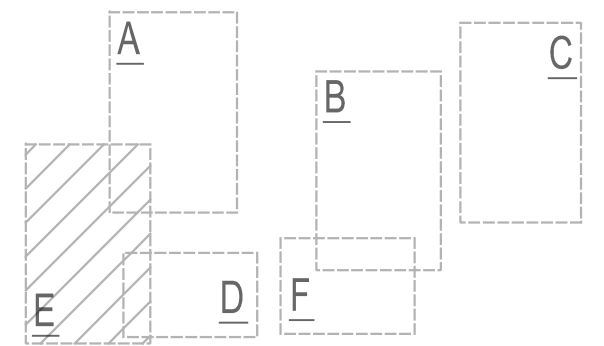




No.	Date	Description
11	08/17	LDP - South Trail - City Council #2
12	08/17	LDP - South Trail - City Council #2
13	10/13	LDP - Pool Parking - City Council #1
14	10/16	LDP - Noland Plus Area Field Change #1
15	10/19	Multiple Trail on Oak - Redwood Reserve
16	11/18	LDP - Pool Parking - City Council #2
17	11/20	LDP - Community Green - City Council #1
18	11/20	LDP - Redwood Reserve - City Council #1
19	11/20	WORTH BOUNDARY/REGULATORY FLOORWAY
20	12/01	Multiple Trail on Oak - Redwood Reserve #1
21	12/01	Multiple Trail on Oak - Redwood Reserve #2
22	12/30	SSRCC Submittal
23	01/11	COMMUNITY GREEN - BUILDING PERMIT #1
24	02/04	SSRCC Submittal
25	02/11	SSRCC Submittal

SHEET KEY



TREE LEGEND (ABBREVIATIONS)

