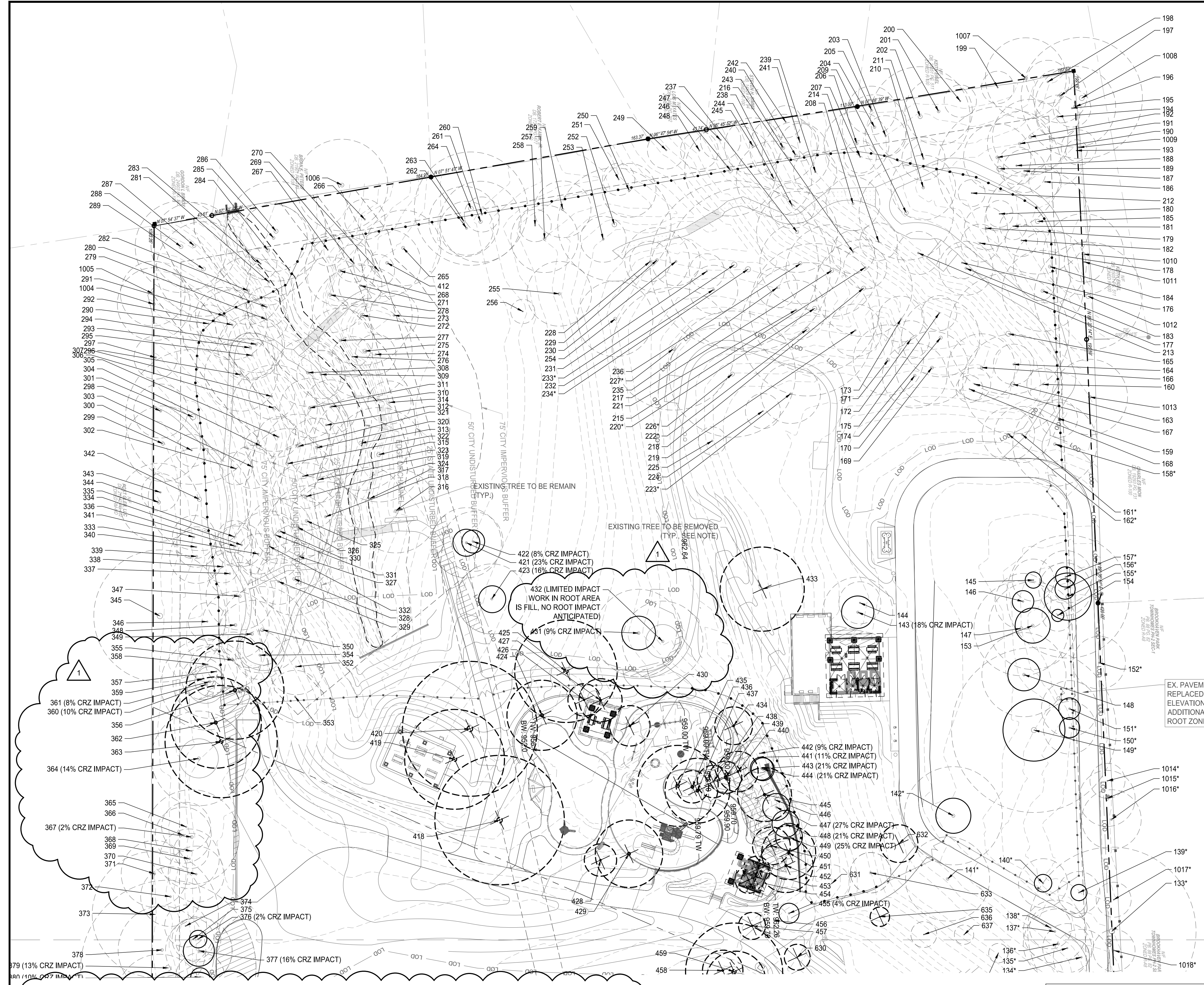
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SHEET TITLE

TREE REMOVAL PLAN

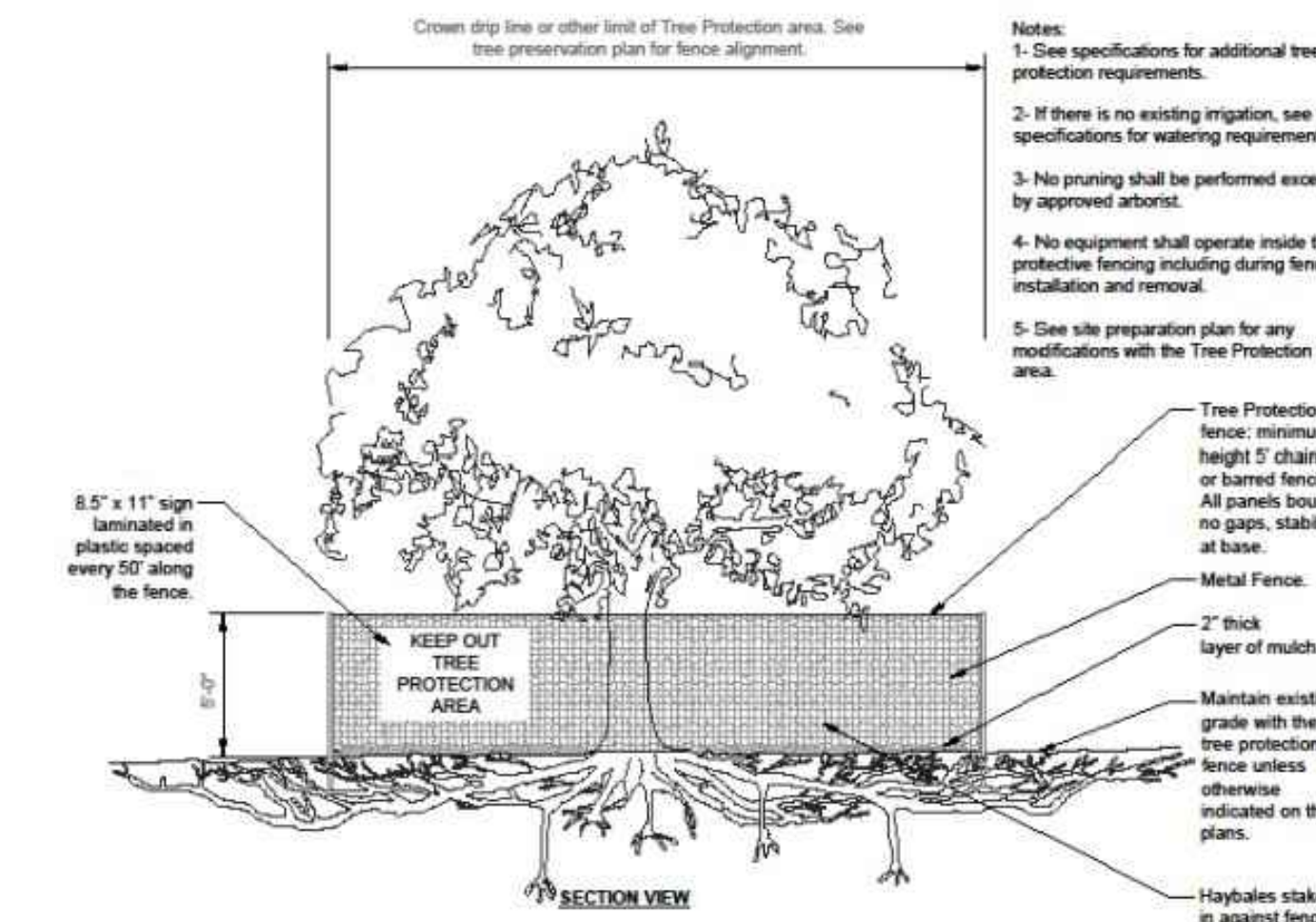
PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	SHEET NO.

**C0.21**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

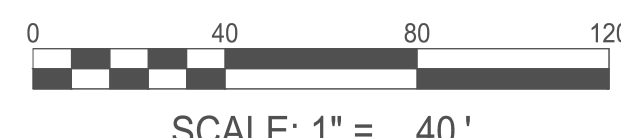


NO.	SPECIES	DBH (INCHES)	REASON FOR REMOVAL
351	OAK (Specimen)	55	LOCATED WITHIN WORK AREA
362	PINE (Specimen)	26	LOCATED WITHIN WORK AREA
363	GUM (Specimen)	32	LOCATED WITHIN WORK AREA
418	WILLOW (Specimen) **	48	LOCATED WITHIN WORK AREA
419	OAK (Specimen)	37	LOCATED WITHIN WORK AREA
420	POPLAR (Specimen)	50	LOCATED WITHIN WORK AREA
424	OAK (Specimen)	26	LOCATED WITHIN WORK AREA
425	OAK (Specimen)	38	LOCATED WITHIN WORK AREA
426	HARDWOOD	16 (MS)	LOCATED WITHIN WORK AREA
427	HARDWOOD	20 (MS)	LOCATED WITHIN WORK AREA
428	PEAR **	16 (MS)	LOCATED WITHIN WORK AREA
429	MAPLE **	25	LOCATED WITHIN WORK AREA
430	HARDWOOD	15	LOCATED WITHIN WORK AREA
434	HARDWOOD	14 (MS)	LOCATED WITHIN WORK AREA
435	CRAPE MYRTLE	30	LOCATED WITHIN WORK AREA
436	HARDWOOD	18	LOCATED WITHIN WORK AREA
437	MAPLE	24	LOCATED WITHIN WORK AREA
438	HARDWOOD	18	LOCATED WITHIN WORK AREA
439	HARDWOOD	18	LOCATED WITHIN WORK AREA
440	CRAPE MYRTLE	15	LOCATED WITHIN WORK AREA
445	CRAPE MYRTLE	20	LOCATED WITHIN WORK AREA
450	HARDWOOD	13 (MS)	LOCATED WITHIN WORK AREA
451	CRAPE MYRTLE	20	LOCATED WITHIN WORK AREA
452	CRAPE MYRTLE	20	LOCATED WITHIN WORK AREA
453	HARDWOOD	12 (MS)	LOCATED WITHIN WORK AREA
454	HARDWOOD	12 (MS)	LOCATED WITHIN WORK AREA
455	CRAPE MYRTLE	15	LOCATED WITHIN WORK AREA
457	HARDWOOD	10	LOCATED WITHIN WORK AREA
632	HARDWOOD	7	LOCATED WITHIN WORK AREA
636	HARDWOOD	7	LOCATED WITHIN WORK AREA

\*\* DENOTES TREES THAT APPEAR TO BE IN DECLINE. THE APPLICANT REQUEST TO HAVE THESE TREES REMOVED FROM THE CALCULATIONS (NOTE, INCHES WILL BE INCLUDED UNTIL APPROVED BY CITY ARBORIST)



**1 BROOKHAVEN TREE PROTECTION**  
SCALE: NTS



**TREE CALCULATIONS:**  
TREE DENSITY CALCULATIONS:  
PROPERTY AREA: 20.95 AC  
EXISTING INCHES ON SITE: 10,149 INCHES  
REQUIRED TREE DENSITY (130 x 20.95): 2,724 INCHES

**TREE REMOVAL CALCULATIONS:**  
EXISTING INCHES REMOVED: 1,177 INCHES  
REMAINING INCHES ON SITE (AFTER DEMO): 8,972 INCHES  
INCHES SHORT / OVER REQUIREMENT: 6,240 INCHES OVER

**SPECIMEN TREE CALCULATIONS:**  
SPECIMEN INCHES REMOVED: 523 INCHES  
RECOMPENSE REQUIRED (1.5 x INCHES): 785 INCHES

\*RECOMPENSE INCHES MET WITH EXISTING INCHES TO REMAIN IN EXCESS OF DENSITY REQUIREMENT.

