



# Quarterly Dam Inspection Report

Murphey Candler Park Dam, City of Brookhaven

December 14, 2020

SUBMITTED BY:

**Dewberry**

2835 Brandywine Road Suite 100  
Atlanta, GA 30341  
678.537.0022

SUBMITTED TO:

**City of Brookhaven Parks &  
Recreation**

Brian Borden  
3360 Osborne Road NE  
Brookhaven, GA 30319



12/14/2020

Dewberry Engineers Inc.

COA#: PEF002398

Expires: 06/30/2022

## Embankment (Earth) Dam Inspection Form

Name of Dam: Murphey Candler Park Dam Inspection: 12/14/2020 9:00 am

Location of Dam (County): DeKalb County, GA

Inspected by (Print Name): Daniella Llinas/David Taylor

Weather: Overcast

---

If an inspection item requires further action on your part, place a check mark to the left of the number of the item.

**A. Crest** (refer to Glossary for description)

1. How would you describe the vegetation on the crest? (Check all that apply)

Recently Mowed \_\_\_\_\_ Overgrown \_\_\_\_\_ Good Cover \_\_\_\_\_ Sparse \_\_\_\_\_

Other/Corrective Action (describe): The crest of the dam has a 20-ft wide asphalt paved road at the center with a concrete pedestrian walkway on either side. The narrow areas between the asphalt road and the pedestrian walkway is covered by sparse, recently mowed grass.

2. Are there any trees or other inappropriate or excessive vegetation on the crest? Yes \_\_\_\_\_ No

If yes, describe (type of vegetation, size, location, etc.)/Corrective Action: \_\_\_\_\_

3. Is there a paved road or driveway on the crest? Yes  No \_\_\_\_\_

If yes, describe the condition (for example, good condition, numerous cracks, newly paved)/Corrective Action: The road is functional and in good condition (See Photos 1 and 2). Some minor cracks were observed on the paved road at a few locations as described in section 5 of this report (See Photos 3- 5).

4. Are there any depressions, ruts or holes on the crest? Yes  No \_\_\_\_\_

If yes, describe (size, location, etc.)/Corrective Action: There is a minor depression at the downstream left side of the crest by the end of the road guard rail. This depression appears unchanged since the previous report in September. (See Photo 5). Cracks remain in the concrete sidewalk pavement and the asphalt road at this location. These do not appear to be in any area of critical concern but should continue to be monitored.

5. Are there any cracks on the crest? Yes  No \_\_\_\_\_

If yes, describe (length and width, location, direction of cracking, etc.)/Corrective Action: The cracks in the paved road on the dam crest noted most recently in the September inspection remain. There is no indication they have grown wider. Existing cracks located on the left end of the bridge measuring approximately 17-ft and 13-ft in length (See Photo 3) are similar in appearance to last inspection. A crack in the centerline of the roadway running parallel to the direction of the dam was also observed near the left (east) end of the dam. This crack should be monitored to ensure it does not increase in size or otherwise worsen. (See Photo 4). Depressed area at the left, downstream edge of the dam crest has created a semi-circular crack in the pavement. (See Photo 5). All cracks appear to be unchanged since September inspection. These cracks should be monitored to ensure they do not increase in size or otherwise worsen.

6. Other observations on the crest/Corrective Action: \_\_\_\_\_

**B. Upstream Slope** (refer to Glossary for description)

1. What is the reservoir level today? At Normal Pool \_\_\_\_\_ Above Normal Pool 0.5 Feet Below Normal Pool \_\_\_\_\_ Feet

2. How would you describe the vegetation on the upstream slope? (Check all that apply)

Recently Mowed \_\_\_\_\_ Overgrown  Good Cover \_\_\_\_\_ Sparse \_\_\_\_\_

Other/Corrective Action (describe): The upstream slope is primarily covered with unevenly distributed riprap and vegetative growth. The vegetation on the upstream slope was noticeably sparser than September inspection, although this appears to be due to die back from recent low temperatures as opposed to maintenance performed to remove vegetation. (See Photos 6 and 7).

3. Are there any trees or other inappropriate or excessive vegetation on the slope? Yes  No

If yes, describe (type of vegetation, size, location, etc.)/Corrective Action: Woody vegetation remains that should be removed. This vegetation has in some cases dropped its leaves but will likely resume growing in warmer temperatures unless removed. (See Photos 8 and 9). Several young trees reported in the July inspection have not been removed and continue to grow. (See Photo 10). As more vegetation is allowed to take root and mature on the upstream face of the dam the potential for damage caused by roots is increasing. It is recommended that woody vegetation and saplings be cut down to the base or extracted from their roots to prevent growing back in the future.

4. Are there any depressions, bulges, ruts or holes (such as animal burrows) on the slope? Yes  No

If yes, describe (size, location, etc.)/Corrective Action: Multiple depressions due to inadequate riprap coverage were observed along the upstream face of the dam. See comment in item 7 of this section for more detail.

5. Are there any eroded areas on the slope (such as wave erosion along the shoreline)? Yes  No

If yes, describe (size of area, location, severity, etc.)/Corrective Action: Significant erosion of the soil beneath the riprap was observed near the left wing wall of the concrete spillway. The erosion depth is up to 2-ft vertically in some locations immediately adjacent to the end of the left wing wall (See Photos 11- 13). There is both undercutting and erosion perpendicular to the wall. It appears that some of the riprap in this area has shifted slightly since previous inspections, though it is difficult to determine with certainty due to density of vegetation present in September's inspection. Future rain and high flow events can cause increased erosion and undercutting. Corrective actions are required and include filling and compacting the soil and placing a filter material and additional well-graded riprap to avoid further erosion near the concrete spillway. Repairs are necessary to prevent further erosion. Dense vegetation in this area remains despite the lower temperatures and should be cut back. There is insufficient riprap coverage in the area immediately adjacent to the right wing wall also, as noted in the previous inspection report from July 2020. (See Photo 30).

6. Are there any cracks, sloughs or slides (vertical cliffs) on the slope? Yes \_\_\_\_\_ No

If yes, describe (length, width, height, location, etc.)/Corrective Action: \_\_\_\_\_

7. Is there any type of slope protection along the shoreline (such as riprap)? Yes  No

If yes, describe what type and its condition (for example, riprap - adequate, inadequate, sparse)/Corrective Action: Coverage of riprap is inconsistent across the width and height of the dam face (See Photo 14). The upper section of the dam face lacks adequate riprap coverage to provide protection at higher water levels. Recommend replacing riprap as needed across dam face to create uniform coverage up to sidewalk elevation. Notable areas include: 1) The right (west) side of the dam near the concrete spillway where it is visibly sparse compared to the rest of the dam face (See Photo 15), 2) Several makeshift pathways leading from the pedestrian walkway to the water near the upstream left abutment and near the principle spillway riser. (See Photo 16). Corrective action includes placing riprap along the dam face to create adequate uniform coverage of slope up to sidewalk elevation.

8. Other observations on the upstream slope/Corrective Action:

**C. Downstream Slope** (refer to Glossary for description)

1. How would you describe the vegetation on the downstream slope? (Check all that apply)

Recently Mowed  Overgrown \_\_\_\_\_ Good Cover  Sparse \_\_\_\_\_

Other/Corrective Action (describe): The downstream slope of the dam is covered in well maintained recently mowed grass (See Photo 17 and 18). Several patches of missing grass on the right side of the downstream slope have exposed the underlying soil (See Photos 19 and 20). Recommend these areas be re-seeded and monitored to ensure that they don't grow larger or lead to increased erosion.

2. Are there any trees or other inappropriate or excessive vegetation on the slope? Yes \_\_\_\_\_ No

If yes, describe (type of vegetation, size, location, etc.)/Corrective Action: \_\_\_\_\_

3. Are there any depressions, bulges, ruts or holes (such as animal burrows) on the slope? Yes \_\_\_\_\_ No

↑ Check if corrective action is noted/required.

If yes, describe (size, location, etc.)/Corrective Action: The repairs to the damaged utility box adjacent to the electronic speed sign and surrounding soil appear to be holding up well with no signs of erosion. (See Photo 21).

4. Are there any eroded areas on the slope (such as along abutment contacts)? Yes  No

If yes, describe (size of area, location, severity, etc.)/Corrective Action: Minor erosion/bare spots were observed in high-traffic areas such as near the sprinkler box, the batting cages, principal spillway outlet box and near the right downstream abutment (See Photo 23). Corrective actions in these areas includes filling in bare spots, compacting and grassing or adding a layer of gravel if grass continues not to grow.

5. Are there any cracks, sloughs or slides (vertical cliffs) on the slope? Yes  No

If yes, describe (length, width, height, location, etc.)/Corrective Action: \_\_\_\_\_

6. Are there any wet areas or areas of hydrophilic (lush, water-loving) vegetation? Yes  No

If yes, describe (size of area, location, etc.)/Corrective Action: \_\_\_\_\_

7. Do any wet areas indicate seepage through the dam (such as rust-colored, stained water)? Yes  No  N/A

If yes, describe (for example, new area of seepage, no change from past observations, size of area, location) /Corrective Action: \_\_\_\_\_

8. Are there any leaks (flowing water) from the slope or beyond the toe of the dam? Yes  No

If yes, describe (location, rate of flow, turbidity of flow)/Corrective Action: \_\_\_\_\_

9. Other observations on the downstream slope/Corrective Action: An animal guard on the toe drain located roughly at center of downstream dam face should be straightened and secured from bottom to provide adequate barrier against small animals entering the drain pipe (See Photo 24). Previously noted minor damage to a utility box adjacent to a small concrete marker on the right side of the downstream face near the dam crest remains with no evidence of repair. (See Photo 22). A hole has formed in the fiberglass structure on the downstream side of the box. This hole should be repaired to ensure erosion does not occur around the utility box. Once repaired, the soil around the box should be backfilled and compacted to avoid any future erosion.

**D. Plunge Pool** (refer to Glossary for description)

1. Is there any type of erosion protection around the plunge pool (such as riprap)? Yes  No

If yes, describe what type and its condition (for example, riprap - adequate, inadequate, obstructed by vegetation) Chute blocks and baffle blocks are used to dissipate the water energy. Additionally, riprap is used downstream of the stilling basin to protect the natural channel bottom from erosion. The current channel erosion protection measures appear adequate and functional.