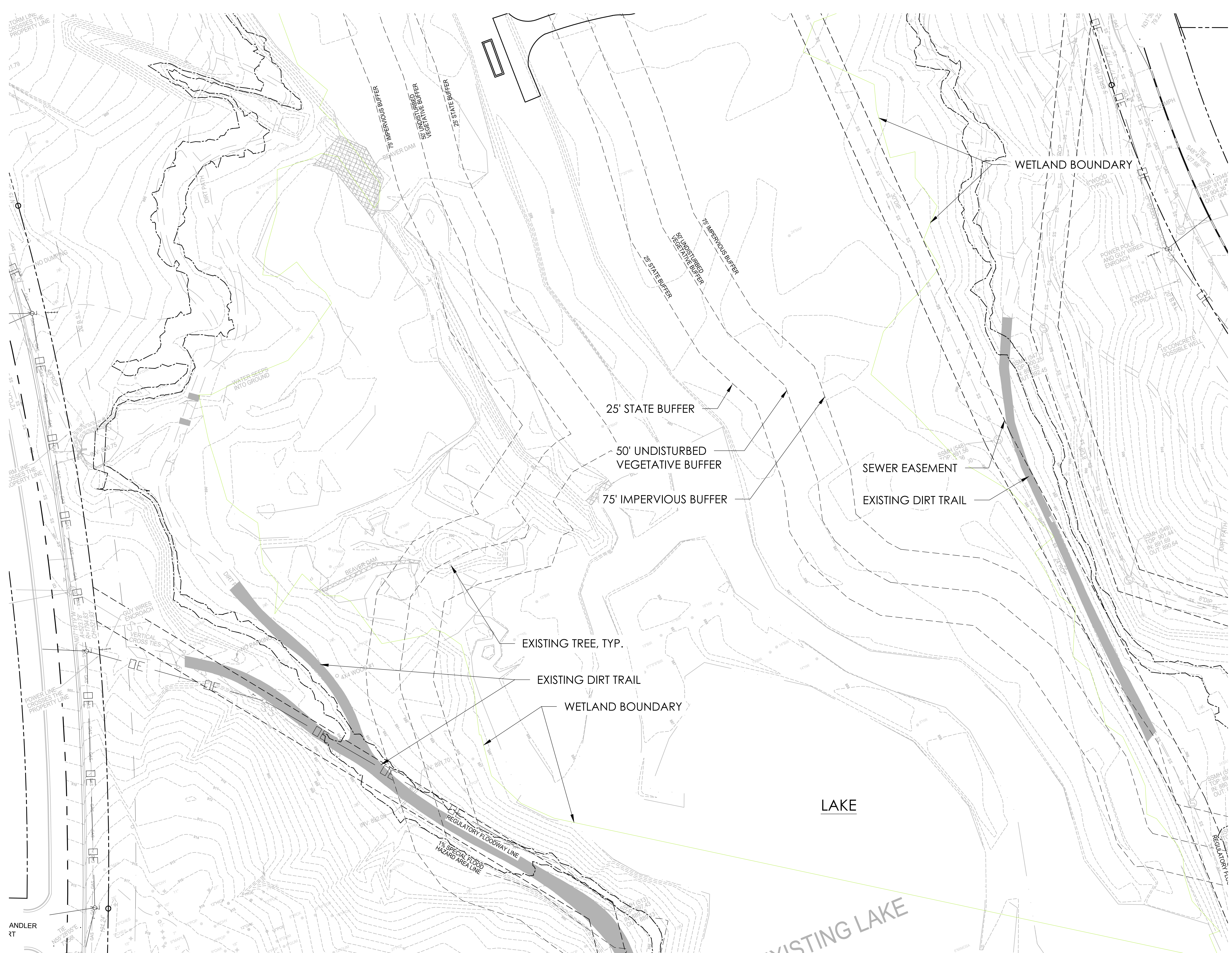
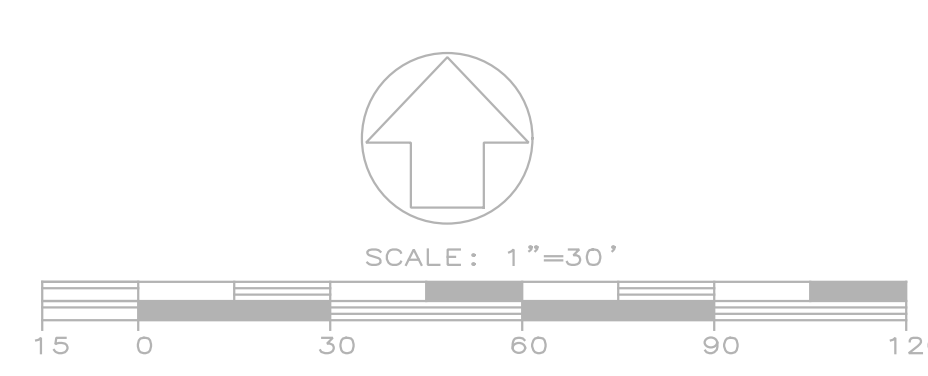
	DECIDUOUS (TREE)	BIR	BIRCH	HLV	HOLLY
	CONIFEROUS (TREE)	BCH	BEECH	HW	HARDWOOD
		CM	CRAPE MYRTLE	MAG	MAGNOLIA
		CHY	CHERRY	MAP	MAPLE
		CYP	CYPRESS	OKA	OAK
		FIR	FIR	ORN	ORNAMENTAL
		GINGKO	GINGKO	PEAR	PEAR
		GUM	SWEET GUM	POP	POPLAR
		HIC	HICKORY	SYC	SYCAMORE

ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	N/P	NOW OR FORMERLY
AE	ACCESS EASEMENT	OTP	OPEN TOP PIPE
BSL	BUILDING SETBACK LINE	PB	PLAT BOOK
BW	BARB WIRE	PG	PAGE
CH	CHORD LENGTH	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
CMF	CONCRETE MONUMENT FOUND	R	RADIUS LENGTH
CMP	CORRUGATED METAL PIPE	RAW	RIGHT OF WAY
CONC.	CONCRETE	R/W MON	RIGHT OF WAY MONUMENT
CTP	CRIMP TOP PIPE	RB	REBAR
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	SD	STORM DRAINAGE EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	SQ. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HPIPE	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
IPF	IRON PIN FOUND		

