

## SURVEY NOTES

EQUIPMENT USED:  
A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.

A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

CLOSURE STATEMENT:  
THIS SURVEY HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 175,274 FEET.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 89,075 FEET AND AN ANGULAR ERROR OF 7" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM.

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON SEPTEMBER 19, 2016

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY.

THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.

PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

## TITLE NOTES

ACCORDING TO THE "FIRM" FLOOD INSURANCE RATE MAP OF DEKALB COUNTY, GEORGIA (PANEL NUMBER 1308C0052J), DATED MAY 15, 2013; NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.

SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF DRESDEN DRIVE, APPLE VALLEY ROAD & PARKSIDE DRIVE.

## SITE INFORMATION

CURRENT OWNER: CITY OF BROOKHAVEN  
DB, 24526 PG. 569

TAX PARCEL ID # 18 238 20 002

ADDRESS: 1282 DRESDEN DRIVE

ZONING: R75 (SINGLE FAMILY RESIDENTIAL DISTRICT)

JURISDICTION: CITY OF BROOKHAVEN

SETBACKS: FRONT 45' FROM MAJOR THOROUGHFARES  
30' FROM MINOR THOROUGHFARES  
30' FROM COLLECTOR STREETS  
30' FROM OTHER STREETS

SIDE 7.5'

REAR 40'

## PROPERTY DESCRIPTION

Being a tract or parcel of land lying and being in Land Lot 238, 18th District, DeKalb County, Georgia and being more particularly described as follows:

Beginning for the same at a P.K. Nail set at the intersection of the North Right of Way Line of Dresden Drive (having an apparent 60 feet wide right of way) and the East Right of Way Line of Apple Valley Road (having an apparent 60 feet wide right of way); thence, leaving the said Point of Beginning and running with the said line of Apple Valley Road

- North 04° 03' 19" East, 63.75 feet to a 1/2 inch capped rebar set at the intersection with the South Right of Way Line of Parkside Drive, formerly known as Fernwood Drive (having an apparent variable width right of way); thence, running with the said line of Parkside Drive South 80° 54' 30" East, 8.20 feet; thence,
- 42.07 feet along the arc of a curve deflecting to the right, having a radius of 200.00 feet and a chord bearing and distance of South 82° 03' 03" East, 41.99 feet; thence,
- South 75° 51' 31" East, 37.48 feet; thence,
- 23.37 feet along the arc of a curve deflecting to the left, having a radius of 177.18 feet and a chord bearing and distance of South 80° 38' 11" East, 23.35 feet; thence,
- South 84° 24' 52" East, 17.65 feet; thence,
- South 84° 32' 21" East, 68.69 feet; thence,
- South 85° 05' 47" East, 119.45 feet; thence,
- South 86° 20' 44" East, 54.37 feet; thence,
- South 88° 08' 54" East, 6.69 feet; thence,
- 86.17 feet along the arc of a curve deflecting to the left, having a radius of 245.00 feet and a chord bearing and distance of North 80° 34' 15" East, 95.85 feet; thence,
- North 60° 17' 23" East, 28.77 feet; thence,
- North 60° 09' 07" East, 31.59 feet to a 1/2 inch capped rebar set; thence, leaving the aforesaid line of Parkside Drive and running with the property now or formerly owned by DeKalb County, Georgia
- South 04° 01' 31" West, 121.77 feet to a 1/2 inch capped rebar set on the aforesaid line of Dresden Drive; thence, running with the said line of Dresden Drive North 83° 24' 30" West, 520.51 feet to the Point of Beginning, containing 36,140 square feet or 0.8297 of an acre of land, more or less.

Property is subject to all easements and rights of way recorded and unrecorded.

# BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (PARKSIDE PARK)

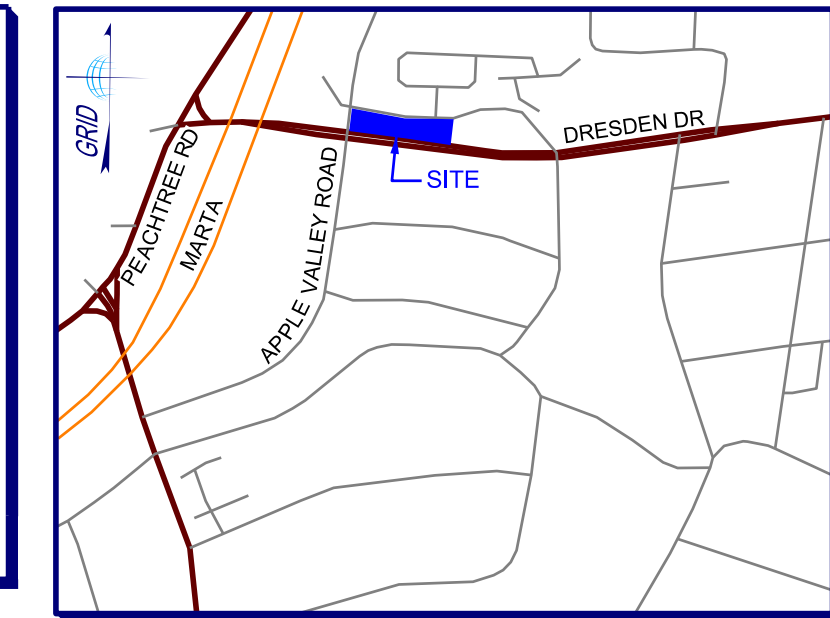
## LOCATED IN LAND LOT 238, 18TH DISTRICT CITY OF BROOKHAVEN, DEKALB COUNTY, GEORGIA

### SITE MAP



## REFERENCE MATERIAL

- WARRANTY DEED TO BROOKHAVEN TOWNSHIP HOMEOWNERS RECORDED IN DB, 11443 PG. 594, PB. 110 PG. 78 AMONG THE LAND RECORDS OF DEKALB COUNTY
- QUIT CLAIM DEED TO A. V. ASSOCIATES, LLC. RECORDED IN DB, 21865 PG. 304 AFORESAID RECORDS
- QUIT CLAIM DEED TO CITY OF BROOKHAVEN RECORDED IN DB, 24526 PG. 563 AFORESAID RECORDS
- QUIT CLAIM DEED TO PARKSIDE BROOKHAVEN PARTNERS, LLC RECORDED IN DB, 11189 PG. 20 AFORESAID RECORDS
- BOUNDARY SURVEY FOR DEKALB COUNTY PARKS & RECREATION PREPARED BY PRIME ENGINEERING DATED MAY 9, 2014 AND LAST REVISED JUNE 3, 2014



### LOCATION MAP

NOT TO SCALE  
LAT - 33° 51' 25.47"N  
LONG - 84° 19' 52.81"W

## UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

UTILISURVEY, LLC.  
514 DUNELLA LANE  
PEACHTREE CITY, GA 30069  
PHONE: 404-312-6912  
ATTENTION: HANS Wonneberger

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER, AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC, UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL 'B' UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

## UTILITY PROVIDERS

GAS	COMMUNICATION
ATLANTA GAS LIGHT COMPANY AGL 10 PEACHTREE STREET NE DALLAS, TX 75202 ATLANTA, GA 30309 MARTIN MAREK (404) 584-4126	AT&T 205 S. AKARD ST. DALLAS, TX 75202 (210) 521-4105 ANGELO HINES (770) 784-3972
POWER GEORGIA POWER COMPANY 823 JEFFERSON STREET ATLANTA, GA 30318 (404) 506-4569 IKE COLLINS	COMCAST (770) 559-8879 SANDRA ANDREWS LEVEL 3 COMMUNICATIONS, INC 1025 ELDRADO BOULEVARD BROOMFIELD, CO 80021 (877) 366-8344 EXT. 3
WATER DEKALB COUNTY WATER AND SEWER DEPARTMENT 1580 ROADHAVEN DR. STONE MOUNTAIN, GA, 30083 (770) 612-7222 JEFF WOODS (770) 724-1490 JWOODS@DEKALBCOUNTYGA.GOV	VERIZON / MCI 2420 N GLENVILLE RICHARDSON, TX 75082 (478) 471-1042 DENNIS RAINEY CENTURYLINK 100 CENTURYLINK DRIVE MONROE, LA 71203 (888) 723-8010 ZAYO FIBER SOLUTIONS 400 CENTENNIAL PKWY, SUITE 200 LOUISVILLE, CO 80027 (878) 666-2493 NIC FLORES