**NOTES:**  
1. EXISTING SITE EXCEEDS REQUIRED TREE DENSITY AFTER EXISTING TREE REMOVAL.  
2. REFER TO SHEET C0.01 FOR CITY OF BROOKHAVEN TREE PROTECTION NOTES.  
3. REFER TO LANDSCAPE SERIES FOR PROPOSED TREE PLANTING.

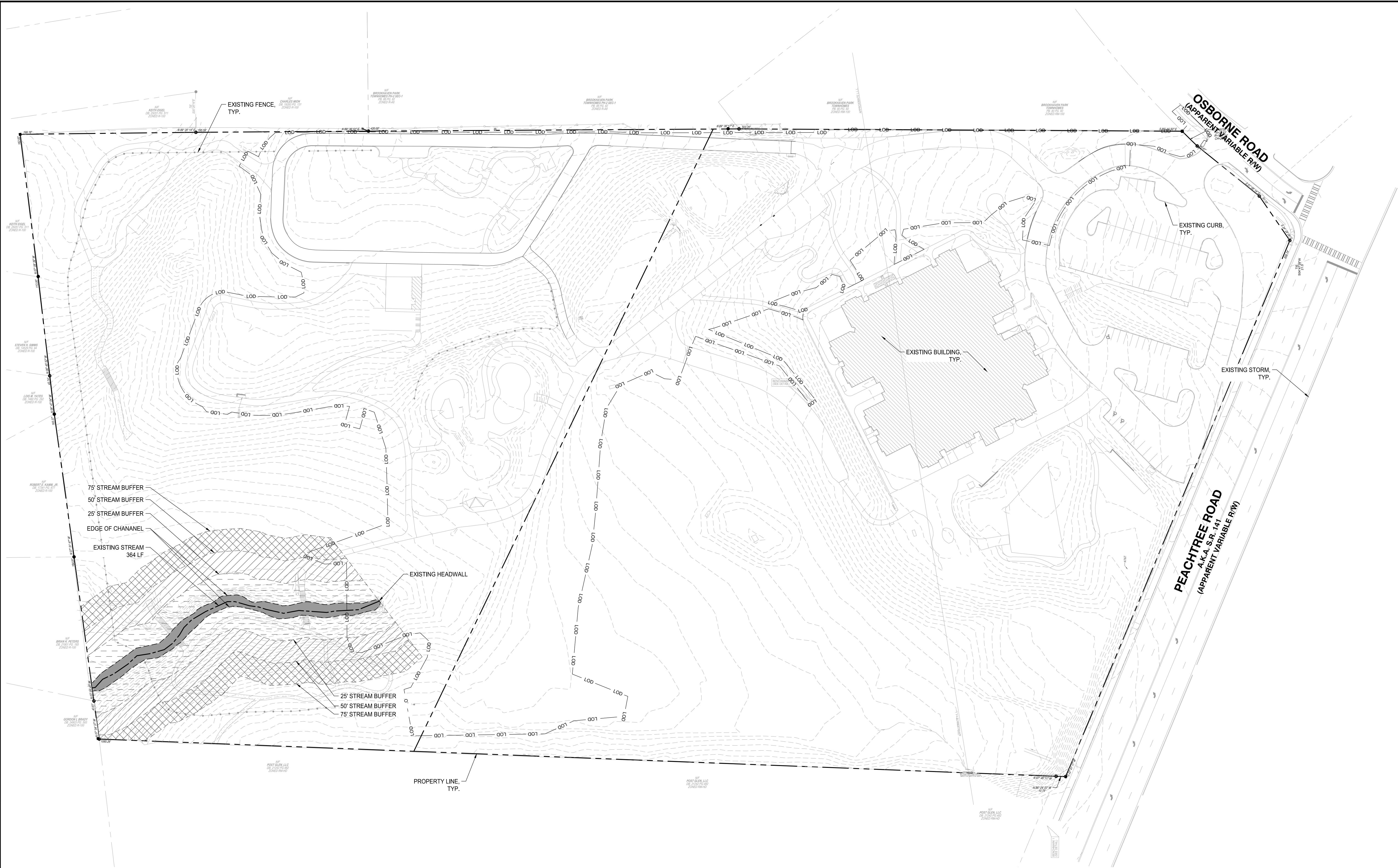
**TREE PROTECTION:**  
NO MACHINE TRENCHING THROUGH CRITICAL ROOT ZONE. HAND-DIG WHERE SILT FENCE (SD-1) CROSSES THE CRITICAL ROOT ZONE OF ANY TREE. ROOT PRUNE AS NEEDED ACCORDING TO ISA/ANSI PROFESSIONAL STANDARDS.

**APPROVED ARBORIST**  
*Jeff Dadisman*  
Jeff Dadisman

**NOTE:**  
\* DENOTES TREES THAT APPEAR TO HAVE NO NEW TREE IMPACT FROM CONC. REPLACEMENT

C:\WORK\1902 - Brookhaven Park CD\CD\01 SITE DEVELOPMENT PACKAGE TREE PROTECTION.dwg, Printed on 05/31/2023 10:38 AM.

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AREA LEGEND	
	SITE BOUNDARY / PROPERTY LINE
	LIMITS OF DISTURBANCE
	EXISTING INTERIM CONTOUR LINE
	EXISTING INDEX CONTOUR LINE

JURISDICTIONAL AREAS	
	75' STREAM BUFFER
	50' STREAM BUFFER
	25' STREAM BUFFER
	STREAM CHANNEL

SITE FEATURE	SQUARE FEET
LIMIT OF DISTURBANCE	313,035 SQFT.
STREAM CHANNEL	4,979 SQFT.
25' BUFFER	18,174 SQFT.
50' BUFFER	18,063 SQFT.
75' BUFFER	17,256 SQFT.

**USACE STATEMENT**

WETLANDS AND OTHER WATERS OF THE US ARE UNDER THE JURISDICTION OF THE US ARMY CORPS OF ENGINEERS. DISTURBANCE OF THESE WATERS WITHOUT PRIOR AUTHORIZATION MAY BE SUBJECT TO PENALTY BY LAW.



Know what's below.  
Call before you dig.



SCALE: 1" = 50'

## BROOKHAVEN PARK IMPROVEMENTS SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18  
GEORGIA

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
P4	01/28/2021	PERMIT REVISIONS

ISSUED FOR PERMIT

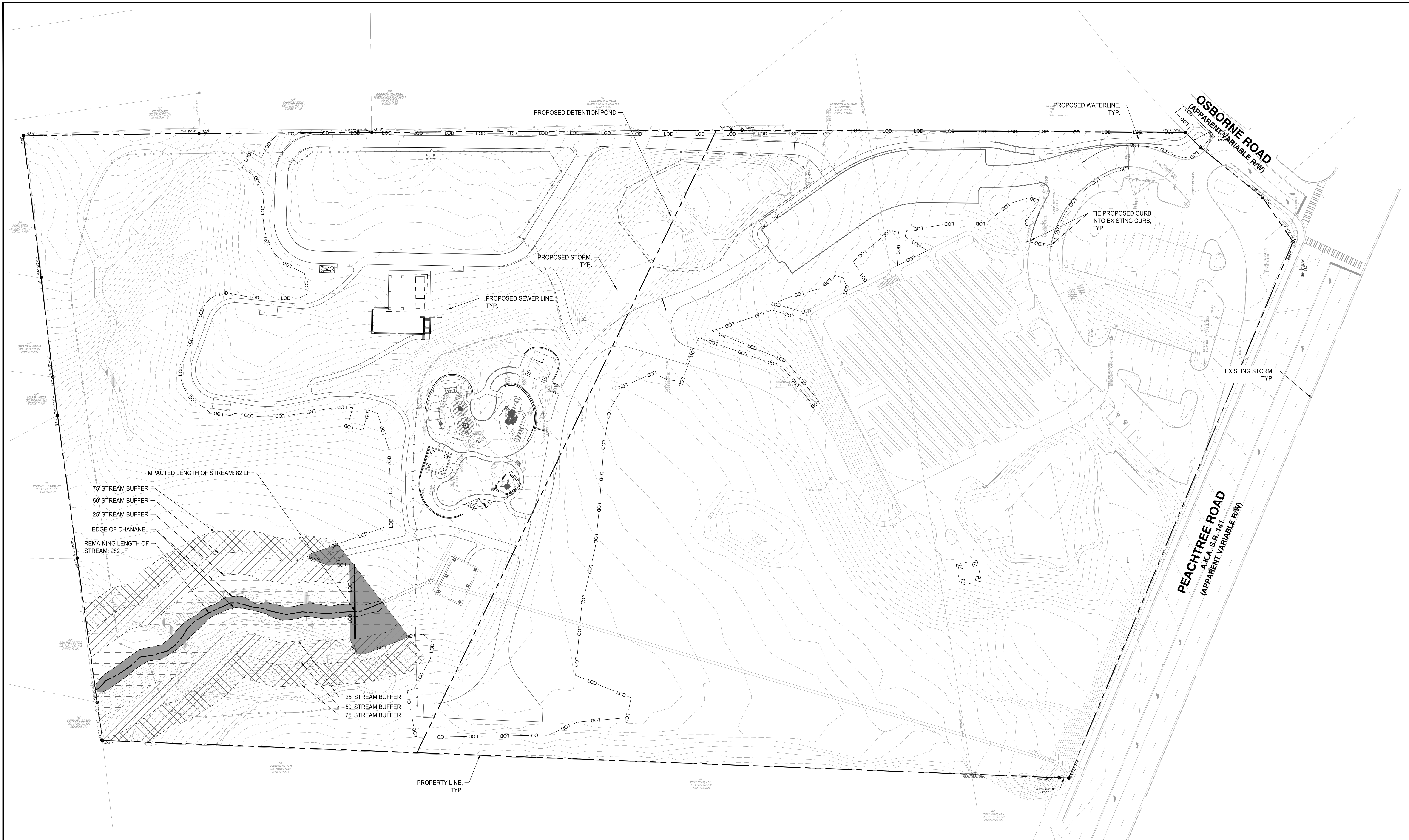
SHEET TITLE

**JURISDICTIONAL AREAS PLAN**

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	SHEET NO.