2. Is there any erosion and or seeps around or going into the plunge pool? Yes  No

If yes, describe (size of area, location, severity, etc.) /Corrective Action: There is potentially a cavity forming beneath the lower right (west) face of the spillway directly above the plunge pool (See Photo 43). During the December 2019 inspection striking the face of the spillway with a survey rod produced a hollow tone in this location, distinct from solid sounds produced by striking elsewhere on the spillway. There is no readily apparent cause of the cavity. Further investigation with ground penetrating radar or other suitable non-destructive method is recommended to confirm the existence and size of any cavity. Corrective action includes injecting flowable fill or other suitable material into the cavity and monitoring the area for any signs of worsening condition. Investigation is strongly recommended to determine if corrective action is needed. A cavity in this location poses a significant risk and has potential to cause costly spillway failure if left unaddressed. This area was not examined during this inspection.

3. Other observations around the plunge pool/Corrective Action: \_\_

1). Erosion is observed at the right stream bank downstream of the plunge pool immediately next to the storm drain headwall (See Photo 26). This erosion does not appear to have worsened since the September inspection. Although it is not impacting the dam's safety, it is recommended to stabilize the stream bank and place additional riprap to protect the bank



and prevent further undercutting around the headwall. The inspection report from December 2018 notes that the City was in the process of procuring a consultant to address this, though no evidence of corrective action has since been observed.

**E. Principal and Emergency Spillways** (refer to Glossary for description)

1. What types of spillways does the dam have (such as corrugated metal, concrete or siphon pipe; concrete or earth channel)?  
Principal Spillway 48-inch diameter CMP with concrete standpipe Emergency Spillway Concrete Channel  
Other/Corrective Action: \_\_\_\_\_
2. Has the emergency spillway activated (had flow) since the last inspection? Yes ✓ No \_\_\_\_\_  
If yes describe (date(s) of flow, reason for activation, depth of flow) /Corrective Action: The emergency spillway experiences continuous service flows (See Photo 27).
3. For pipe spillways, is the intake obstructed in any way (such as with excessive debris)? Yes \_\_\_\_\_ No ✓  
If yes, describe (type of debris, reason for obstruction, etc.) /Corrective Action: On 6/21/2017, DeKalb County Fire & Rescue divers inspected the principal upstream riser structure (See Photo 28). The divers did not identify any issues in the outer part of the riser or sluice gate. They did note that the orifice was buried in soft silt. An inspection has not been performed since. Wasps have built a nest inside the riser tube. The wasp nest should be removed to avoid potential hazards during any maintenance or emergency operation of the spillway riser.
4. For pipe spillways, what is the condition of any trash racks (for example, adequate, inadequate, damaged)? /Corrective Action:  
Pipe is submerged and could not be observed. Divers on 6/21/17 indicated that trash racks appeared to be in-place and consistent with the plans provided by GA SDP. An inspection has not been performed since.
5. For pipe spillways, are there any visible cracks, separations or holes in the pipe(s) (intake or outlet)? Yes ✓ No \_\_\_\_\_  
If yes, describe (location, width of crack or separation, etc.)/Corrective Action: Crawler type CCTV of the principal spillway pipe captured on March 20, 2020 was provided to Dewberry. Review of this footage indicated deteriorated sections of the pipe, some joint separation and soil intrusion. As previously discussed with city officials, the principal spillway should be rehabilitated. It is not recommended to operate the spillway for non-emergency purposes until this has occurred. In the event of an emergency, operation of the spillway should be performed with extreme caution, including but not limited to closing of the road over the dam, continuous monitoring, and being prepared to fully implement the emergency action plan to mitigate the potential for loss of life in the event of a dam failure. The outlet to the pipe was visually inspected from the brick chamber on the downstream slope. It does not appear that any corrective action has been taken to address issues described above.
6. For pipe spillways, are there any apparent leaks in the pipe(s)? Yes \_\_\_\_\_ No ✓  
If yes, describe (location, rate of flow from leak, etc.)/Corrective Action \_\_\_\_\_
7. For pipe spillways, how would you describe the overall condition of the pipe(s)? (Check all that apply)  
Functioning Normally\_\_\_ Not Functional\_\_\_ Deteriorated ✓ Damaged\_\_\_ Adequate\_\_\_ Inadequate\_\_\_
8. For concrete or earth channel spillways, is the entrance or channel obstructed in any way? Yes ✓ No \_\_\_\_\_  
If yes, describe (type of obstruction, location, etc.)/Corrective Action: A few scattered logs and some woody debris have collected at the upstream end of the spillway on the spillway platform and against the bridge piers (See Photo 29). This debris should continue to be removed as it collects. The mat of grassy vegetation growing from the right bank into the concrete spillway appears to have been cleared earlier in the year as noted in the September inspection, but small patches have begun growing back. Vegetation and silt are starting to collect again along the right side of the upstream spillway (See Photo 30). Grass should be periodically cut back and removed as it grows back to prevent increased accumulation of sediment and debris in the spillway. Grass previously observed in the concrete spillway appears to have died back from low temperatures. (See Photo 35).
9. For earth channel spillways, how would you describe the vegetation in the spillway? (Check all that apply)  
Recently Mowed\_\_\_\_\_ Overgrown\_\_\_\_\_ Good Cover\_\_\_\_\_ Sparse\_\_\_\_\_
- Other (describe)/Corrective Action: N/A

↑ Check if corrective action is noted/required.

10. For earth channel spillways, are there any trees or other inappropriate vegetation in the spillway? Yes\_\_\_ No\_\_\_\_\_

If yes, describe (type of vegetation, size, location, etc.)/Corrective Action: N/A

11. For earth channel spillways, are there any eroded areas in the spillway? Yes\_\_\_\_\_ No \_\_\_\_\_

If yes, describe (size of area, location, severity, etc.)/Corrective Action: \_\_\_\_\_

12. For concrete channel spillways, are there any cracks or holes in the spillway? Yes  No\_\_\_\_\_

If yes, describe (width of crack or hole, location, etc.)/Corrective Action: The cutoff wall at the upstream face of the concrete spillway appeared to be in good condition and functioning well. There are multiple areas of uplifting concrete at the joint of the spillway and the masonry wall on the left side of the flume downstream of West Nancy Creek Drive (See Photos 31- 33). Corrective action includes sealing the cracks to prevent widening or lengthening. Concrete is completely separated from one of these locations, leaving a hole 2 to 3 inches deep at the masonry wall joint (See Photo 33). Corrective action includes grouting and patching holes left behind by chipped or concrete spalls. 2) The caulk in the joints between the spillway bottom and the retaining walls along the left side of the spillway is missing or eroded over the majority of the spillway length (See Photo 32). Corrective action includes removing old caulk and reapplying caulk to the joints between the spillway base and the retaining walls of the spillway along its entire length. 3) Along the masonry retaining wall at the left side of the concrete spillway, there are cracks and areas missing grout between many of the stones. Vines and other vegetation previously observed growing on the masonry wall appears to have died back due to low temperatures but may return in warmer months (See Photos 36- 39). Corrective action includes removing any vegetation and re-grouting impacted areas. The prescribed repairs should be considered a provisional solution and the aging masonry wall should eventually be replaced with a concrete wall. 4) Caulk between concrete slabs making up the spillway bottom is peeling and working loose from the lateral seams in multiple locations. The lateral seam directly upstream of the West Nancy Creek Drive bridge was observed to be undermined and a cavity roughly 6 inches deep directly under the joint was observed. As noted in previous reports, caulk is also peeling from the lateral seam downstream of the bridge. (See Photos 40 and 41). Corrective action includes removing old caulk and replacing with new caulk. 4) Some of the trees and vegetation growing along the fence line on both sides of the spillway were previously cut back (See Photos 42). . . Previously noted regrowth has halted due to lower temperatures but is likely to continue in warmer months. Corrective action includes cutting/removing trees/vegetation including the remaining lower trunks of cut trees to prevent new growth. Any holes must be filled and compacted. It is recommended that any trees within 15 feet of the spillway walls be removed. Grass previously observed growing between lateral seams in the spillway slabs has died back in the colder weather but will likely return in warmer months (See Photo 35). All grassy vegetation should be cleared from the spillway channel and joints resealed. Previously completed repairs to spillway slab adjacent to concrete wall appear to be holding up well (See Photo 34). The right wing wall downstream of the plunge pool is showing beginnings of minor erosion at the top edges (See Photos 44-45). This area should be backfilled and compacted and monitored to ensure the erosion does not worsen.

13. For concrete channel spillways, are there any leaks or evidence of undermining (flow under the concrete)? Yes\_\_\_\_\_ No

If yes, describe (location, rate of flow from leak, indicators of undermining, etc.)/Corrective Action: \_\_\_\_\_

14. For earth or concrete channel spillways, how would you describe the overall condition of the spillway? (Check all that apply)

Functioning Normally  Not Functional\_\_\_\_\_ Deteriorated\_\_\_ Damaged \_\_\_ Adequate\_\_\_ Inadequate\_\_\_

15. Other observations on the spillways/Corrective Action: \_\_\_\_\_

#### **F. Instrumentation** (refer to Glossary for description)

1. Are there any toe drains at the downstream toe or any other seepage drains on the dam? Yes  No\_\_\_\_\_

If yes, describe the condition (for example, clogged, free flowing, deteriorated, good condition) /Corrective Action: There is a toe drain near the center of the downstream slope (See Photo 24). There is no flow from the toe drain and it appears clear of large debris. Additionally, there are six spillway underdrains located on the spillway face above the plunge pool.

Minor flows were observed from some spillway underdrains but were not measured due to access (See Photo 43). A small toe drain at the right side of the plunge pool was observed to be emitting a rust colored liquid (See Photo 25). This may be evidence of rusted or otherwise compromised pipes, possibly related to the potential void behind the face of the plunge pool wall.

For drains, is an animal guard installed at the outlet of each drain? Yes \_\_\_\_\_ No ✓

If no, which drains lack animal guards? /Corrective Action: The damaged animal guard at the toe drain located near the center of the downstream slope observed in previous inspections has not been repaired (See Photo 24), it is recommended that the bars be straightened and secured at the bottom of the pipe to function effectively Animal guards are missing from three of the spillway underdrains on the right side of the spillway (See Photo 43). Corrective action includes replacing missing animal guards.

