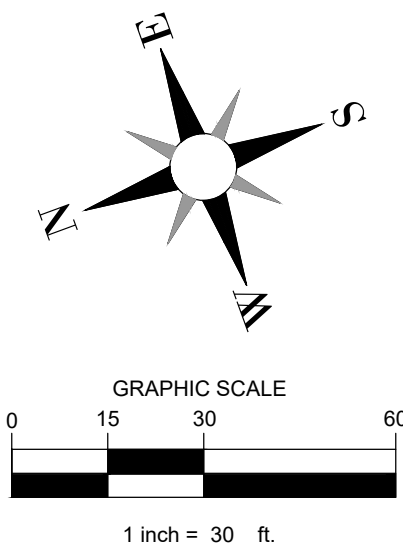


REVISION SCHEDULE	
Rev. No.	Description
1	01-14-2023 LSP CFI COMMENT #1
2	01-19-2023 BUILDING PERMIT
3	02-09-2023 LSP CFI COMMENT #2
4	03-07-2023 LSP CFI COMMENT #3
5	04-07-2023 LSP CFI COMMENT #4
6	04-25-2023 BUILDING PERMIT RESUBMITAL #1
7	08-30-2023 ADDENDUM #1



PAVING LEGEND

	STANDARD ASPHALT PAVEMENT DETAIL 6, SHEET C600
	1-1/2" MILL AND OVERLAY, DETAIL 5, SHEET C600
	NATURAL MULCH TRAIL DETAIL 5, SHEET C617
	4" PERVIOUS CONCRETE PAVEMENT DETAIL 12, SHEET C600
	4" CONCRETE SIDEWALK DETAIL 1, SHEET C600
	PERMETRAK PRECAST BOARDWALK (SEE PLANS BY OTHERS)

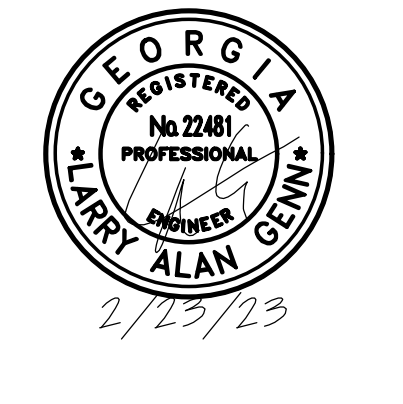
SITE NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CITY, COUNTY AND STATE REGULATIONS, CODES AND O.S.H.A. STANDARDS.
2. PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER F.E.M.A. FLOOD INSURANCE MAP PANEL NUMBER 1308900024, DATED 8/15/2019.
3. ALL DIMENSIONS SHOWN ARE TO FACE OF BUILDING, TO FACE OF CURB, TO CENTERLINE OF STRIPING, TO PROPERTY LINE OR CORNER, UNLESS OTHERWISE NOTED.
4. HANDICAP RAMPS SHALL BE PROVIDED AT THE INTERSECTION OF SIDEWALKS AND ENTRANCE DRIVES (AND CONC. ENTRANCE ISLANDS) AS SHOWN ON PLANS.
5. JOINT SEALANTS SHALL BE INSTALLED FOR ALL EXPANSION JOINTS IN PAVERS SET WITH MORTAR, CAST-IN-PLACE CONCRETE, JOINTS BETWEEN DIFFERENT MATERIALS, BETWEEN CURBS AND SIDEWALK, BETWEEN EXISTING AND PROPOSED CONCRETE PAVEMENTS, CONTROL AND EXPANSION JOINTS IN CAST-IN-PLACE CONCRETE, CONTROL AND EXPANSION JOINTS IN UNIT MASONRY AND JOINTS IN MASONRY. PLASTIC ZIP CAPS SHALL BE REMOVED BEFORE SEALANT IS APPLIED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING TO THE ENGINEER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WRITTEN CLARIFICATION FROM THE ENGINEER FOR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK IN QUESTION OR OTHER RELATED WORK.
7. ALL SITE WORK CONCRETE SHALL BE MINIMUM 3000 PSI 28 DAY STRENGTH.
8. CONCRETE SCORE LINES SHALL BE EQUALLY SPACED WITHIN EACH CONCRETE PANEL, AT NO FURTHER THAN 8' MAXIMUM SPACING, AND AS CLOSE TO 4'X4' JOINTING AS POSSIBLE. SEE PLANS FOR TYPICAL LOCATIONS.
9. AS SOON AS CONCRETE HAS BEEN FLOATED LEVEL AND SMOOTH AND HAS BEGUN TO SET UP, APPLY A LIGHT BROOM FINISH IN A CONSISTENT DIRECTION PERPENDICULAR TO THE DIRECTION OF PRIMARY PEDESTRIAN TRAVEL.
10. ALL EXPANSION JOINTS ARE 1/2" PREMOULDED BITUMINOUS ASPHALT WITH A BACKER ROD AND JOINT SEALER.
11. CONCRETE CRACK CONTROL JOINTS SHALL BE SAWCUT. SAWCUTTING MUST OCCUR THE SAME DAY THE CONCRETE IS POURED AND AS SOON AS IT CAN SUPPORT THE WEIGHT OF A PERSON WITH A SAW. PRIOR TO SAWCUTTING, CONTRACTOR SHALL CHALK LAYOUT JOINTS. CONTRACTOR SHALL SUBMIT SAWCUT PLAN TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
12. ALL EXPANSION AND CONTROL JOINTS SHALL ALIGN WHEREVER PROPOSED WORK MEETS EXISTING.
13. ALL ACCESSIBLE RAMPS SHALL HAVE DETECTABLE WARNING SURFACES MEETING GDOT SPECIFICATIONS.
14. EROSION, SEDIMENT & POLLUTION CONTROL MEASURES SHALL BE ERECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION UNTIL PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED. CLEAN OUT AND REMOVE ALL ACCUMULATED SILT AND SEDIMENT WHENEVER SAID DEVICES ARE HALF FULL.
15. ALL CONSTRUCTION SURVEYING (INCLUDING LAYOUT) SHALL BE PERFORMED BY A LAND SURVEYOR WITH A CURRENT REGISTRATION AND LICENSE IN THE STATE OF GEORGIA. CONTRACTOR REQUIRED TO OBTAIN CERTIFIED AS-BUILTS OF LIGHT POLE BASE LOCATIONS AND BOLT PATTERNS AND CONFIRM WITH MANUFACTURER.



**EXISTING UTILITIES:**  
INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.

SURVEY  
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C. O. A.# LSF000810



**SHEET INFORMATION**  
Scale: 1" = 30'  
12.01.2022  
Created By: LAG  
Checked By: MMS  
Drawing Title: SITE LAYOUT PLAN AREA B

Sheet Size: 30x42  
Drawing Name: S:\Project\Woodhaven, CV\Briarwood Park\A\BRIARWOOD PARK\BRIARWOOD PARK\_SitePlan.dwg  
Date last accessed: 6/30/2023 8:23 AM  
Date last plotted: 6/30/2023 8:43 AM  
Plotted by: Catherine Newberry