**C0.30**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

0:100001902 - Brookhaven Park (C030)031\_SHEET 031 (MTC) - JURISDICTIONAL AREAS PLAN.dwg - Printed on 2023-05-31 at 10:37:37 AM.



**JURISDICTIONAL LEGEND**

- SITE BOUNDARY / PROPERTY LINE
- LOD --- LIMITS OF DISTURBANCE
- 571- PROPOSED INTERIM CONTOUR LINE
- 570 PROPOSED INDEX CONTOUR LINE
- 571- EXISTING INTERIM CONTOUR LINE
- 570- EXISTING INDEX CONTOUR LINE

**AREA TO REMAIN**

- 75' STREAM BUFFER
- 50' STREAM BUFFER
- 25' STREAM BUFFER
- STREAM BANK

**AREA TO BE IMPACTED**

- 75' STREAM BUFFER
- 50' STREAM BUFFER
- 25' STREAM BUFFER
- STREAM BANK

SITE FEATURE	SQUARE FEET TO REMAIN	SQUARE FEET TO BE IMPACTED
STREAM	3,915 SQFT.	435 SQFT.
25' BUFFER	14,037 SQFT.	1,970 SQFT.
50' BUFFER	15,172 SQFT.	1,435 SQFT.
75' BUFFER	16,594 SQFT.	521 SQFT.

**USACE STATEMENT**

WETLANDS AND OTHER WATERS OF THE US ARE UNDER THE JURISDICTION OF THE US ARMY CORPS OF ENGINEERS. DISTURBANCE OF THESE WATERS WITHOUT PRIOR AUTHORIZATION MAY BE SUBJECT TO PENALTY BY LAW.

**BROOKHAVEN PARK IMPROVEMENTS  
SITE DEVELOPMENT PACKAGE**

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18  
GEORGIA

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
P4	01/28/2021	PERMIT REVISIONS

**ISSUED FOR PERMIT**

**SHEET TITLE**

**JURISDICTIONAL AREAS  
IMPACT PLAN**

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	
SHEET NO.	



Know what's below.  
Call before you dig.



SCALE: 1" = 50'



**BROOKHAVEN PARK IMPROVEMENTS**  
**SITE DEVELOPMENT PACKAGE**

GEORGIA

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
LAND LOTS 240 & 241, DISTRICT 18

BROOKHAVEN

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

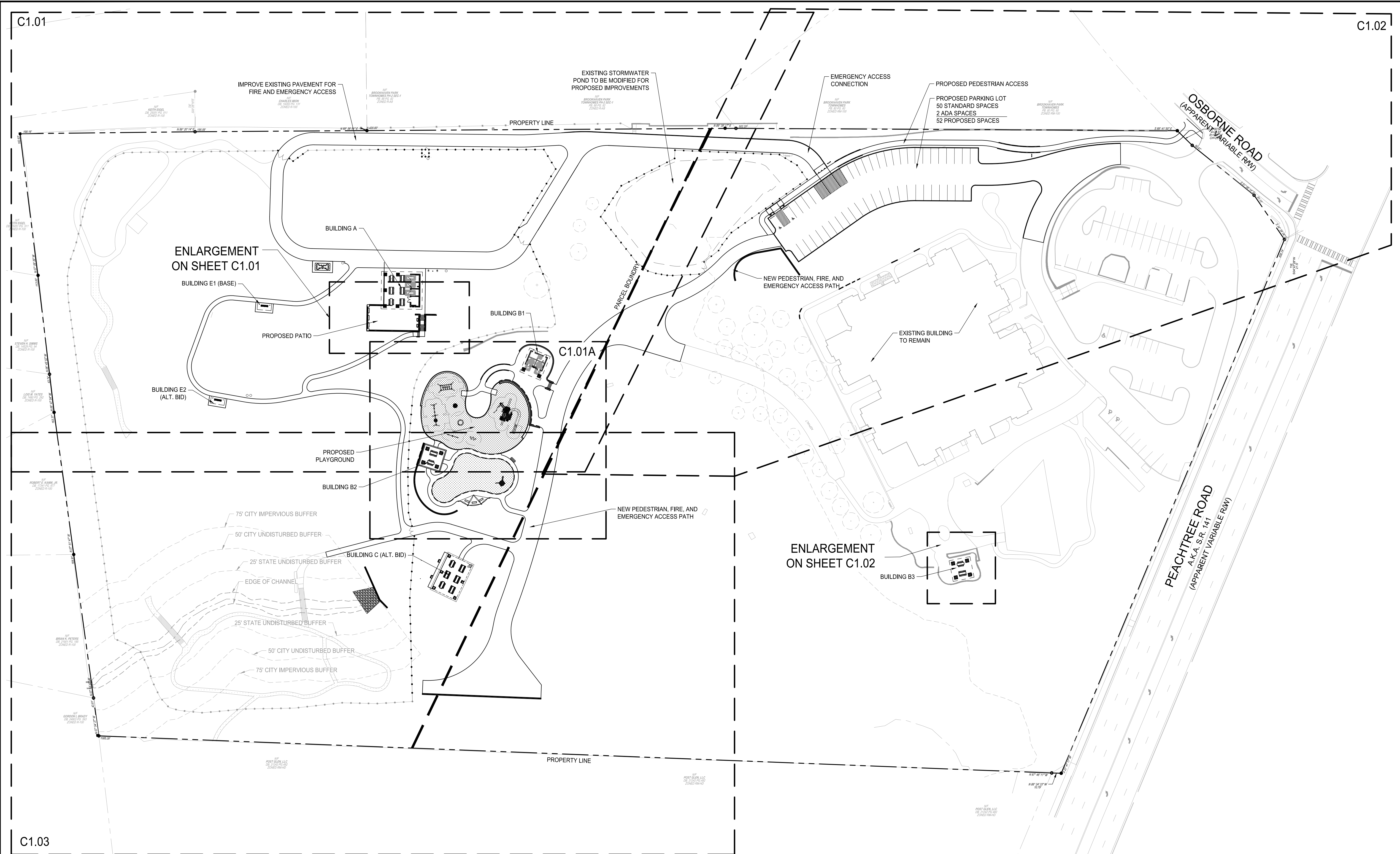
SHEET TITLE

LAYOUT PLAN KEY SHEET

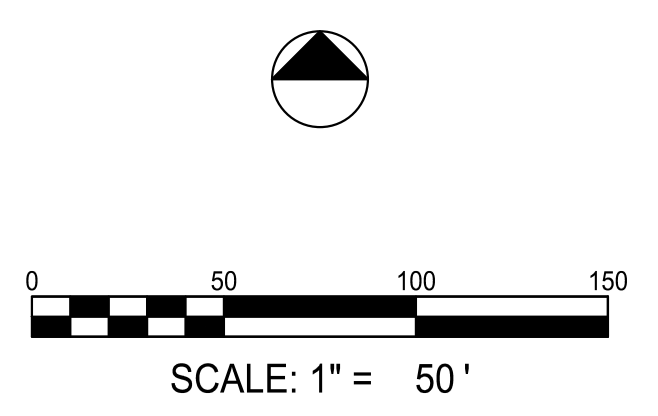
PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	
SHEET NO.	

**C1.00**  
APPROVED PLAN 05/31/2023

Permit # LDP22-00013



- LAYOUT NOTES:**
- SEE SHEET C0.01 FOR GENERAL NOTES.
  - SEE ARCHITECTURAL SHEETS FOR BUILDING.
  - INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE.
  - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
  - ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
  - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
  - ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
  - ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
  - ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
  - ALL RADII ARE 5' UNLESS OTHERWISE NOTED.



C:\19000\1902 - Brookhaven Park (20220201) - SHEET C1.00 - SITE DEVELOPMENT PACKAGE - 20220201.dwg - Printed on 2023-04-14 at 3:23:24 PM



**BROOKHAVEN PARK IMPROVEMENTS**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
CITY OF BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