3. For drains, measure the rate of flow from each drain and record below (use additional pages if necessary):

Designation/Location of Drain	Flow Rate	Flow Rate in GPM*	Turbidity of Flow (describe – clear, muddy, etc.)
Toe drain downstream slope	None	None	None
Primary principal drain	N/A	N/A	N/A

4. Are there any piezometers on the dam? Yes \_\_\_\_\_ No ✓

If yes, describe the condition (for example, good condition, damaged, etc.)/Corrective Action: \_\_\_\_\_

5. For piezometers, does each piezometer have a cap with a lock? Yes \_\_\_\_\_ No \_\_\_\_\_

If no, which piezometers need caps (to prevent rain water intrusion) and/or locks (to prevent tampering)? /Corrective Action: \_\_\_\_\_

6. For piezometers, are you able to take a measurement (depth to water) in each piezometer? Yes \_\_\_\_\_ No \_\_\_\_\_

If yes, record depth to water (in feet) in each piezometer, record on a separate page, and attach to this form.

7. Are there any other monitoring devices on the dam? Yes \_\_\_\_\_ No ✓

If yes, describe what type and the condition (for example, monitoring wells - good condition, damaged) /Corrective Action: \_\_\_\_\_

8. Other observations on instrumentation/Corrective Action: \_\_\_\_\_

\*GPM (gallons per minute): to convert from oz/sec multiply by 0.4688; to convert from ml/sec multiply by 0.01585



**Photographs**

At a minimum, photographs should be taken of the crest, upstream slope, downstream slope and any other notable features. List of photographs (be sure to date stamp the photos):



1. Standing on crest of dam looking towards left abutment

2. Standing on crest of dam looking toward right abutment



3. Cracks in paved road on dam crest at left bridge abutment.

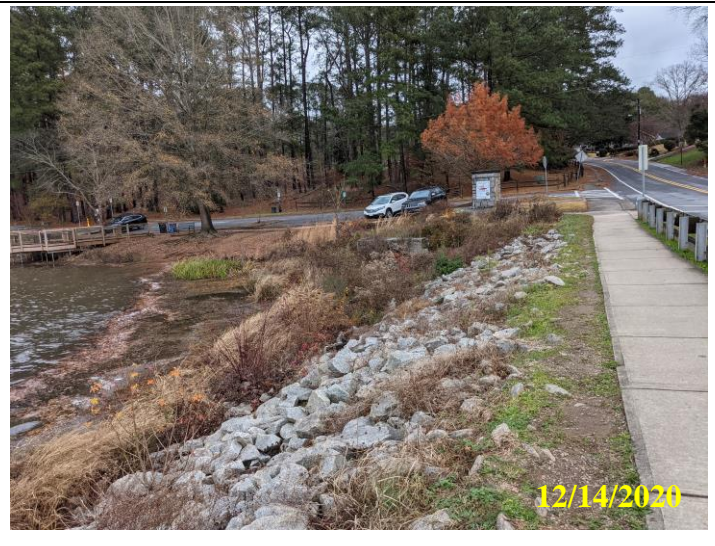
4. Additional crack in paved road on dam crest.



5. Depressed area on dam crest with crack on road pavement

6. View of upstream side looking towards left abutment.





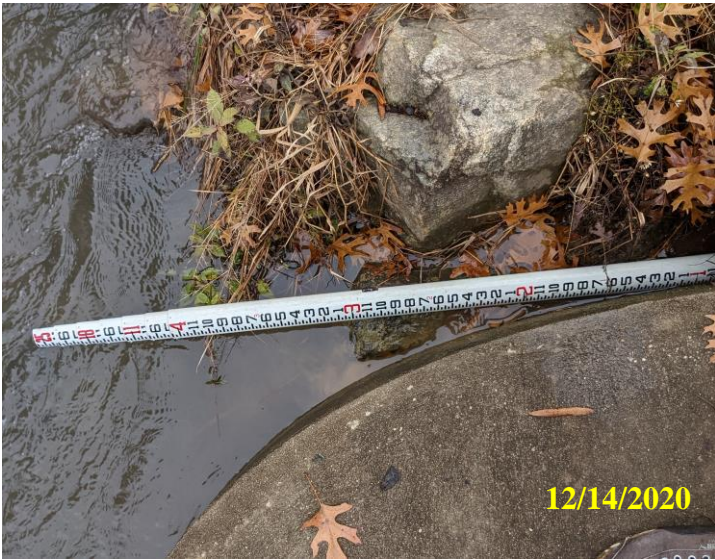
7. View of upstream side looking towards right abutment

8. View of vegetation on the upstream face of the dam



9. View of vegetation on upstream face of the dam

10. View of bare woody vegetation on upstream face of the dam



11. Inadequate riprap grading at the left wing wall of the concrete spillway resulting in erosion and undercutting of riprap. See Photo 12 for location of this photo

12. Inadequate riprap grading at the left wing wall of the concrete spillway resulting in erosion and undercutting of riprap, yellow circled area is location of Photo 11 and red circled area is location of 13





13. Inadequate riprap grading at the left wing wall of the concrete spillway resulting in erosion and undercutting of riprap

14. Sparse riprap near pedestrian walkway



15. Sparse riprap coverage and uneven riprap sizing at right side of upstream dam face

16. Pedestrian pathways showing sparse riprap near principal spillway riser



17. View of downstream slope looking toward right abutment

18. View of downstream slope looking toward left abutment





19. Patches of missing grass on downstream dam face



20. Patches of missing grass on downstream dam face



21. Repaired utility box on downstream face of dam



22. Damaged utility box on downstream face of dam



23. High traffic area at right side of downstream dam face showing erosion and missing grass



24. Toe drain at center of downstream dam face showing damaged animal guard.





25. Toe drain at right side of plunge pool discharging rust colored liquid



26. Erosion and undercutting observed near storm drain headwall downstream of plunge pool



27. View of concrete spillway upstream of bridge crossing



28. Principal spillway riser



29. Small amount of woody debris accumulation in the upstream section of concrete spillway



30. Vegetation and silt obstructing right side of upstream spillway. Sparse riprap along the right wing wall of the spillway





31. Concrete spillway cracking and uplift at masonry wall joint



32. Concrete spillway cracking and uplift at masonry wall joint with exposed seal



33. Concrete spillway cracking and spalling concrete at masonry wall joint



34. Previously completed repairs to spillway functioning well



35. Grass growing between slabs in concrete spillway



36. Missing grout and cracks in masonry wall at spillway entrance





37. Missing grout in masonry wall at bridge crossing



38. Missing grout in masonry wall at bridge crossing



39. Remains of vines and vegetations on masonry wall downstream of bridge crossing



40. Caulking peeling from between spillway slabs at bridge crossing



41. Caulk peeling from between spillway slabs downstream of bridge crossing



42. Trees at spillway fence





43. Spillway face above plunge pool showing locations of toe drains with missing animal guards, yellow circle shows general area of suspected void behind spillway face

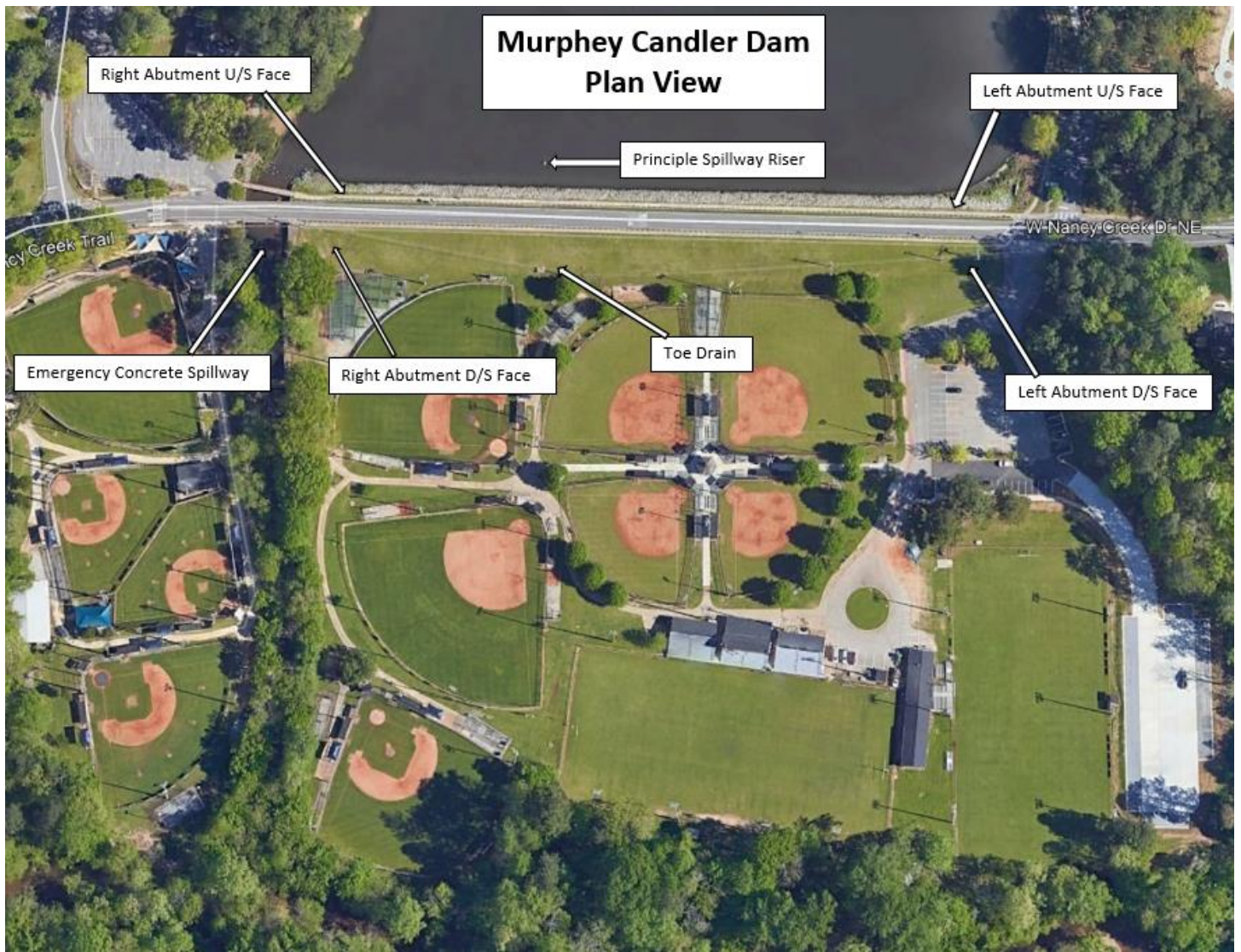


44. Minor undercutting and erosion at the end of the concrete spillway wall. See Photo 45 for location



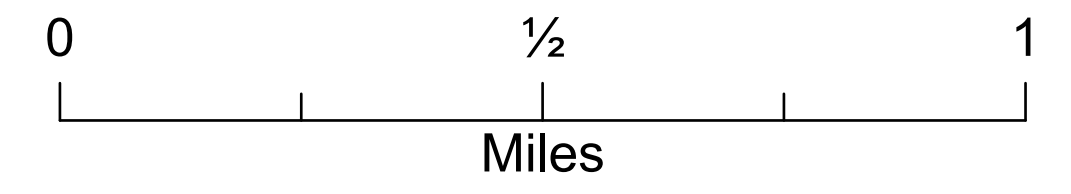
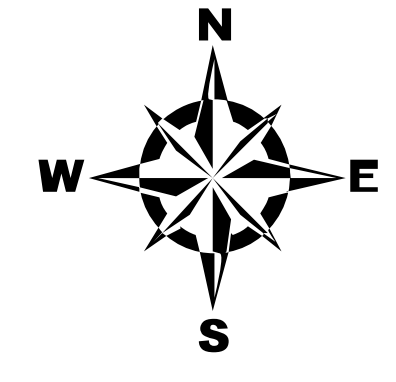
45. Location of Photo 44