### BENCHMARK #1 DETAIL



### BENCHMARK #2 DETAIL



# → PICTURE LOCATION AND DIRECTION



PHOTO #1



PHOTO #2



PHOTO #3

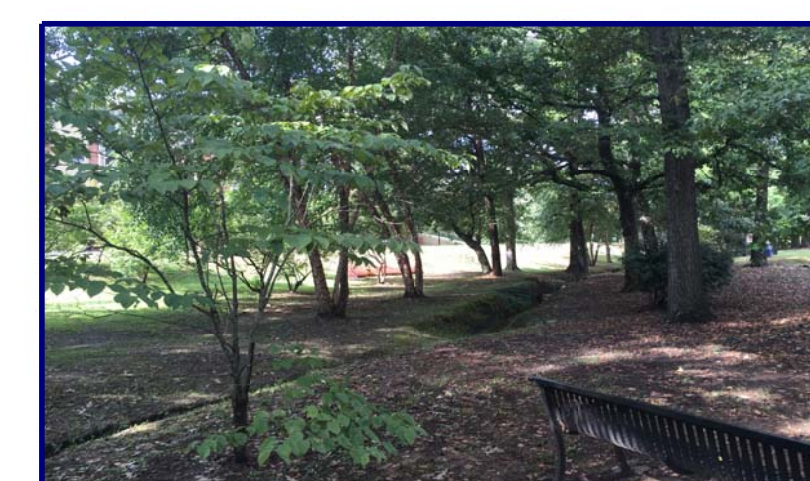


PHOTO #4



PHOTO #5

## SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA SURVEY ACT O.C.G.A. 15-6-67, AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-4, 43-15-6, 43-15-10, 43-15-22.

PRELIMINARY  
PENDING REVIEW AND COMMENT

WILLIAM C. WOHLFORD, JR., RLS  
REGISTERED NUMBER: 2571

BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (PARKSIDE PARK) LOCATED IN LAND LOT 238, 18TH DISTRICT CITY OF BROOKHAVEN, DEKALB COUNTY, GEORGIA

SHEET NO.

1/2

DRAWING# TM 16 103

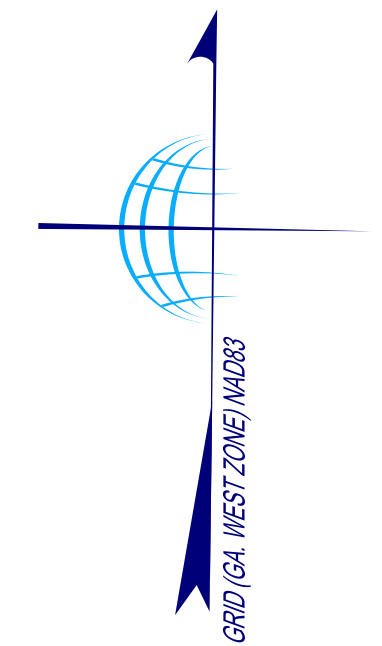
Project No.	2016-103	No.	Date
Survey Crew	AM	#1	
Drawn By	MEC	#2	
Approved By	WCV	#3	
Date	09/29/16	#4	
Scale	1"=30'	#5	