SHEET TITLE

**LAYOUT PLAN**

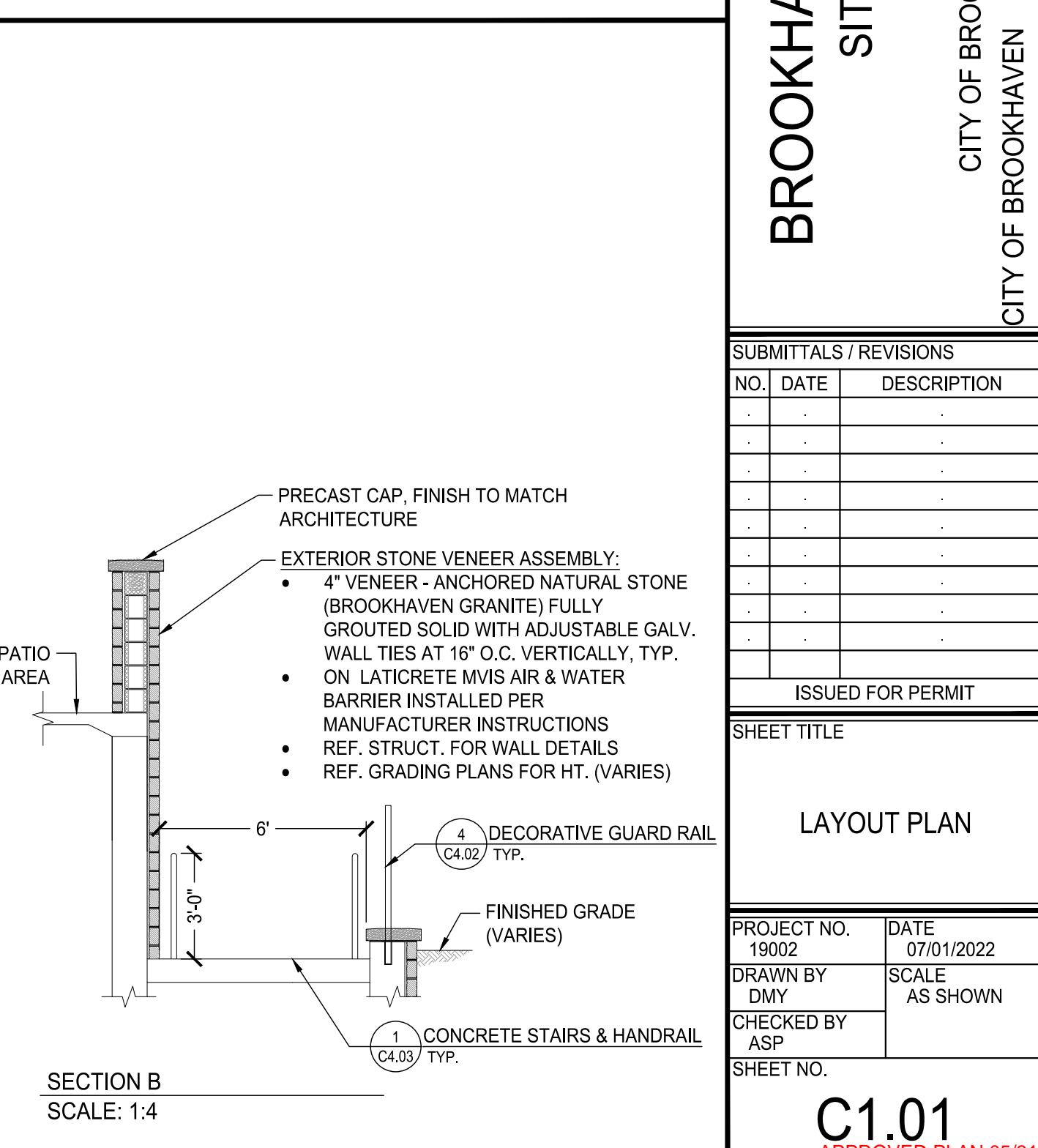
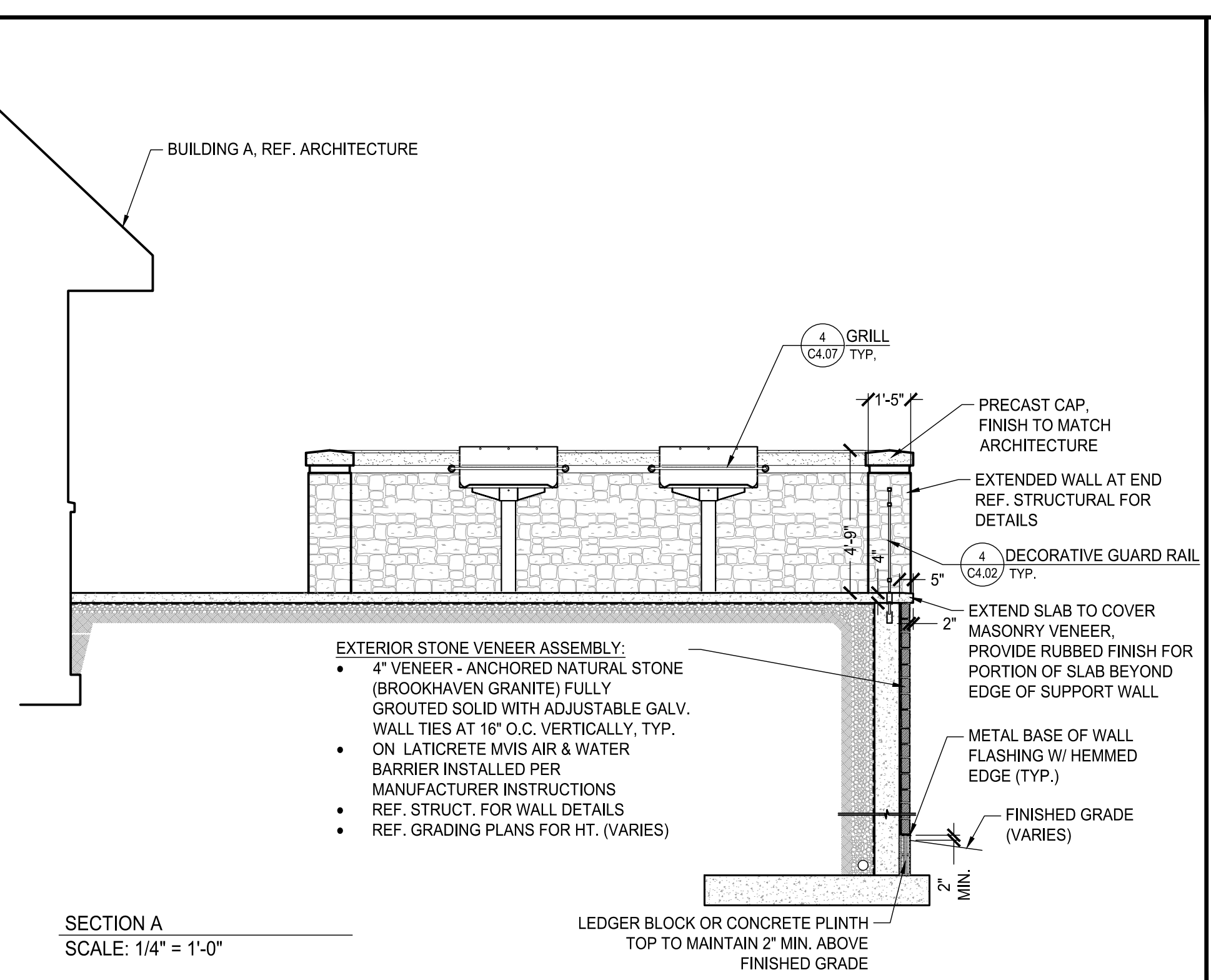
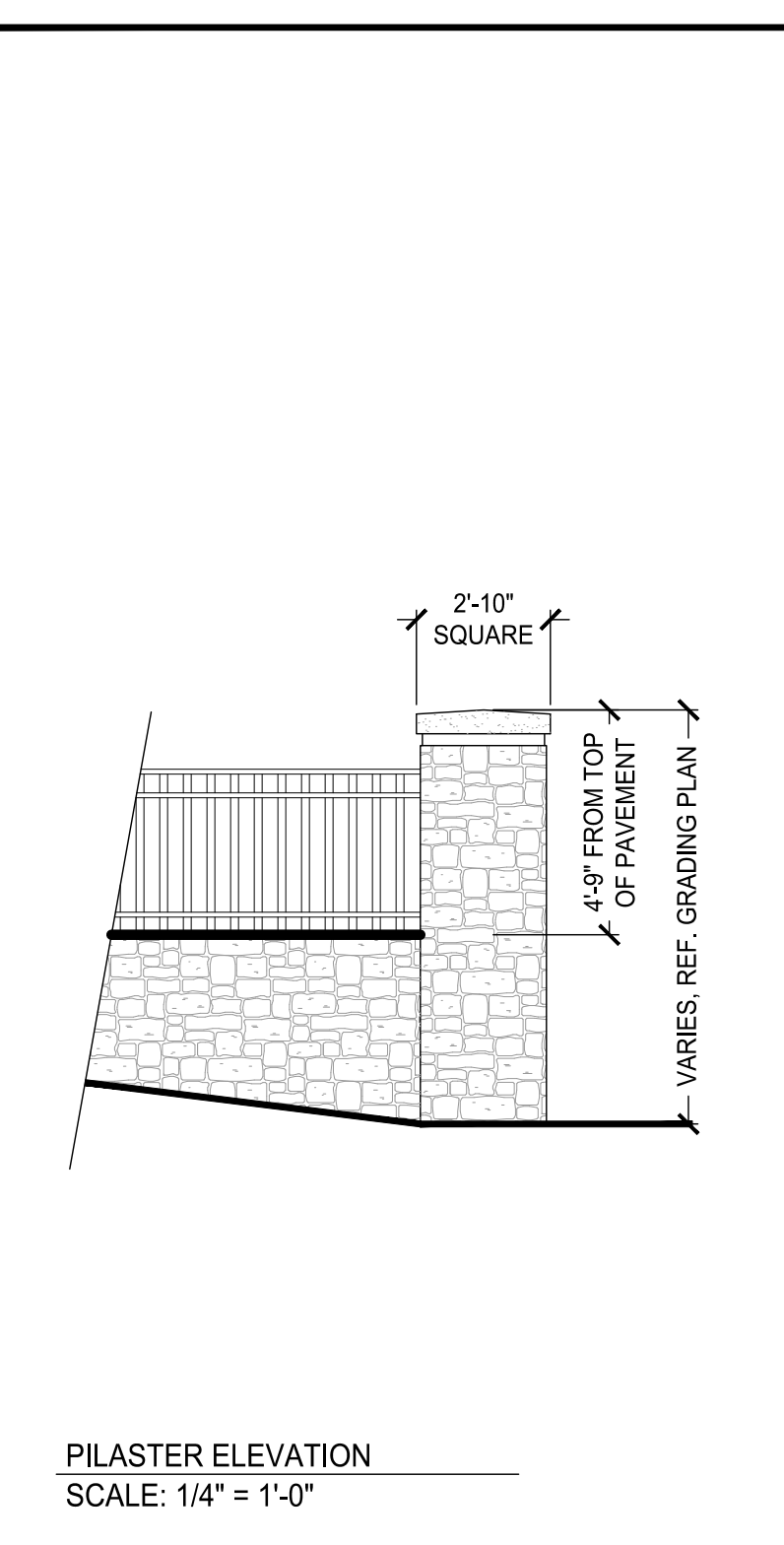
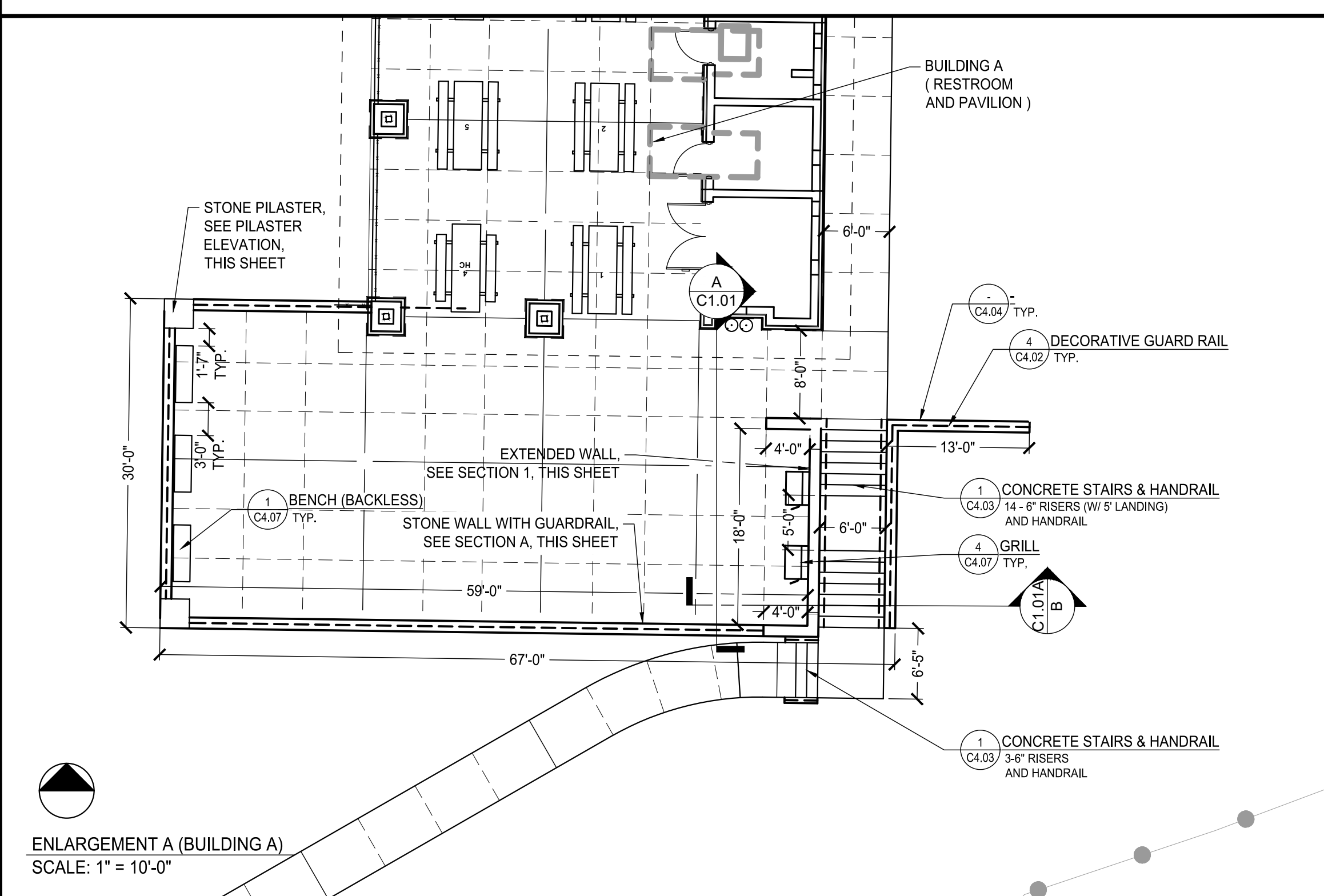
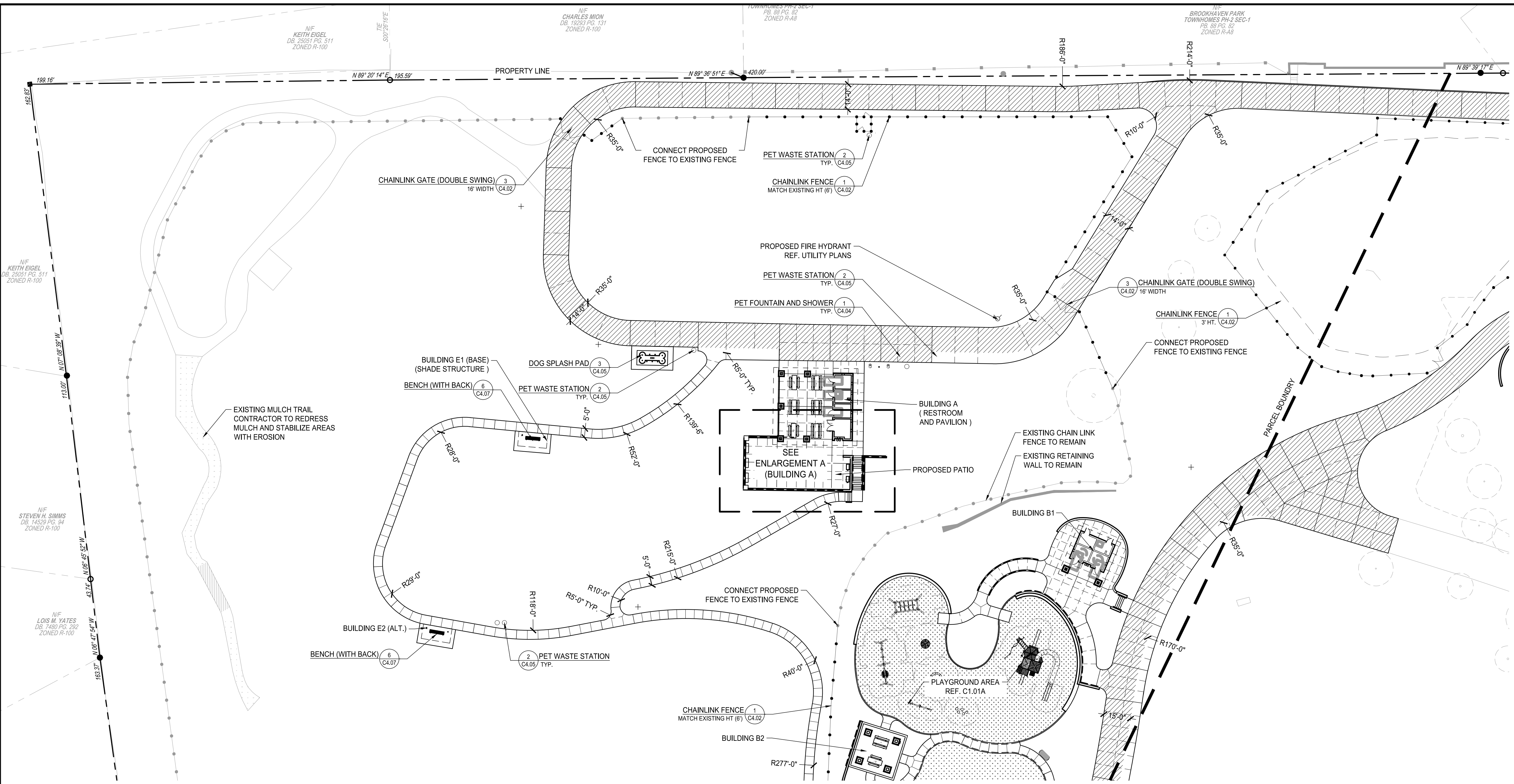
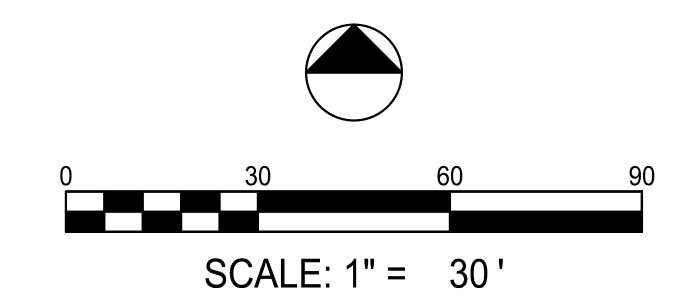
PROJECT NO.	DATE
19002	07/01/2022
DRAWN BY	SCALE
DNY	AS SHOWN
CHECKED BY	
ASP	
SHEET NO.	