# Traffic Signals

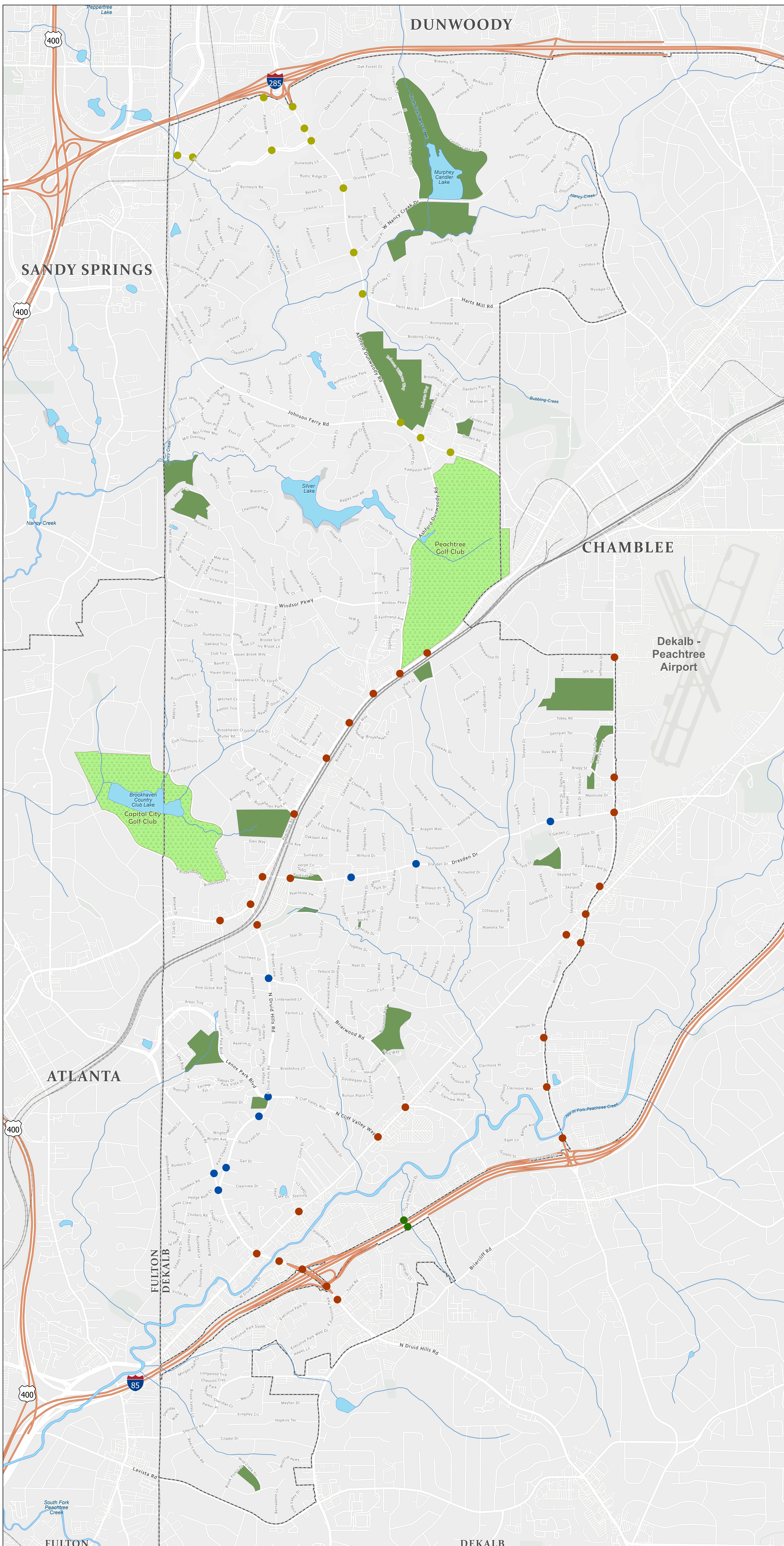


1 inch equals 1,050 feet  
Map Sheet size 30" x 42"

### Traffic Signals

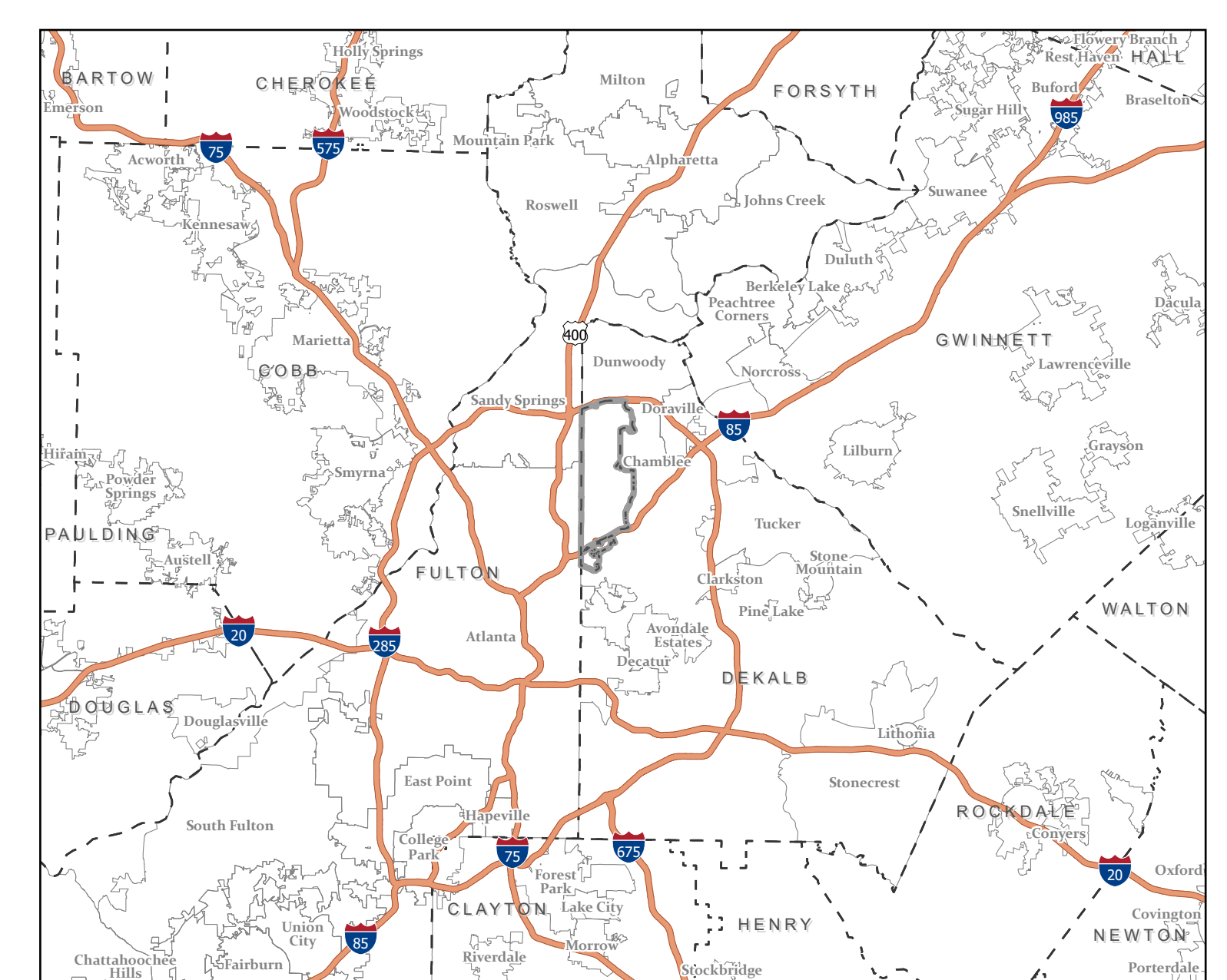
Managed By

- City
- RTOP Zone 1
- RTOP Zone 8
- GDOT District 7



Prepared by the  
City of Brookhaven IT/GIS Department  
4/9/2020

This map has been compiled from the most accurate source data from City of Brookhaven and/or other agencies. However, this map is for informational purposes only and is not to be interpreted as a legal document. The City assumes no legal responsibility for the information shown on this map. For inquiries please contact the City of Brookhaven. Maps may be reproduced or transmitted for personal and informational purposes only, but not for commercial use. No part of this work may be reproduced or transmitted for commercial purposes, in any form or by any means, electronic or mechanical, including photocopying and recording, or by any information storage or retrieval system, except as expressly permitted in writing by the City of Brookhaven. Copyright © 2020, By the City of Brookhaven, GA 30319-3023. All rights reserved. Requests should be made to the City's IT/GIS Department at (404) 637-0500.