### LEGEND

	CURB AND GUTTER (C&G)		CATCH BASIN (DWCB)		IRRIGATION CONTROL VALVE (ICV)		LIGHT POLE (LP)		CROSSWALK SIGNAL
	FENCE		CATCH BASIN (SWCB)		FIRE HYDRANT (FH)		POWER POLE WITH LIGHT		SPOT ELEVATION
	HANDRAIL		DROP INLET (DI)		WATER VALVE (WV)		POWER POLE (PP)		SPOT ELEVATION
	STORM DRAIN LINE		JUNCTION BOX (JB)		WATER METER (WM)		UTILITY MANHOLE (UM)		CONCRETE AREA
	SANITARY SEWER		HEAD WALL (HW)		FIRE DEPT. CONNECTION (FDC)		SPOTLIGHT		OVERHANG AREA
	WATER LINE		CURB INLET (CI)		WATER VALVE MARKER		GAS METER (GM)		RIP-RAP AREA
	GAS LINE		FLARED END SECTION (FES)		TRANSFORMER BOX (TX)		GAS VALVE (GV)		BRICK AREA
	UNDERGROUND POWER LINE		OUTLET CONTROL STRUCTURE		AIR CONDITIONER (AC)		TELEPHONE PEDESTAL		BRICK AREA
	OVERHEAD POWER LINE		YARD DRAIN INLET		ELECTRIC METER (EM)		COMMUNICATION BOX		BRICK AREA
	UNDERGROUND COMMUNICATION		SS MANHOLE (MH)		ELECTRIC UTILITY		TRAFFIC SIGNAL		BRICK AREA
	TOPOGRAPHIC CONTOUR		CLEAN OUT (CO)		MAIL BOX		BOLLARD (BO)		BRICK AREA
	PROPERTY LINE				SIGN		SIGN		TREELINE

### SITE AREA

**36,140 Sq.Ft.  
or  
0.8297 Ac.**



TerraMark Land Surveying, Inc.  
1000 W. Peachtree Street, Suite 3000  
Atlanta, Georgia 30308  
Phone No. (770) 421-1927  
Fax No. (770) 421-0552  
www.TerraMark.com  
Professional Land Surveying  
C. O. A.#LSF000810