**C1.01**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

**LAYOUT INFO LEGEND**

- HEAVY DUTY CONCRETE PER DETAIL 1/C4.00
- LIGHT DUTY CONCRETE PER DETAIL 2/C4.00
- ASPHALT PAVEMENT PER DETAIL 3/C4.00
- PLAYGROUND SURFACING - FIBAR
- PLAYGROUND SURFACING - TURF
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01

- DETAIL TAG:
- DETAIL#
  - DESCRIPTION/
  - SHEET#
  - COORDINATE POINT: SEE SHEET C1.20 FOR COORDINATE LIST.

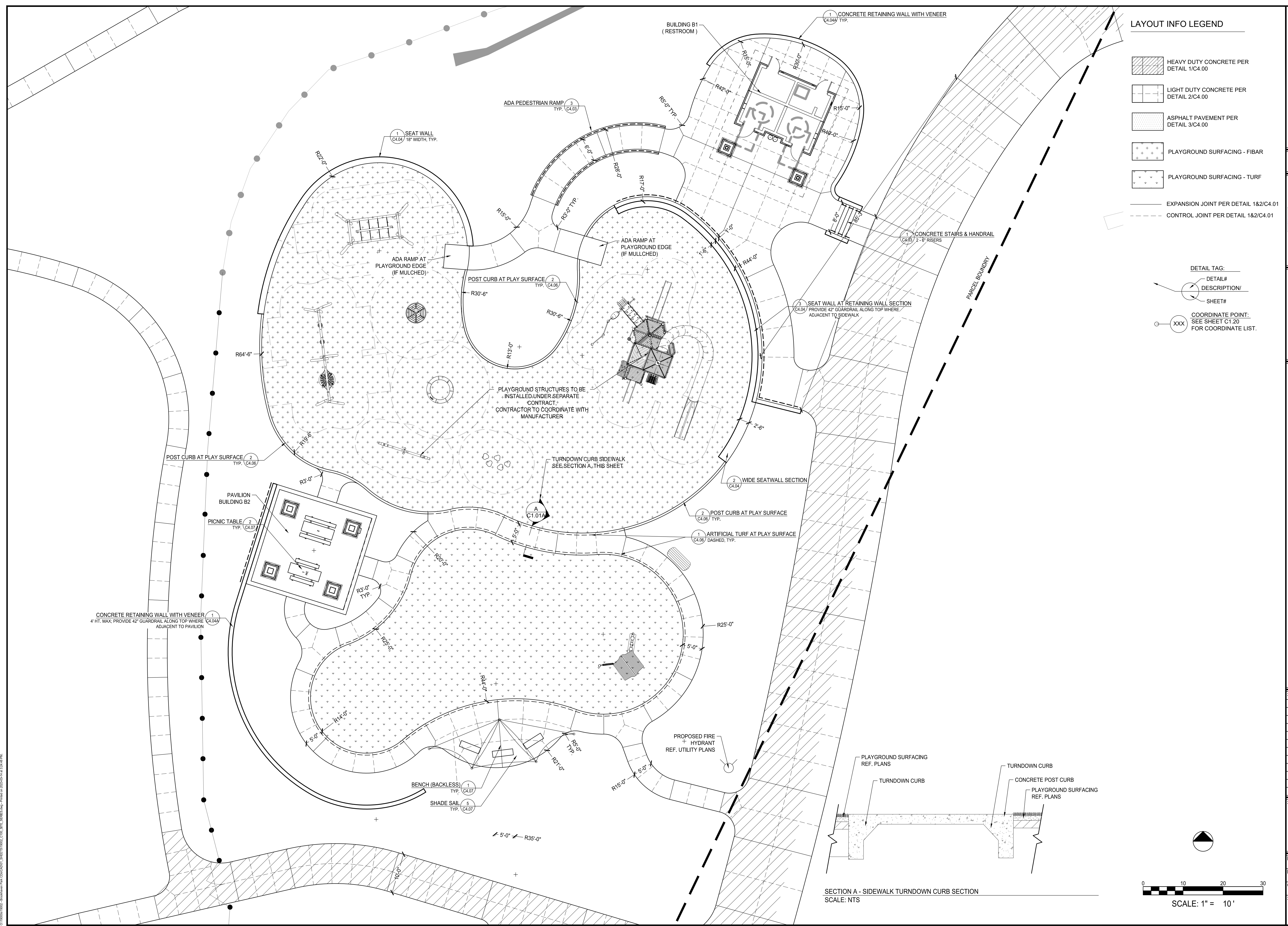




**LAYOUT INFO LEGEND**

- HEAVY DUTY CONCRETE PER DETAIL 1/C4.00
- LIGHT DUTY CONCRETE PER DETAIL 2/C4.00
- ASPHALT PAVEMENT PER DETAIL 3/C4.00
- PLAYGROUND SURFACING - FIBAR
- PLAYGROUND SURFACING - TURF
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01

- DETAIL TAG:**
- DETAIL#
  - DESCRIPTION/
  - SHEET#
  - COORDINATE POINT: SEE SHEET C1.20 FOR COORDINATE LIST.