Weekly Meeting with City Manager  
March 25, 2021, 10:00 AM

A. Weekly Discussion Items

1. EPD Audit  
Preparing for Metro N. GA water planning district audit  
Coordinating with DeKalb DWM & Com Dev. Due May 31.

B. Construction Projects

1. ADR/Peachtree:  
P.O. 01649 issued 03/04/21. NTP issued.  
Coordinating with AGL and GA Power. Golf Course Fence relocate?
2. Windsor/Osborne Roundabout:  
GA Power check \$48,650, paid, water, gas, power relocated  
NTP issued on 12/16/20, Comcast and AT&T working on new schedule;  
Construction in progress.
3. ADR/Dresden ITMS Bids:  
GDOT agreed to increase \$58k, Pre-con on 07/08/20  
Work progressing well on ADR, 4<sup>th</sup> pay app pending  
Dresden Dr. – work has begun. RFI sent to Design Engineer.
4. Sylvan Circle/Star Drive  
Substantially complete. Waiting on striping and rip rap.
5. Merriman Lane Drainage:  
PO01598 issued on 12/22/20, Corbett Group, PO issued  
Need Easements. Have verbals.
6. Bernadette Lane Drainage Rehab  
PO1619 issued 02/04/21. Vortex Companies. Started – 2/26  
Waiting on AGL for gas line relocate – 3/29
7. Mayfair Lane Drainage Rehab  
PO1621 issued 02/04/21. Vortex Companies. Start moved to 3/29,  
Projected completion 4/9/21
8. Monuments:  
LaVista - Footing dug and rebar installed. Waiting on inspection.  
Projected completion 4/30  
Sheridan – Monument complete. Waiting on GA Power for connection  
Permit received on 09/19/19, Council approved on 12/10/19  
Change Order for \$54,994 approved. Construction in progress.  
AGL / GA Power working on layouts.
9. 2016 sidewalk, Briarwood Road:  
Two phases complete. One waiting on power pole relocate.  
1261 Briarwood poured on 3/24. Forms need to be removed and sod  
placed.
11. Annual Sidewalk / ADA Ramp Repairs  
Verification complete. Updated list prepared. P.O. issued.  
Pre-construction meeting being scheduled.
12. ADR MUP PH II  
**Project Cancelled.** RFP to be sent out for design.
13. 2021 Paving:  
Bids due 3/30/21. Extra to Parks?
14. Dresden Drive Striping  
Complete.
15. N.F. Nancy Creek Streambank I:  
Construction in progress. Dewatering, stump removal.  
Installation of rock toe w/ footer

C. Design Projects

1. N. F. Nancy Creek Streambank II: 100% design documents received, working on permitting
2. Peachtree Creek Greenway Ph II  
Concept report approved 02/04/21, preliminary design underway
3. Peachtree Creek Greenway Ph III  
Andy working on RFQ scope comments. Preparing to send to GDOT.
4. NE Expressway MUP:  
Permitting underway. Waiting on GDOT approval.  
Working on 3 temp construction easements and 2 permanent  
easements. Draft RFP prepared.
5. ST-08, ADR/Windsor:  
PE NTP issued on 07/08/20  
TIP: PE: \$550,000; ROW: \$800,000, Utility: \$250,000, C:\$1,900,000  
Survey, Historical, Environmental – complete

6. 2020 MUP, Briarwood:

Traffic complete, Concept due April 2021. Letters sent to P.O. last week  
17 Parcels requiring right-of-way to complete MUP  
Survey in progress, Drafts for R/W plats submitted for review.  
RFP sent out to Design Consultants. Due 4/7.

D. Study Phase

1. Dresden Drive Intersection Study

Review complete. Waiting on final evaluation from Purchasing.

E. Miscellaneous

1. Document Retention Policy
2. Tree Canopy in R/W
3. Potholes (DWM)
4. Stop Sign Toppers
5. Signs Mounted on MARTA wall
6. Stimulus money (MARTA 1.0)

In progress.



**Weekly Meeting with City Manager**  
**March 12, 2021, 10:00 AM**

**A. Weekly Discussion Items**

1. **EPD Audit** Preparing for Metro N. GA water planning district audit  
Coordinating with DeKalb DWM & Com Dev. Due May 31.

**B. Construction Projects**

1. **ADR/Peachtree:** Contract approved on 12/08/20, P2018.312 funds added  
**Closing on or before 3/15 for Lighvani.** PW has no documents on ROW acquisition. Early Pre-Con Mtg 3/4/21. P.O. 01649 issued 03/04/21.  
NTP to allow tree removal and gas line locate?
2. **Windsor/Osborne Roundabout:** GA Power check \$48,650, paid, water, gas, power relocated  
NTP issued on 12/16/20, Comcast and AT&T working on new schedule;  
Construction staking underway, Erosion Control installation to begin.  
Detour plan approved; Property owner letter mailed.
3. **ADR/Dresden ITMS Bids:** GDOT agreed to increase \$58k, Pre-con on 07/08/20  
Work progressing well on ADR, 4<sup>th</sup> pay app pending  
Dresden Dr. – mtg on 3/15 to look at pole locations
4. **Sylvan Circle/Star Drive** Council approved on 10/27/20, Started 01/26/21.  
Substantial completion 3/12/21.
5. **Fernwood Circle** Projected completion date – 3/12/21
6. **Merriman Lane Drainage:** PO01598 issued on 12/22/20, Corbett Group, PO issued  
Need Easement.
7. **Bernadette Lane Drainage Rehab** PO1619 issued 02/04/21. Vortex Companies. Started – 2/26
8. **Mayfair Lane Drainage Rehab** PO1621 issued 02/04/21. Vortex Companies. Start – 3/15,  
Projected completion 3/31/21
9. **Monuments:** **LaVista-** City permit obtained, GDOT Permit Obtained 2/11/21.  
Final GDOT documents received 2/24/21. Contractor notified. GDOT  
Pre-con 3/11/21. NTP verbally given. Working on schedule  
**Sheridan** – Monument complete. Conduit for Elec installed 3/9.  
Waiting on GA Power for connection
11. **MT-02, ADR/Montgomery:** GA Power installing light poles. Trying to obtain schedule
12. **2016 sidewalk, Briarwood Road:** Permit received on 09/19/19, Council approved on 12/10/19  
Start 3/15/21. Pre-con mtg 3/11/21. Change Order for MUP in front of  
Key Crossing - \$54,994 going before City Council 3/16/21.
13. **2020 MUP, Briarwood** Council approved on 11/10/20, starts on 12/14/20  
PO issued on 12/03/20. 3 Phases in progress. 90% complete.  
Crown Castle moved pole 2/24/21. GA Power needs to relocate pole at  
1507 Briarwood. 1261 Briarwood starts 3/15/21.
14. **Annual Sidewalk / ADA Ramp Repairs** \$50,000 allocated for repairs. Quote provided by DAF last year.  
3-year contract. Working on list for this year. Verify 2021 list in field.
15. **ADR MUP PH II** Bids received 2/23/21. Const 57 apparent low bid. \$70,267.00  
\$7700 Contingency. To go before Council on 3/16/21. **HOLD.**  
**NEED TO DISCUSS R/W AND MUP ALONG ADR.**
16. **2021 Paving:** Bid release date: 02/18/21, Bids due on 03/25/21  
All Letters sent to residents. Limiting Curb raising. Bids due 3/25/21.  
Matrix to provide construction monitoring budget.
17. **Dresden Drive Striping** In Progress.
18. **N.F. Nancy Creek Streambank I:** NTP issued 02/12/21. ES&C Pre-con 2/23/21  
Preliminary tasks began week of 3/8/21

C. Design Projects

1. **N. F. Nancy Creek Streambank II:** 100% design documents received, working on permitting
2. **Peachtree Creek Greenway Ph II** Concept report approved 02/04/21, preliminary design underway
3. **Peachtree Creek Greenway Ph III** Andy working on RFQ scope comments. Preparing to send to GDOT.
4. **NE Expressway MUP:** Permitting underway. Waiting on GDOT approval.  
Working on 3 temp construction easements and 2 permanent easements. Draft RFP prepared.
  
5. **ST-08, ADR/Windsor:** PE NTP issued on 07/08/20  
TIP: PE: \$550,000; ROW: \$800,000, Utility: \$250,000, C:\$1,900,000  
Survey, Historical, Environmental – complete  
Traffic complete, Concept due April 2021. Letters sent to P.O. last week
6. **2020 MUP, Briarwood:** **17 Parcels** requiring right-of-way to complete MUP  
Survey in progress, ROW Plats in progress  
P.O. issued 2/17/21. Scheduled completion 3/12.  
Spreadsheet issued to Attorney's on status of all parcels.  
Waiting on plats for Appraisals  
**Utility companies requesting full design and cross-sections**  
**Asking for 60-90 day lead time.**

D. Study Phase

1. **Dresden Drive Intersection Study** Proposals due 3/11/21.

E. Miscellaneous

1. **Document Retention Policy**

**TO:** Mayor and City Council  
**FROM:** Christian Sigman, City Manager  
Hari Karikaran, Public Works Director  
**DATE:** 03/05/2021  
**SUBJECT:** Public Works Weekly Update

---

### Weekly Highlights

#### Construction Projects

- ADR/Montgomery Elementary: Street light installation nearing completion
- Windsor/Osborne Roundabout: Comcast/AT&T scheduled, Const. Staking in Process
- Sidewalk on Briarwood Road at Buford Hwy: Construction to begin March 15, 2021
- Briarwood Rd MUP Select sections in progress
- LaVista Park Monuments Sheridan Road monument complete. Electrical 3/8. LaVista Road in permitting. Waiting on GDOT Contract awarded on 12/08/20, 1 Closing Pending
- ADR/Peachtree Intersection: Bids received, R/W Verification Required
- ADR MUP PH II

#### Design Projects

- NE Expressway MUP: Permitting underway – GDOT, GSWCC
- Briarwood MUP (west end): Additional Surveying in progress, ROW Plats
- N. Fork Nancy Creek Streambank: Contract approved by Council on 01/12/21
- ADR/Windsor Parkway Design: Concept Plan due in April 2021
- PCG Phase II **Concept Report approved by GDOT 2/2/21**
- PCG Phase III **PM Meeting on 01/29/21, next meeting on 03/17/21**



**NEW LIGHT POLES AT MONTGOMERY ELEMENTARY**



### **2021 Paving Program Update**

Geotechnical testing completed. Consultant working on FDR mix design.