## TerraMark

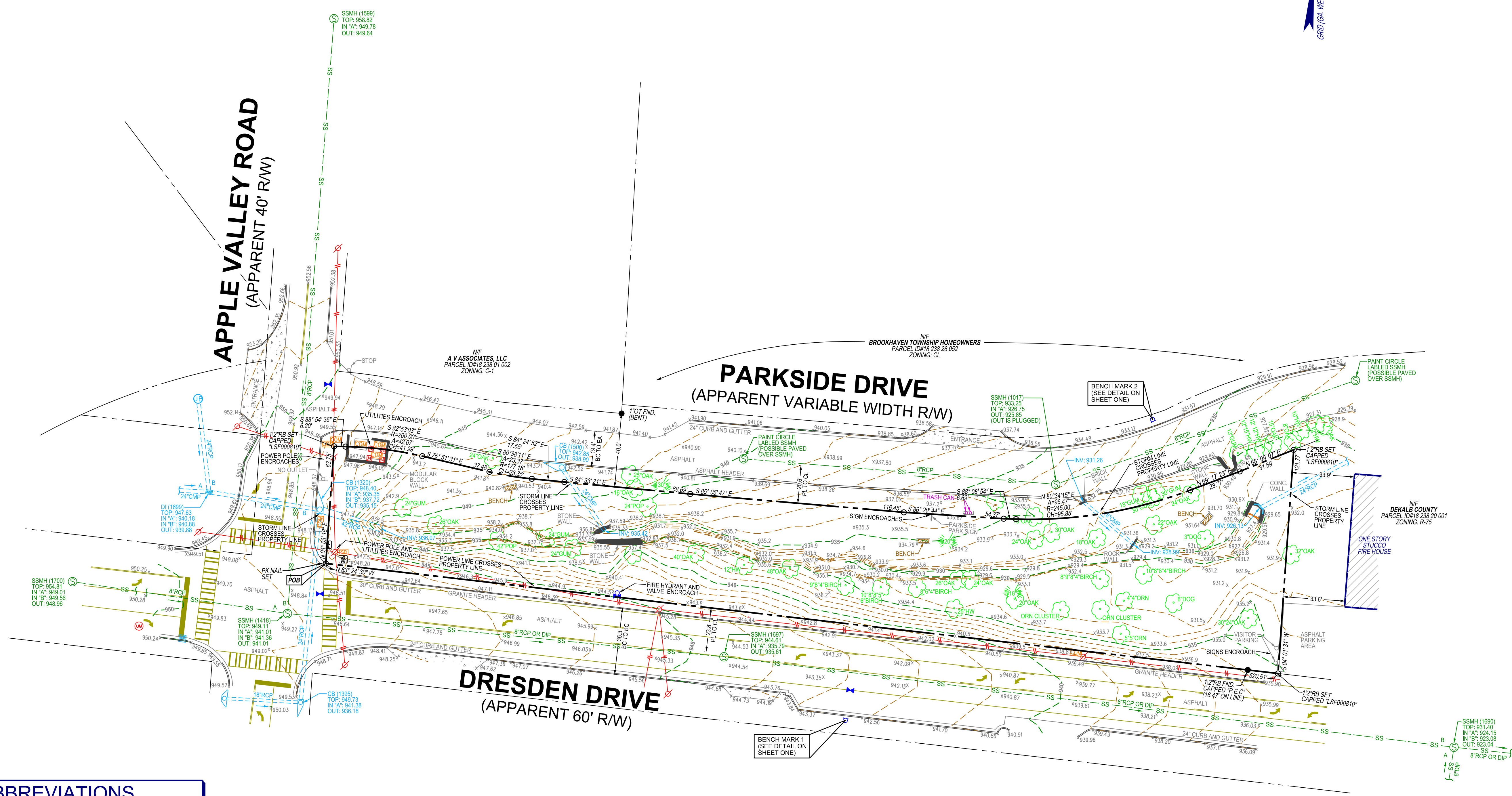
Professional Land Surveying

Project No.	No.	Date	Revision
2016-103	#1	AM	
	#2	MEC	
	#3	WCV	
	#4	WCV	
	#5	WCV	
	#6	WCV	
	#7	WCV	
	#8	WCV	
	#9	WCV	
	#10	WCV	

**BOUNDARY AND TOPOGRAPHIC SURVEY  
FOR  
THE CITY OF BROOKHAVEN  
(PARKSIDE PARK)**

LOCATED IN  
LAND LOT 238, 18TH DISTRICT  
CITY OF BROOKHAVEN, DEKALB COUNTY, GEORGIA

SHEET NO.  
**2/2**  
DRAWING# TM 16 103

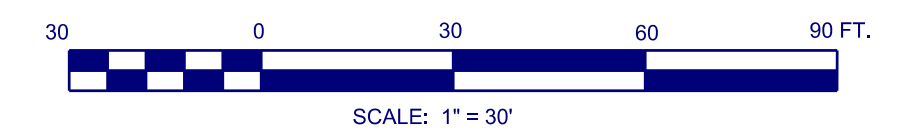


### ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	NF	NOW OR FORMERLY
AE	ACCESS EASEMENT	OTP	OPEN TOP PIPE
BSL	BUILDING SETBACK LINE	PB	SURVEY BOOK
BW	BARBWIRE	PAGE	PAGE
CH	CHORD LENGTH	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS LENGTH
CONC	CONCRETE	RW	RIGHT OF WAY
CTP	CRIMP TOP PIPE	RAW MON	RIGHT OF WAY MONUMENT
DB	DEED BOOK	REBAR	REBAR
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAINAGE EASEMENT
FND	FOUND	SQ. FT.	SQUARE FEET
HDPE	HIGH DENSITY POLYETHYLENE PIPE	SSE	SANITARY SEWER EASEMENT
IPF	IRON PIN FOUND	WPF	WOOD PRIVACY FENCE

### TREE LEGEND (ABBREVIATIONS)

	DECIDUOUS (TREE)	BRC	BIRCH	HLV	HOLLY
	CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
		CM	CRAPE MYRTLE	MAG	MAGNOLIA
		CRY	CHERRY	MAP	MAPLE
		CYP	CYPRESS	OAK	OAK
		FUR	FUR	ORN	ORNAMENTAL
		GNGKO	GINKGO	PEAR	PEAR
		GUM	SWEET GUM	POP	POPLAR
		HIC	HICKORY	SYC	SYCAMORE



JOB NUMBER 2016-103 PLOT SIZE 24 X 36