**BROOKHAVEN PARK IMPROVEMENTS**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18  
GEORGIA

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

**SHEET TITLE**

LAYOUT PLAN ENLARGEMENT

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	
SHEET NO.	

**C1.01A**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

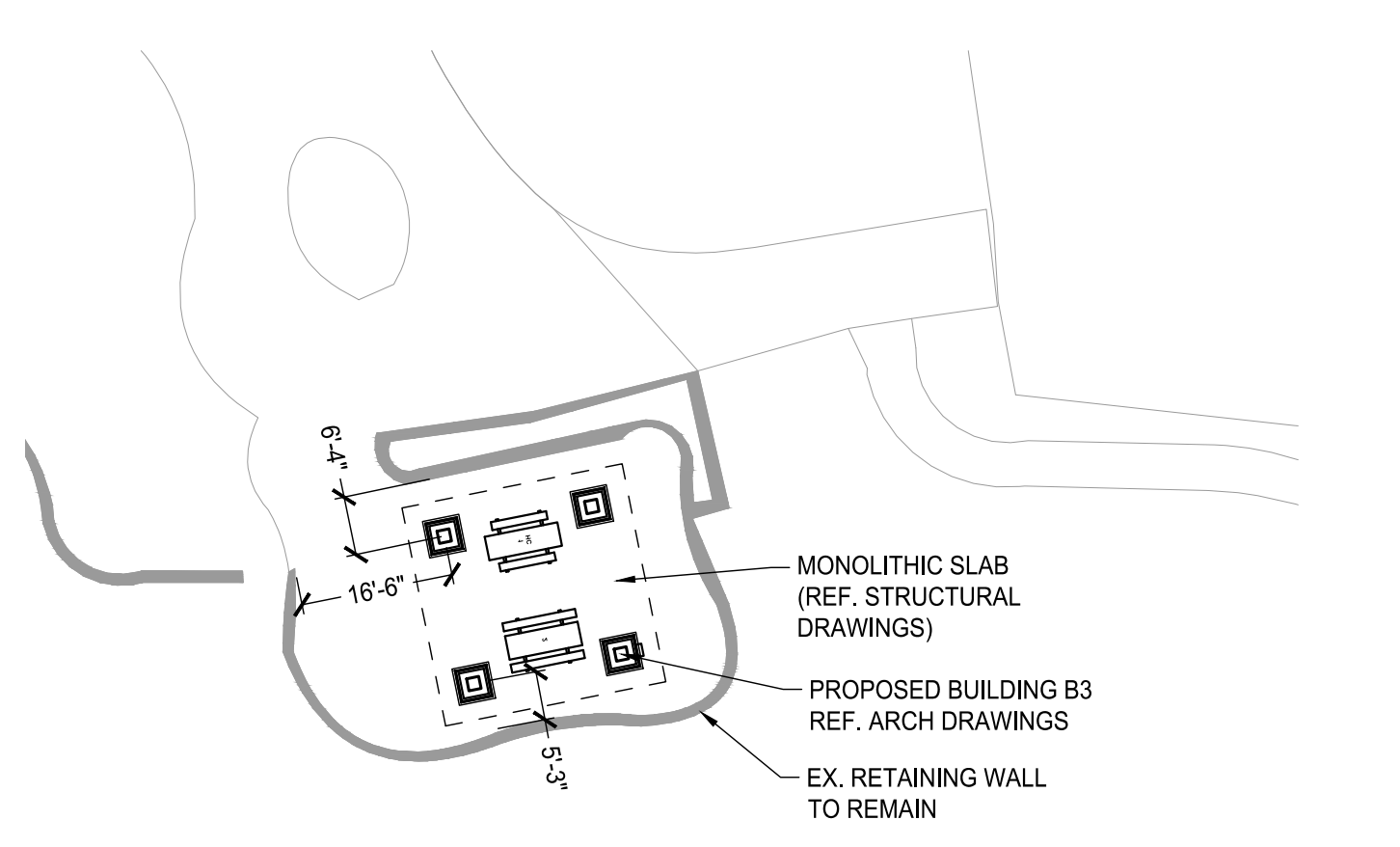
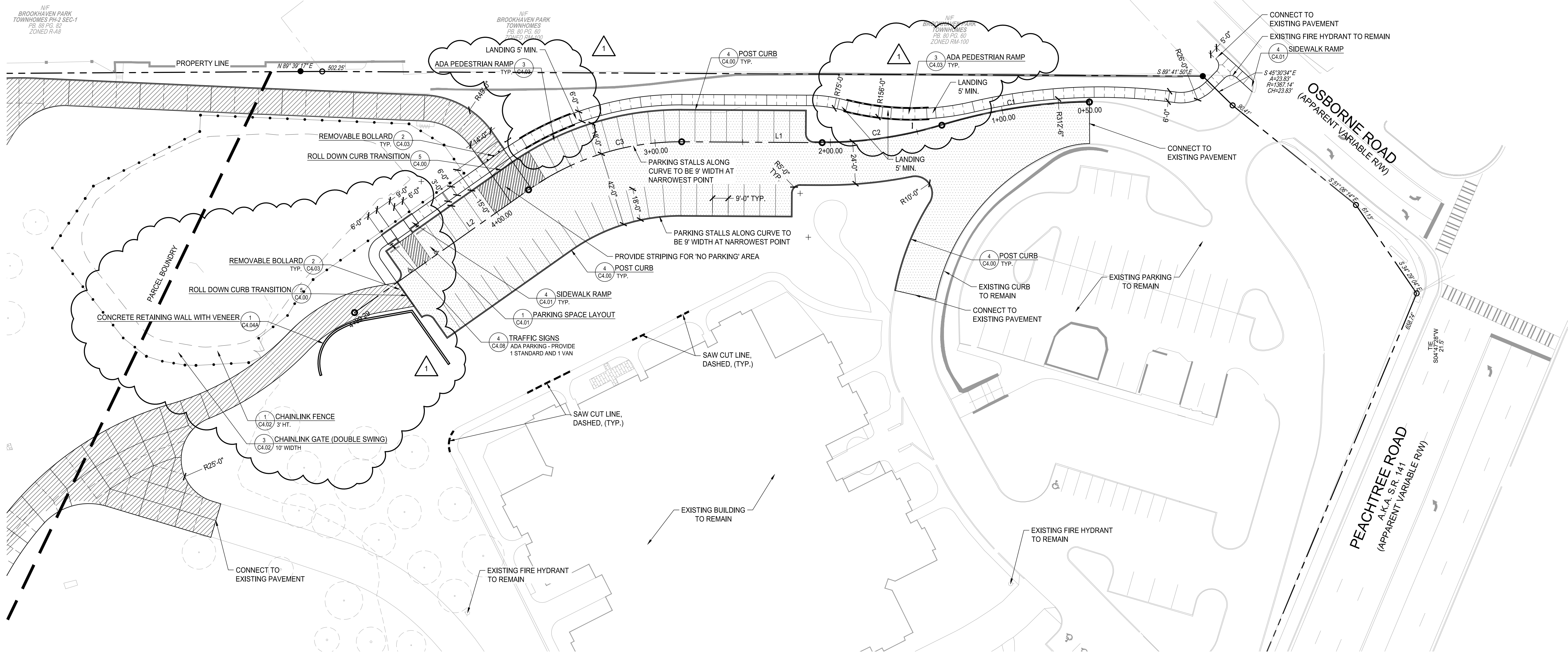
0:100001902 - Brookhaven Park, C:\DWG\2022\19002\C1.01A\_SHEET19002\_C101A\_SITELAYOUT.dwg, 7/1/2022 11:48:34 AM



**BROOKHAVEN PARK IMPROVEMENTS**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18

GEORGIA



Line Table: Alignments

Line #	Length	Direction	Start Point	End Point
L2	121.426	S54° 48' 59.42"W	(2244297.0717, 1406105.6377)	(2244197.8290, 1406035.6724)
L1	80.147	N89° 39' 00.32"W	(2244464.5627, 1406132.5488)	(2244384.4173, 1406133.0382)

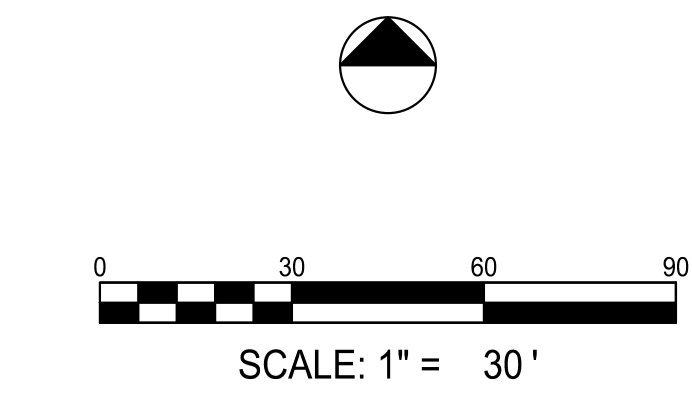
Curve Table: Alignments

Curve #	Radius	Length	Chord Direction	Start Point	End Point
C3	150.000	93.026	S72° 34' 59.55"W	(2244384.4173, 1406133.0382)	(2244297.0717, 1406105.6377)
C2	230.011	69.224	S81° 43' 39.41"W	(2244532.8084, 1406142.4712)	(2244464.5627, 1406132.5488)
C1	304.311	85.461	S81° 04' 36.00"W	(2244616.9577, 1406155.6837)	(2244532.8084, 1406142.4712)

LAYOUT INFO LEGEND

- HEAVY DUTY CONCRETE PER DETAIL 1/C4.00
- LIGHT DUTY CONCRETE PER DETAIL 2/C4.00
- ASPHALT PAVEMENT PER DETAIL 3/C4.00
- PLAYGROUND SURFACING - FIBAR
- PLAYGROUND SURFACING - TURF
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01

- DETAIL TAG:
- DETAIL#
  - DESCRIPTION/
  - SHEET#
  - COORDINATE POINT: SEE SHEET C1.20 FOR COORDINATE LIST.



SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

SHEET TITLE

LAYOUT PLAN

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	SHEET NO.

**C1.02**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

0:1100019102 - Brookhaven Park (C4) (C4.01) - SHEET C1.02 - SITE DEVELOPMENT PACKAGE - PERMIT - 05/31/2023 14:48:33 (3/3)

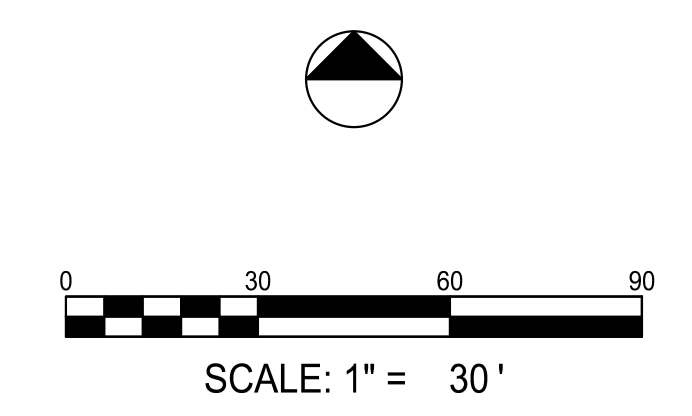
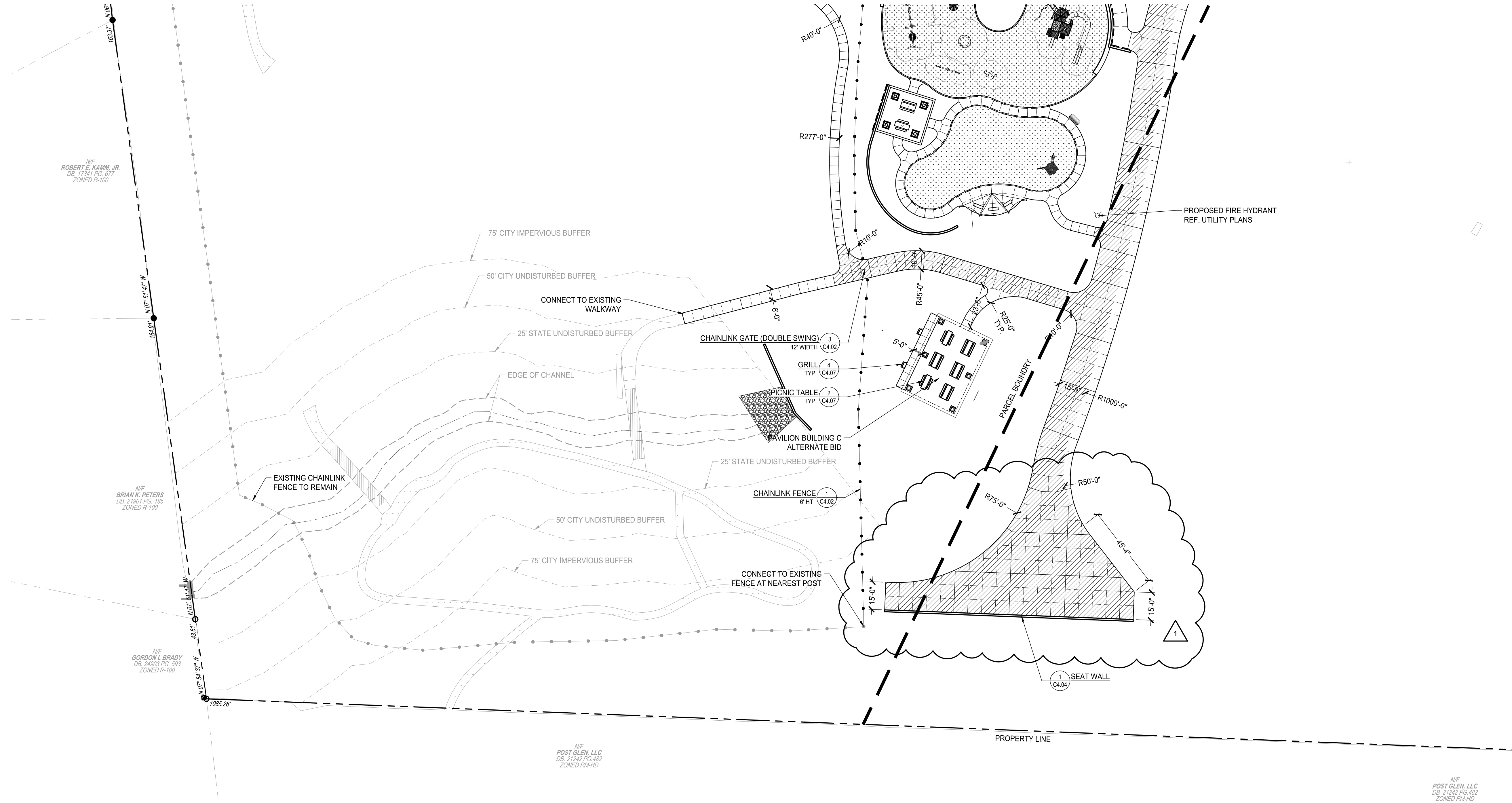




**LAYOUT INFO LEGEND**

- HEAVY DUTY CONCRETE PER DETAIL 1/C4.00
- LIGHT DUTY CONCRETE PER DETAIL 2/C4.00
- ASPHALT PAVEMENT PER DETAIL 3/C4.00
- PLAYGROUND SURFACING - FIBAR
- PLAYGROUND SURFACING - TURF
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01

- DETAIL TAG:**
- DETAIL#
  - DESCRIPTION/
  - SHEET#
  - COORDINATE POINT: SEE SHEET C1.20 FOR COORDINATE LIST.



**BROOKHAVEN PARK IMPROVEMENTS  
SITE DEVELOPMENT PACKAGE**

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18  
GEORGIA

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
1	09/09/2022	PERMIT REVISIONS

ISSUED FOR PERMIT

SHEET TITLE

LAYOUT PLAN

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	SHEET NO.

**C1.03**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

0:11000/1902 - Brookhaven Park (C04/C03) - SHEET C1.03 - SITE DEVELOPMENT - Printed on 2023-05-14 at 3:28:17 PM.

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# BROOKHAVEN PARK IMPROVEMENTS SITE DEVELOPMENT PACKAGE

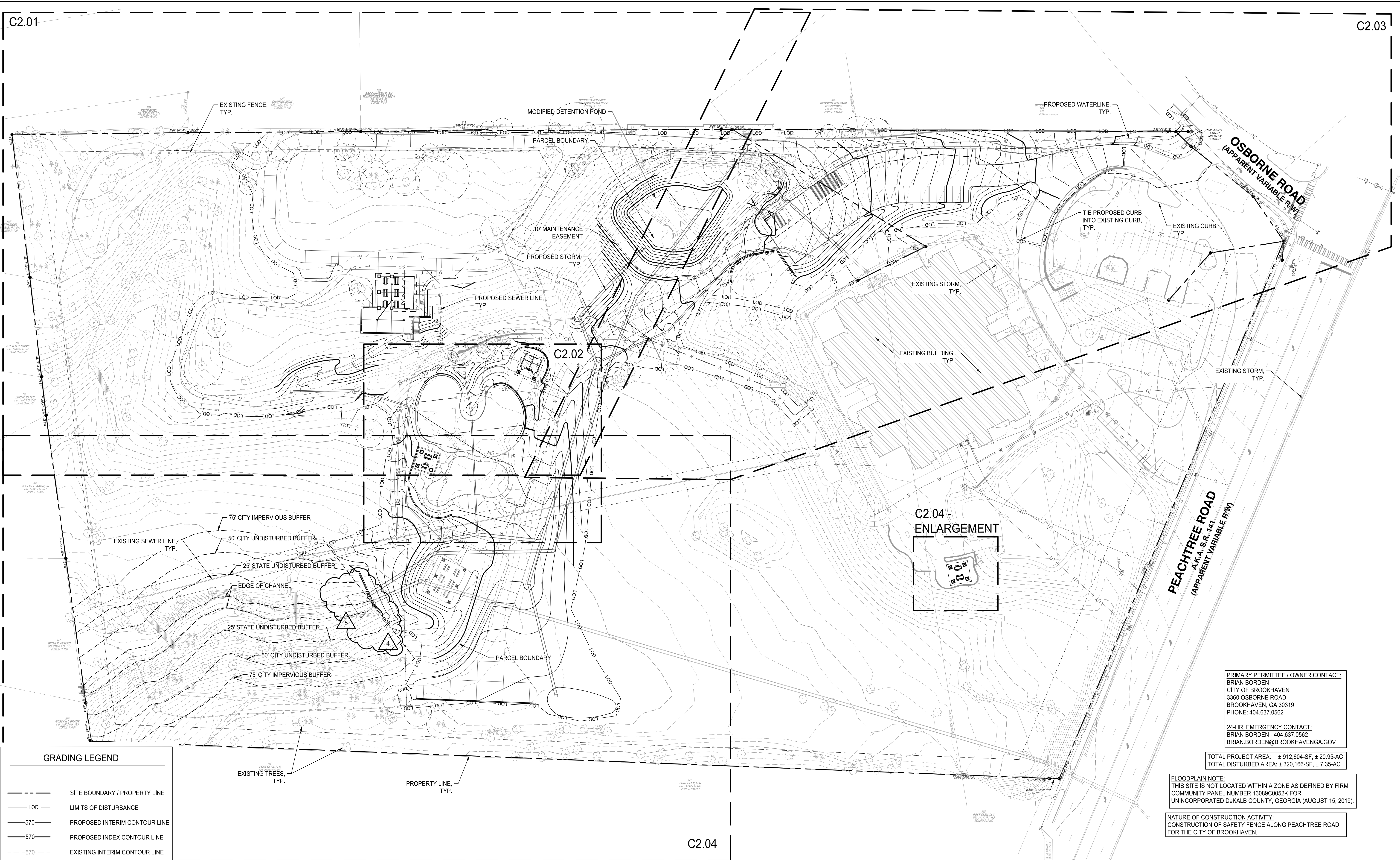
CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
LAND LOTS 240 & 241, DISTRICT 18  
BROOKHAVEN GEORGIA

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	09/09/2022	PERMIT REVISIONS
4	04/21/2023	PER CITY COMMENTS 04/19/2023
5	05/10/2023	PER CITY COMMENTS 05/11/2023
ISSUED FOR PERMIT		
SHEET TITLE		

## GRADING AND DRAINAGE PLAN KEY SHEET

PROJECT NO.	DATE
19002	07/01/2022
DRAWN BY	SCALE
MTG	AS SHOWN
CHECKED BY	
DMY	
SHEET NO.	