All letters sent to property owners informing 2021 Street paving.

Bids due 03/18/21.

### **Ashford Dunwoody/Dresden ATMS:**

Received Notice to Proceed to advertise from GDOT on 03/07/19. Contract approved on 06/23/2019. Pre-construction Meeting on 07/02/2020, NTP on 07/10/2020. Materials submittal reviews completed. Work ongoing at Ashford Dunwoody Road. Materials stored near Joe's Grill in Blackburn park. Contractor making good progress. ADR 90% complete, Dresden Drive starts 3/8/21.

### **Dresden Intersection Study RFQ:**

Staff working on the RFQ scope of work to include resident comments. RFQ package will be sent to Purchasing for solicitation on 01/25/2021. Pre-proposal meeting 2/18/21. RFQ due 3/11/21

### **2020 Sidewalk Program:**

#### **Briarwood Road Multiuse Path**

Gap fill from N. Druid Hills Road to Buford Highway:

- 1261 Briarwood Road –Contractor to start 3/8/21
- 1378 N. Druid Hills Road - Met with Brookhaven Methodist Church leadership to discuss MUP construction along the Church property. City Attorney is working on obtaining right-of-way from Church. Right-of-way Exhibit Plat prepared.
- 1294 Lindenwood Drive, 1321, 1401, 1405, 1421, 1425, 1429 Briarwood Road – Certified Letters sent to property owners on 10/06/20. Met with Property Owner of 1294 Lindenwood & 1321 Briarwood. Preparing documents for Appraisal. Door Hangers posted on 12/30/20. Project discussed with Property Owners for 1401 and 1421 Briarwood. ROW Exhibit Plats being prepared. ROW to be acquired from 19 parcels.
- MUP in front of The Views at Lenox Crossing and Briarwood Bluff 90% complete.
- MUP in front of 2184 Pine Cone Ln, 1507 Briarwood and Millennium Way 90% complete. GA Power to relocate pole at 1507 Briarwood.
- Briarwood MUP @ Buford Hwy, WALK16-110. Contractor to start 3/15/21.
- Coordinating with Utility Companies on relocate needs on Briarwood Road.

#### **Northeast Expressway Multiuse Path**

Council established a project and accepted \$200,000 from CHOA to construct a multiuse path on Northeast expressway from I-85 underpass to Corporate Boulevard on 03/10/2020.

Permits obtained from City and GSWCC. Permitting with GDOT in process. Coordinating with Utility Companies and adjacent property owners for temporary construction easements.

Consultant preparing easement documents. Easement agreement with HDCHealth Corp signed.

Coordinating with Corporate Square owners. Additional easements required for water relocate.



BRIARWOOD MUP

### **Gateway Monuments**

**LaVista Road:** P.O. sent to PEC on 3/30. Survey complete. GDOT permit comments addressed. Construction Contract approved by Council on 06/23/20, waiting on GDOT permit. Additional permit required. Previous agreement will need to be resigned. Fabrication underway. GDOT permit obtained. Waiting on Pre-construction documents from GDOT.

**Sheridan Road:** P.O. sent to PEC on 3/30. Construction Contract approved by Council on 06/23/20. Construction complete. Waiting on GA Power for connection. Electrician to install conduit, \$3700. Electrical Contractor to install conduit for lights 3//8/21

### **Windsor/Osborne Roundabout**

Council Approved the contract with Construction 57, Inc on 05/12/2020.

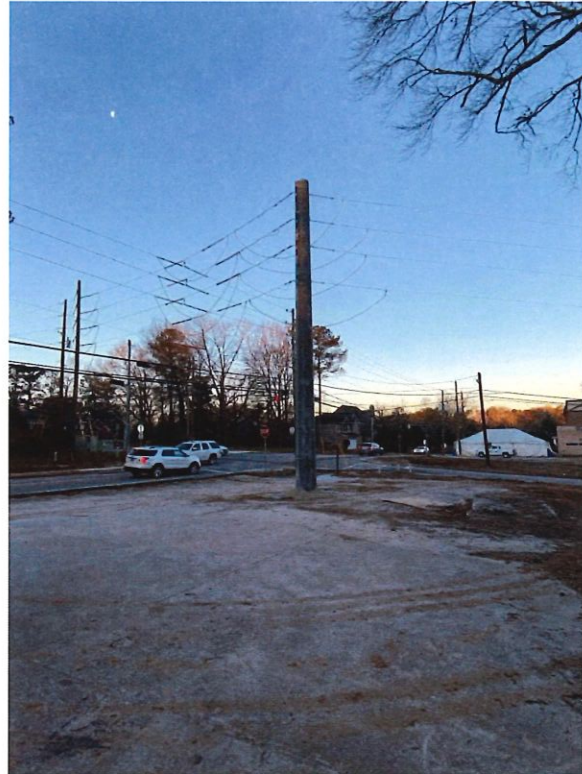
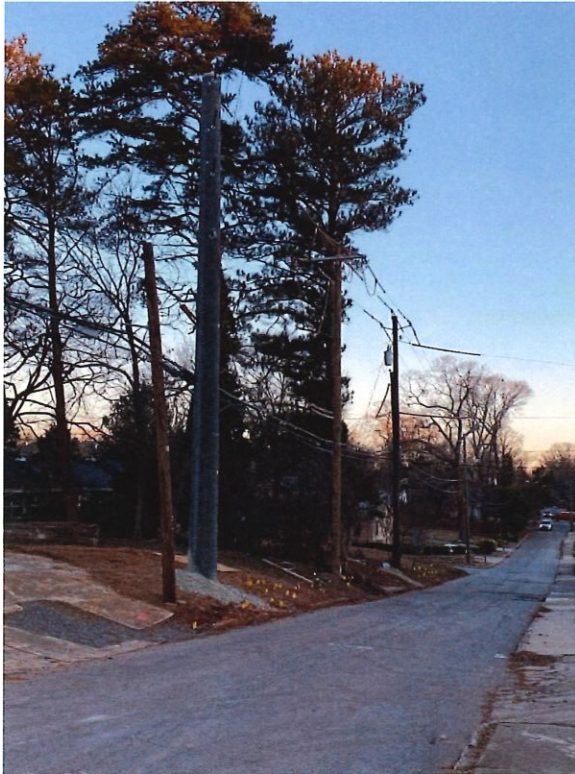
DeKalb Watershed Management completed waterline relocation on 03/13/20.

Atlanta Gas Light completed Gas line relocation on 08/31/20.

Final GA Power easement was acquired on 08/04/20 and ordered Power poles.

- Notice to Proceed (NTP) was issued on 12/16/20
- Construction duration 120 days
- Trees removed from site
- GA Power Pole relocate complete. Conflict with Comcast and AT&T relocate schedules. Adversely impacting schedule.
- Construction Staking in progress.





WINDSOR PARKWAY

**Stormwater Projects**

Sylvan Circle/Star Drive

18" CMP failure, Summit Construction  
 Council approved on 10/27/20, Started on 01/26/21.  
 Three pipe segments poured. Target completion date 2/28/21  
 Utility conflicts. **Projected completion mid-March**

Fernwood Circle

36" CMP failure under Fernwood. Summit Construction  
 PO01576 issued on 12/04/20, Council approval 01/12/21.  
**Projected completion 3/12/21**

LaVista Park Discharge weir:

PO01591 issued on 12/22/20, Started on 01/11/21  
**Completed 3/3/21**

Merriman Lane Drainage:

Two CB's and HW replaced. The Corbett Group  
 PO01598 issued on 12/22/20, **Need easement**

Bernadette Lane (1224) Drainage:

Rehab pipe under road and replace catch basins. Vortex  
 Companies. PO 001619 issued 2/4/21. **Started 2/26/21**

Mayfair Lane (1230) Drainage:

Failing bedding / Backfill. Rehab pipe and replace catch basins.  
 Vortex Companies. PO 001621 issued 2/4/21. **Start date – 3/15/21**





Sylvan Circle



Sylvan Circle



LaVista Park Rehab



JAN 21

## Public Works

### Major Initiatives Completed

- LaVista Park Monuments: Sheridan, waiting on connection from GA Power.
- MT-02, ADR / Montgomery Elementary: Street Lights Pending.
- Briarwood Rd MUP: Construction is completed for Briarwood Bluff and Briarwood Rd at Limehurst Rd. Waiting on final inspection.

### Major Initiatives in Progress/Upcoming

- N. Fork Nancy Creek Streambank Restoration: Contract awarded to Ed Castro Landscaping on 01/12/21.
- LaVista Park Monuments: LaVista Rd, GDOT required No-conflict letters from all utility providers.
- Osborne Rd/Windsor Pkwy Roundabout: Relocation of poles in progress by GA Power.
- Northeast Expressway MUP: Permitting underway with GDOT and GSWCC.
- ST 08 - ADR/Windsor Pkwy Design: Concept Plan due in April 2021.
- ADR/Peachtree Rd Intersection – Contract awarded to Ohmshiv Construction on 12/08/20.
- 2019 Briarwood Road sidewalks – Contractor to provide new construction schedule.
- Briarwood MUP (west end): Waiting on Church to response, 7 Letters Sent.
- Ashford Dunwoody / Dresden Dr. ATMS: Construction is ongoing.
- 2021 Paving: Letters Mailed to property owners, and staff is working on the Bid documents.
- ADR MUP Phase II: ITB in Purchasing for finalization. ITB open to the public on 1.22.21.
- Peachtree Creek Greenway Phase II: Concept Report under review by GDOT.

### Ongoing Coordination

- PTOF 5-year Grant coordination w/ PCID.
- RTOP Coordination with GDOT – Signals on Peachtree Road, Clairmont Rd, Buford Hwy, & N Druid Hills Road.
- PTOF Coordination with PCIDs/GDOT – Signals on Ashford Dunwoody Rd from Lake Hearn to Johnson Ferry.
- PCIDs Public Works Committee - Coordination with PCIDs, Sandy Spring, Dunwoody.
- Buford Hwy Streetscape/Sidewalk Project – Coordination with GDOT.

### Meetings Attended/Held

- 01/04/21 – I-85 / N. Druid Hills Rd monthly design progress meeting with GDOT.
- 01/05/21 – ADR/Dresden ATMS construction monthly progress meeting.
- 01/08/21 – PCG Phase II design monthly progress meeting with GDOT.
- 01/14/21 – ADR/Windsor Pkwy design monthly progress meeting.
- 01/21/21 – N. Druid Hills Pedestrian Bridge Concept meeting.
- 01/26/21 – Murphy Candler Park Club House Design meeting.
- 01/29/21 – PCG Phase II design monthly progress meeting with GDOT.



- 01/30/21 – Windsor/Osborne Utility Coordination meeting.

**ROW Encroachment Permits (including Dumpsters/Road Closures)**

- Permits issued YTD: 71
- Permits issued this month: 71

**Stormwater Performance Measures (OPTECH)**

January 2021			
ENTITY GROUP	WORK ORDERS ASSIGNED	COMPLETED WITHIN TARGET TIME FRAME	MONTHLY PERFORMANCE PERCENTAGE
Priority 1	5	1	20%
Priority 2	5	2	40%
Priority 3	8	6	75%
<b>Total</b>	<b>18</b>	<b>9</b>	<b>50%</b>

**Maintenance Work Performance Measures (OPTECH)**

January 2021			
ENTITY GROUP	WORK ORDERS ASSIGNED	COMPLETED WITHIN TARGET TIME FRAME	MONTHLY PERFORMANCE PERCENTAGE
Priority 1	6	5	83%
Priority 2	9	4	44%
Priority 3	13	11	84%
<b>Total</b>	<b>28</b>	<b>20</b>	<b>71%</b>

**CIP Performance Measures (LOWE)**

SIDEWALK: YEAR TO DATE		
Number of Sidewalks funded by Council in 2021	Number of Sidewalks completed in 2021	ANNUAL PERFORMANCE PERCENTAGE
0	0	0%



### Service Requests

2021	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
Curb and Gutter	3												3
Downed Lines	0												0
Pavement/Potholes	15												15
Right of Way/Trash	3												3
Sidewalk	8												8
Stormwater	9												9
Streetlights	5												5
Street Sign	7												7
Street Striping	1												1
Traffic Signal	3												3
Trees	3												3
<b>Total Service Requests</b>	<b>57</b>												<b>57</b>

### Completed Work Orders

2021	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	TOTAL
Street Maintenance	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed
Sidewalk Repairs	4												4
Curb Repairs	0												0
Potholes	6												6
Patching	3												3
Streetlights	0												0
Signs	4												4
Traffic Signals													
Signal Repairs	5												5
ROW Maintenance													
Tree Removal	3												3
ROW Maintenance	4												4
Stormwater													
Stormwater	20												20
<b>Total work orders</b>	<b>49</b>												<b>49</b>



FEB 21

## Public Works

### Major Initiatives Completed

- LaVista Park Monuments: Sheridan Rd, Electrical connection underway.
- MT-02, ADR / Montgomery Elementary: GA Power street lighting in progress.
- Briarwood Rd MUP: Construction is completed. Waiting on final inspection.

### Major Initiatives in Progress/Upcoming

- N. Fork Nancy Creek Streambank Restoration: PRE-Construction Meeting held on 2/23/21.
- LaVista Park Monuments: LaVista Rd, GDOT approved the permit 02/11/21.
- Osborne Rd/Windsor Pkwy Roundabout: Relocation of poles completed by GA Power.
- Northeast Expressway MUP: Permitting underway with GDOT and GSWCC.
- ST 08 - ADR/Windsor Pkwy Design: Concept Plan due in April 2021.
- ADR/Peachtree Rd Intersection – Contract awarded to Ohmshiv Construction on 12/08/20.
- 2019 Briarwood Road sidewalks – Contractor to start 03/21/21.
- Briarwood MUP (west end): Waiting on Church to response, 7 Letters Sent.
- Ashford Dunwoody / Dresden Dr. ATMS: Construction is ongoing.
- 2021 Paving: ITB Bids due on 03/25/21.
- ADR MUP Phase II: ITB 21-103, Construction 57 is the apparent low bidder on 02/24/21.
- Peachtree Creek Greenway Phase II: Concept Report approved, Plan Design started 2/22/21.

### Ongoing Coordination

- PTOp 5-year Grant coordination w/ PCID.
- RTOP Coordination with GDOT – Signals on Peachtree Road, Clairmont Rd, Buford Hwy, & N Druid Hills Road.
- PTOp Coordination with PCIDs/GDOT – Signals on Ashford Dunwoody Rd from Lake Hearn to Johnson Ferry.
- PCIDs Public Works Committee - Coordination with PCIDs, Sandy Spring, Dunwoody.
- Buford Hwy Streetscape/Sidewalk Project – Coordination with GDOT.

### Meetings Attended/Held

- 02/01/21 – I-85 / N. Druid Hills Rd monthly design progress meeting with GDOT.
- 02/02/21 – Ashford Dunwoody MUP Pre-bid meeting.
- 02/03/21 – I-85 / N. Druid Hills Rd monthly design progress meeting with GDOT.
- 02/05/21 – PCG Phase II monthly status meeting.
- 02/11/21 – ADR/Windsor Pkwy design monthly progress meeting.
- 02/12/21 – N. Fork Nancy Creek streambank Pre-Construction meeting.
- 02/16/21 – GDOT RTOP Zone I quarterly meeting.
- 02/18/21 – Dresden Drive Intersection Study Pre-RFP meeting.
- 02/21/21 – Dresden Drive Intersection Study Pre-RFP meeting.
- 02/22/21 – PCG Phase II GDOT Federal Compliance checklist meeting.



- 02/23/21 – Drew Valley Civic Association Stormwater Committee Meeting.
- 02/23/21 – Bid Opening - Ashford Dunwoody MUP Phase II.

**ROW Encroachment Permits (including Dumpsters/Road Closures)**

- Permits issued YTD: 148
- Permits issued this month: 77

**Stormwater Performance Measures (OPTECH)**

February 2021			
ENTITY GROUP	WORK ORDERS ASSIGNED	COMPLETED WITHIN TARGET TIME FRAME	MONTHLY PERFORMANCE PERCENTAGE
Priority 1	2	2	100%
Priority 2	1	1	100%
Priority 3	9	7	75%
<b>Total</b>	<b>12</b>	<b>10</b>	<b>83%</b>

**Maintenance Work Performance Measures (OPTECH)**

February 2021			
ENTITY GROUP	WORK ORDERS ASSIGNED	COMPLETED WITHIN TARGET TIME FRAME	MONTHLY PERFORMANCE PERCENTAGE
Priority 1	5	4	80%
Priority 2	5	3	60%
Priority 3	16	8	50%
<b>Total</b>	<b>26</b>	<b>15</b>	<b>57%</b>

**CIP Performance Measures (LOWE)**

SIDEWALK: YEAR TO DATE		
Number of Sidewalks funded by Council in 2021	Number of Sidewalks completed in 2021	ANNUAL PERFORMANCE PERCENTAGE
0	0	0%

**Service Request**

2021	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
Curb and Gutter	3	6											9
Downed Lines	0	0											0
Pavement/Potholes	15	22											37
Right of Way/Trash	3	10											13
Sidewalk	8	6											14
Stormwater	9	5											14
Streetlights	5	5											10
Street Sign	7	10											17
Street Striping	1	1											2
Traffic Signal	3	4											7
Trees	3	0											3
<b>Total Service Requests</b>	<b>57</b>	<b>69</b>											<b>126</b>

**Completed Work Orders**

2021	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	Nov	Dec	TOTAL
<b>Street Maintenance</b>	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed	Closed
Sidewalk Repairs	4	1											5
Curb Repairs	0	6											6
Potholes	6	6											12
Patching	3	6											9
Streetlights	0	0											0
Signs	9	3											12
<b>Traffic Signals</b>													
Signal Repairs	8	4											12
<b>ROW Maintenance</b>													
Tree Removal	3	2											5
ROW Maintenance	4	6											10
<b>Stormwater</b>													
Stormwater	20	13											33
<b>Total work orders</b>	<b>57</b>	<b>47</b>											<b>104</b>





# Brookhaven Public Works

## Annual Report Card

2020

**LOWE**  
ENGINEERS



# Introduction



Over the past eight years, the City of Brookhaven (the City) and Lowe Engineers (Lowe) have partnered in the start-up and operation of municipal services. Together, the City and Lowe initiated, established, and performed the myriad of services required of a Public Works Department, including adjusting and adapting to changing priorities, new projects, and more. This report looks at the work activity and accomplishments the City and Lowe have achieved together since 2012.

Lowe prides itself on being more than just your Public Works engineers. We are part of your team in providing critical services to your community. Lowe's distinctive approach and singular perspective responsively deliver high-quality Public Works services with knowledgeable, skilled, and professional staff.

Through our established relationship with Brookhaven, we have immersed our team in the City's unique culture and utilize this knowledge in our proactive, solution-driven approach. No matter the scale, each service task is met with a budget-conscious, intentional, and thoughtful response. Our sensitivity to the values of Brookhaven citizens enable our top-notch customer service and accountability. We are a collaborative partner that supports and works with other City staff to keep the City operating smoothly. The success of our public-private partnership continually generates fresh perspectives on how to better serve all stakeholders while producing innovative and cost-effective solutions to further benefit the City of Brookhaven and its citizens.



# Success Through the Valued Partnership of Brookhaven and Lowe

## Success In Pavement Management

Lowe has effectively executed the Pavement Management Program since incorporation of the City. To date, the total expenditure for the program is over \$17 million for resurfacing City-owned streets. The following table illustrates the success in terms of centerline miles and lane miles in relationship to annual program cost.

YEAR	NUMBER OF STREETS	CENTERLINE MILES	LANE MILES	COST
2014	27	8.65	20.81	\$1,740,000
2015	24	9.62	20.20	\$2,510,000
2016	18	4.40	9.37	\$1,050,000
2017 Phase I	58	10.39	20.78	\$3,300,000
2017 Phase II	9	2.64	5.27	\$1,225,000
2018 Phase I	17	2.21	4.42	\$1,075,000
2018 Phase II	23	3.88	9.37	\$1,870,000
2019	20	3.43	6.85	\$2,271,000
2020	15	2.46	4.92	\$2,288,000
<b>TOTAL</b>	<b>211</b>	<b>47.68</b>	<b>101.99</b>	<b>\$17,329,000</b>

The City added the Capital Improvement Manager position in 2017 and Lowe subsequently set a City paving record for number of roads paved (67) and total lane miles paved (26.05) that same year.