**C2.00**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013



### GRADING LEGEND

- - - -	SITE BOUNDARY / PROPERTY LINE
- . . -	LIMITS OF DISTURBANCE
---570---	PROPOSED INTERIM CONTOUR LINE
---570---	PROPOSED INDEX CONTOUR LINE
---570---	EXISTING INTERIM CONTOUR LINE
---570---	EXISTING INDEX CONTOUR LINE
570.20	PROPOSED SPOT ELEVATION
↙ 1%	SLOPE DIRECTIONAL ARROW (1% UNLESS OTHERWISE NOTED)
▲	PROPOSED HEADWALL
— — — —	PROPOSED STORMWATER LINE
— ● — ● —	PROPOSED FENCE
— / — /	PROPOSED GATE
— — — —	EXISTING STORMWATER

- SEE C1.00 SERIES SHEETS FOR LAYOUT PLANS INCLUDING PAVEMENT JOINT LOCATIONS  
- SEE SHEETS C2.05/C2.06 FOR STORM SEWER PIPE CHART AND PROFILES.  
- SEE C2.10-C2.30 SERIES FOR EPSC PLANS AND LIMITS OF DISTURBANCE.

### GRADING NOTES

- GRADING SHALL BE DONE IN ACCORDANCE WITH THE LINES AND GRADES DRAWN ON THE APPROVED GRADING PLAN.
- REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES AND STORMWATER DRAINAGE FACILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AS DEVELOPMENT PROGRESSES.
- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL.
- UNSATURABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEEDED.
- FILL AREAS SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RECOMPACTION OF THESE SOILS, TO THE DENSITY SPECIFIED IN THE PROJECT SPECIFICATIONS, WILL BE ALLOWED UNDER DIRECTION OF A QUALIFIED SOILS ENGINEER.
- CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUB GRADE IS ACHIEVED IN THE SAME MANNER AS FILL AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12" AND RECOMPACTED TO THE DENSITY SPECIFIED IN THE PROJECT SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- THE FOLLOWING SOIL COMPACTION RATES WILL BE REQUIRED:  
A. 95 PERCENT MAXIMUM DRY DENSITY FOR OPEN ROADS AND GENERAL EMBANKMENTS.  
B. 98 PERCENT MAXIMUM DRY DENSITY UNDER ROADS, PARKING, TRAILS, SIDEWALKS, BUILDING SLABS, AND FOUNDATIONS.
- ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 6 INCHES.
- ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
- ALL AREAS WILL BE GRADED TO PROVIDE PROPER DRAINAGE AND PREVENT STANDING WATER.
- GRADING SHOWN IS TO FINISHED GRADE.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- THE SUITABILITY OF SOILS SHALL BE DETERMINED BY A QUALIFIED SOILS ENGINEER EMPLOYED BY THE OWNER. ALL DECISIONS RENDERED BY THE SOILS ENGINEER, RELATED TO SOIL SUITABILITY, SHALL BE FINAL.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG, CALL GEORGIA 811 (1-800-282-7411).
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

PRIMARY PERMITTEE / OWNER CONTACT:  
BRIAN BORDEN  
CITY OF BROOKHAVEN  
3360 OSBORNE ROAD  
BROOKHAVEN, GA 30319  
PHONE: 404.637.0562  
BRIAN.BORDEN@BROOKHAVENGA.GOV

24-HR. EMERGENCY CONTACT:  
BRIAN BORDEN - 404.637.0562  
BRIAN.BORDEN@BROOKHAVENGA.GOV

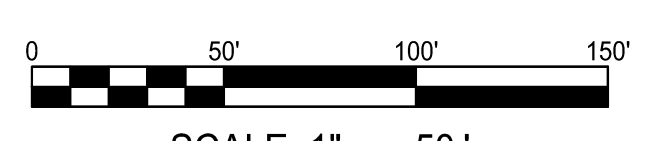
TOTAL PROJECT AREA: ± 912,604-SF, ± 20.95-AC  
TOTAL DISTURBED AREA: ± 320,166-SF, ± 7.35-AC

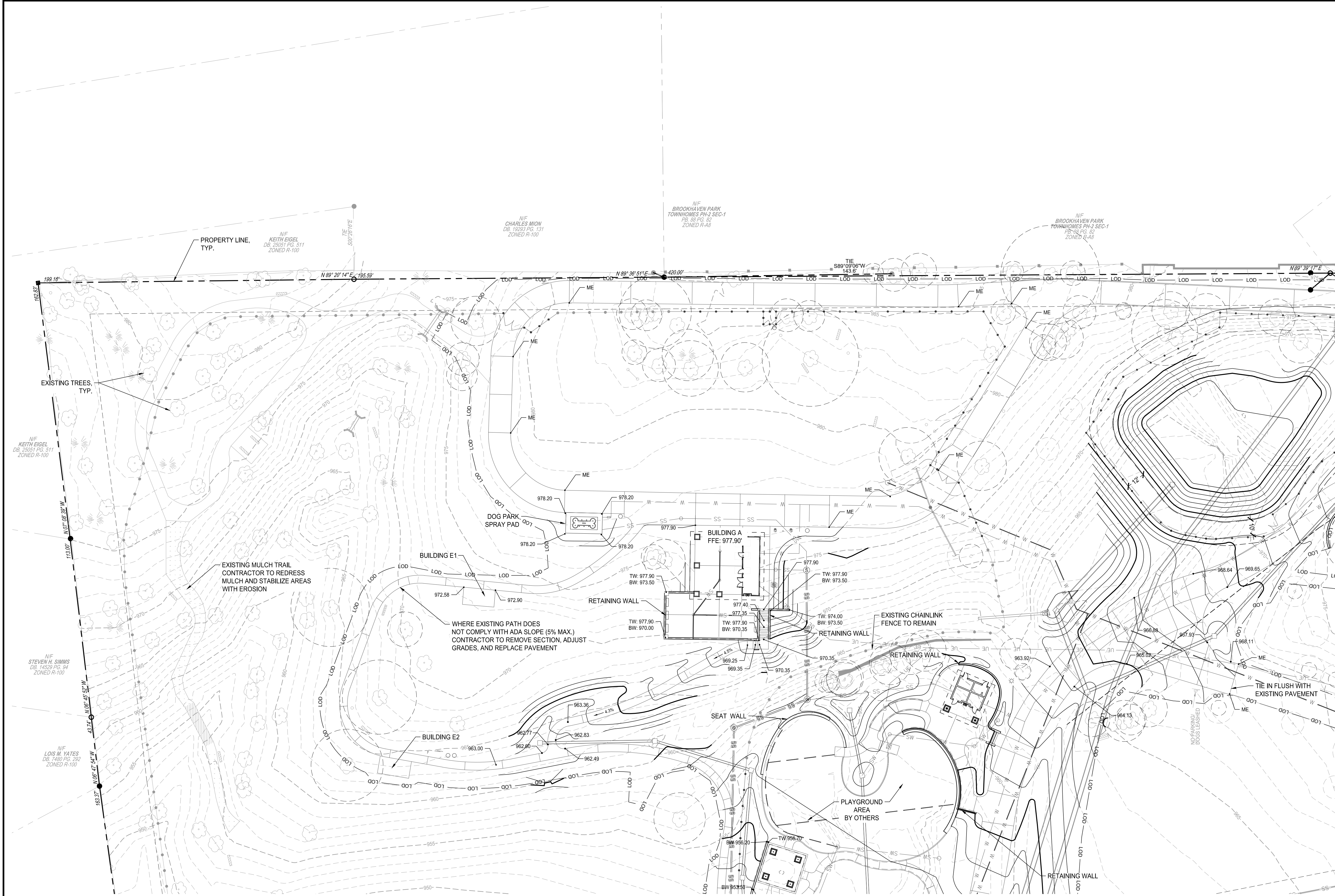
FLOODPLAIN NOTE:  
THIS SITE IS NOT LOCATED WITHIN A ZONE AS DEFINED BY FIRM COMMUNITY PANEL NUMBER 13089C0052K FOR UNINCORPORATED DeKALB COUNTY, GEORGIA (AUGUST 15, 2019).

NATURE OF CONSTRUCTION ACTIVITY:  
CONSTRUCTION OF SAFETY FENCE ALONG PEACHTREE ROAD FOR THE CITY OF BROOKHAVEN.



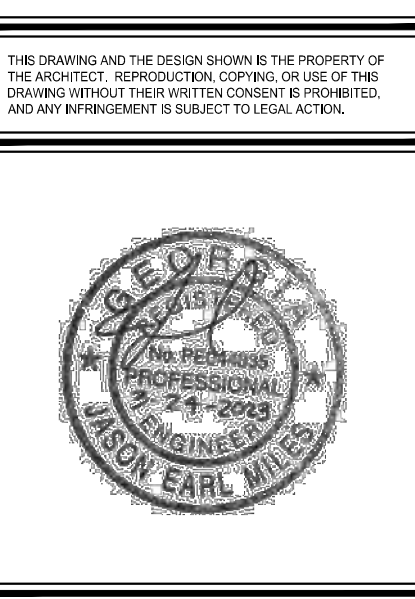
Know what's below.  
Call before you dig.





GRADING LEGEND	
	SITE BOUNDARY / PROPERTY LINE
	LIMITS OF DISTURBANCE
	PROPOSED INTERIM CONTOUR LINE
	PROPOSED INDEX CONTOUR LINE
	EXISTING INTERIM CONTOUR LINE
	EXISTING INDEX CONTOUR LINE
	PROPOSED SPOT ELEVATION
	SLOPE DIRECTIONAL ARROW (1% UNLESS OTHERWISE NOTED)
	PROPOSED HEADWALL
	PROPOSED STORMWATER LINE
	PROPOSED 6' HEIGHT FENCE
	PROPOSED 6' HEIGHT GATE
	EXISTING STORMWATER

**LOSE DESIGN**  
SPACES FOR LIFE.



**BROOKHAVEN PARK IMPROVEMENTS**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN LAND LOTS 240 & 241, DISTRICT 18

GEORGIA

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	09/09/2022	PERMIT REVISIONS
2	04/07/2023	PER CITY COMMENTS 03/29/23

ISSUED FOR PERMIT

SHEET TITLE

GRADING PLAN

PROJECT NO. 19002	DATE 07/01/2022
DRAWN BY MTC	SCALE AS SHOWN
CHECKED BY DMY	
SHEET NO.	

**C2.01**  
APPROVED PLAN 05/31/2023  
Permit # LDP22-00013

**811**  
Know what's below.  
Call before you dig.

SCALE: 1" = 30'

C:\19000\1902 - Brookhaven Park (C2.01) - SHEETS\1902\_C201 GRADING AND DRAINAGE\_SHEETS.dwg - Printed on 2023/04/07 at 1:14:45 PM