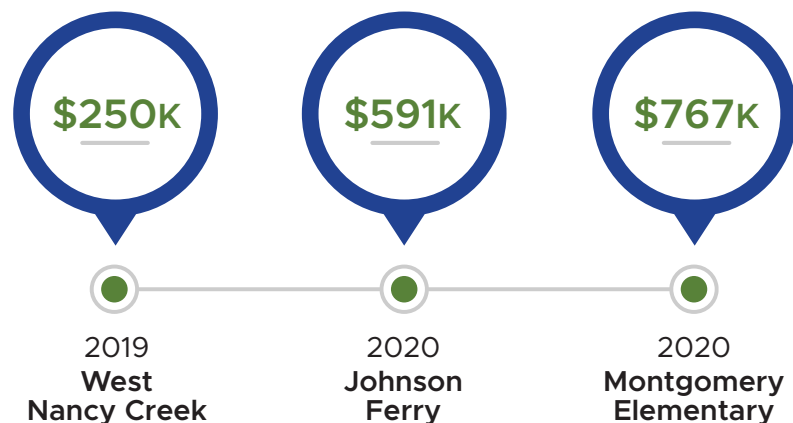
As a result, the City was able to bring its PCI number up from 60 in 2014 to 70.43 at the end of 2019, which is very aggressive by any municipality standard.

Lowe's ambitious approach to implementing the Five-Year Pavement Program also resulted in the completion of the City's first five-year paving program in just four years. It also allowed the City to complete its third Pavement Inspection and Analysis one year ahead of the scheduled year.

## Success in Capital Projects – Intersection Improvements

Lowe is successfully completing complex intersection improvement projects for the City with multiple components requiring experienced management. From pre-concepts through construction, Lowe has demonstrated its first-rate expertise in the organization and administration of these operations.

Specifically, Lowe has completed the following Ashford Dunwoody intersection improvement projects:



## Success in Major Corridor and Other Studies

Lowe has effectively managed major corridor studies for the City of Brookhaven. Its Bicycle, Pedestrian & Trail Plan was adopted by the City Council in April 2016. The Ashford Dunwoody Corridor Study was adopted by the City Council in April 2017, and the North Druid Hills Corridor Study was adopted by the Council in April 2019.

Lowe is proud of the City's success in implementing these council-adopted corridor studies. One notable example is the Ashford Dunwoody Corridor Study, which recommended ten short-term projects, six mid-term projects and one long-term project. With support from Mayor, Council and the City Administration, Lowe implemented nine of the ten short-term projects, and two of the six mid-term projects. Engineering design is currently underway for the last short-term project (ST-08) and one mid-term project (MT-05). Construction is set to begin on one mid-term project (MT-01). Lowe is also implementing phases of another mid-term project (MT-03).



## Success in Capital Projects – Sidewalk And Multi-Use Path Construction

Lowe has been successful in implementing the Council-adopted Bicycle, Pedestrian & Trail Plan since adoption in April 2016. Sidewalk and multi-use path construction has also progressed from only a single sidewalk at Briarwood Way in 2013 to a record-setting year in 2018 with 15 sidewalk projects totaling 2.63 miles. Thus far in 2020, 0.23 miles of sidewalk and multi-use path were constructed at a construction cost of over \$1 million. The table below shows the progress in sidewalk construction since inception of the City.

YEAR	NUMBER	LENGTH, LF	COST
2013	1	990	\$50,300
2014	8	4,240	\$409,800
2015	6	3,260	\$287,100
2016	4	4,070	\$344,000
2017	11	4,810	\$820,600
2018	15	13,900	\$1,055,400
2019	5	1,387	\$126,300
2020	1	1,400	\$282,200
<b>TOTAL</b>	<b>52</b>	<b>35,057</b>	<b>\$3,375,700</b>

## Success in Stormwater Utility Operation

Lowe has effectively overseen stormwater utility operations since incorporation of the City. In the beginning, the utility rate was \$60. Lowe has since provided essential technical support that contributed to administrative rate adjustments in 2017 and 2020. These critical rate adjustments thus helped the City successfully implement much-needed stormwater capital improvement projects.

In addition, Lowe continually meets or exceeds the City’s NPDES permit requirements, and reliably meets all deadlines for completing and submitting Annual MS4 Reports to Georgia’s Environmental Protection Division (EPD).

Brookhaven’s aggressive approach to the completion of Priority 1 and Priority 2 repair work derived from annual MS4 inspections has made the City singular in its stormwater infrastructure repair and maintenance—an achievement Georgia EPD staff have pointed out in past MS4 reviews.

This table lists stormwater projects completed by Lowe:

YEAR	PROJECT	COST	TYPE
2017	Osborne Road Drainage Improvement	\$376,246	CIP
2017	South Bamby Drainage Phase I	\$699,800	CIP
2018	Stratfield Drive Phase I & 2	\$598,100	CIP
2020	Murphy Candler Lakeshore Restoration	\$182,000	CIP
2020	North Fork Nancy Creek Trash Rack	\$222,000	CIP
2020	Sunderland Circle System Replacement	\$106,000	Emergency
2020	Inman Drive / Saybrook Drive	\$187,000	CIP
2020	Murphy Candler Lake Dredging	\$1,796,000	CIP
2020	Apple Valley / Dresden Repair	\$86,000	Emergency
2020	South Bamby Drainage Phase III	\$545,000	CIP



## Success in Infrastructure Management

Lowe has executed over 5,000 documented work orders. Our hands-on management approach has given us extensive knowledge of the City’s infrastructure so Lowe can hold maintenance contractors accountable for their performance in completing work orders on time, based on assigned priority.

The following table shows work orders handled by Lowe by year:

YEAR	ROADS	ROW	SIGNAL	SIGN	STORMWATER	TOTAL
2014	181	56	56	95	105	493
2015	209	52	132	292	121	806
2016	263	67	115	118	159	722
2017	280	87	77	122	130	696
2018	191	52	137	97	190	667
2019	339	98	175	105	393	1,110
2020*	222	87	103	121	347	880
<b>Total</b>	<b>1,685</b>	<b>499</b>	<b>795</b>	<b>950</b>	<b>1,445</b>	<b>5,374</b>

## Other Notable Lowe Achievements

- Adoption of the City Traffic Calming Program in 2017
- Adoption of the City Rights-of-way Maintenance Policy in 2017
- Adoption of the City Street Light District Policy in 2018
- Adoption of Streetscape Standards in 2018
- Adoption of ADA Transition Plan in 2020
- Adoption of Sidewalk Petition Program in 2020
- Administrative Adjustment of the Stormwater Fee in 2017
- Administrative Adjustment of the Stormwater Rate in 2020
- Establishment of Design Standards for the City of Brookhaven
- Transfer of 30 FEMA Floodplain Buy-out Properties from DeKalb County to the City in 2018
- Implementation of the City Monuments Program and Construction of Six Monuments with Lights
- Sidewalk Conditional Assessment and Inspection in 2019
- Implementation of the Small Cell Wireless Permitting Program and Mapping of Small Cells in the City

## Success of Staffing

Finally, Lowe staffs Brookhaven’s Public Works Department with outstanding, highly qualified personnel currently bringing to the City a combined 227 years of professional experience. Our personnel and their proven expertise are our strongest asset and we are very happy with the current team we have at Brookhaven. Moreover, Lowe expertly maintains continuity of staff, in its ability to effectively transfer historical knowledge of the City and its infrastructure.

### In-House Staff:



**Hari Karikaran, PE**  
34 Years



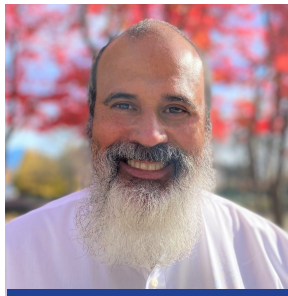
**Don Sherrill**  
PE, PLS, PMP  
41 Years



**Andy Kennedy, PE**  
12 Years



**Tom Roberts, PE**  
20 Years



**Carlos Soler**  
33 Years



**Sheila Hayes**  
25 Years

### Back Office Support:



**Eli Veith, PE, PTOE**  
21 Years



**Don Drysdale, PE**  
44 Years



**Richard Meehan, PE**  
30 Years



# Building on Our Success - Upcoming Goals

Lowe knows the City better than any other Team and we are prepared to serve Brookhaven for the future.

Listed here are some of Lowe's upcoming goals:

- Continue modern pavement management through coordination with capital paving, stormwater repairs, and paving condition scoring
- Continue utilizing MS4 inspections to identify and schedule proactive maintenance on the City's stormwater utility
- Continue to shape the City's stormwater utility into an industry leader
- Conduct a comprehensive update of the pavement condition assessment every five years and on individual roads, as required
- Competitively re-bid maintenance contracts to ensure the best value for the City and quality workmanship
- Work with the City arborist to remove any diseased or dying trees within City right-of-ways
- Continue to execute the City Council's goal of making Brookhaven more bike and pedestrian friendly through infrastructure improvements and updating the City's website
- Secure additional transportation funding through ARC and GDOT to implement the transportation plan
- Increase community accessibility in the public involvement process
- Continue to improve communication with the public on capital improvement projects throughout each project phase
- Provide a public safety outreach program for drivers and pedestrians
- Improve the work management system and performance measures for maintenance operations

- Improve production times from maintenance contractors while limiting budgetary strains
- Continue increased public outreach to citizens, staff, and Council following repairs
- Continue to maintain website updates on all capital improvement projects
- Begin mapping stormwater drainage easements
- Further improve relationships with outside agencies such as GDOT, ARC, DeKalb County Watershed Management, DeKalb County Sanitation, MARTA, RTOP, PCID and neighboring cities
- Implement a cost-effective replacement program for signs and pavement striping to meet federal standards
- Maintain the signal cabinet maintenance program on an annual basis
- Continue implementation of the long-term capital improvement program for stormwater through testing, investigation, and action
- Evaluate old stormwater culverts serving large drainage basins and upsize or repair inadequate culverts ahead of road repaving work
- Continue coordination of the stormwater utility with adjoining municipalities that share watersheds
- The Stormwater Utility will continue to find innovative, cost-effective, and long-term repairs to address the city's aging infrastructure needs.
- Continue to address water quality in impaired streams
- Improve and expand the Intelligent Transportation Systems (ITS) for traffic signals throughout the City, building on significant expansion via 2020 ATMS and ITS projects