LEGEND

	CURB AND GUTTER (C&G)
	FENCE
	HANDRAIL
	STORM DRAIN LINE
	SANITARY SEWER
	WATER LINE
	GAS LINE
	UNDERGROUND POWER LINE
	OVERHEAD POWER LINE
	COMMUNICATION
	TOPOGRAPHIC CONTOUR
	PROPERTY LINE
	GUARD RAIL
	WET WEATHER DITCH
	WATER SPIGOT
	CATCH BASIN (DWCB)
	CATCH BASIN (SWCB)
	DROP INLET (DI)
	JUNCTION BOX (JB)
	HEAD WALL (HW)
	CURB INLET (CI)
	FLARED END SECTION (FES)
	YARD DRAIN INLET
	SS MANHOLE (MH)
	CLEAN OUT (CO)
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT (FH)
	WATER VALVE (WV)
	WATER METER (WM)
	FIRE DEPT. CONNECTION (FDC)
	WATER VALVE MARKER
	TRANSFORMER BOX (TX)
	AIR CONDITIONER (AC)
	ELECTRIC METER (EM)
	ELECTRIC UTILITY
	LIGHT POLE (LP)
	POWER POLE WITH LIGHT
	POWER POLE (PP)
	UTILITY MANHOLE (UM)
	SPOTLIGHT
	GAS METER (GM)
	GAS VALVE (GV)
	TELEPHONE PEDESTAL
	COMMUNICATION BOX
	BOLLARD (BO)
	MAIL BOX
	SIGN
	SPOT ELEVATION
	CONCRETE AREA
	OVERHANG AREA
	RIP-RAP AREA
	BRICK AREA
	TREELINE



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 Date last plotted: 2/11/2021 1:37 PM
 Plotted By: Grace Zhang

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NOTE:
 THE WRESTED VEGETATION
 AND 80% CONTOUR WERE
 SURVEYED IN BY TERRAMARK
 ON FEB. 4, 2021

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION

CITY OF BROOKHAVEN
 MURPHY CANDLER PARK
 1551 W. NANCY CREEK DRIVE NE
 BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
02/04/21	GZ	MC

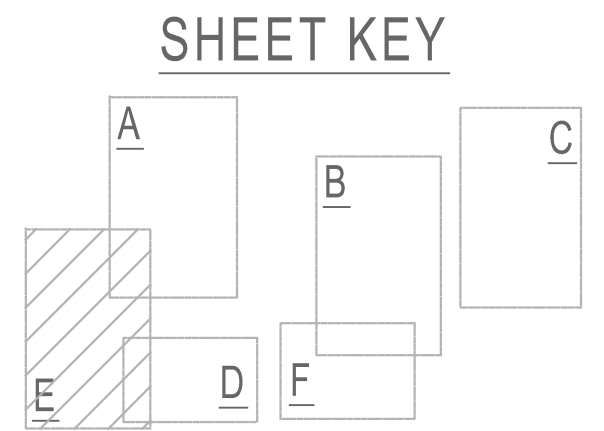
SCALE

SHEET TITLE

EXISTING CONDITIONS
NORTH BOARDWALK

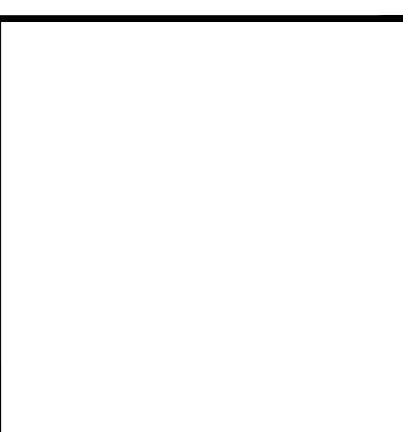
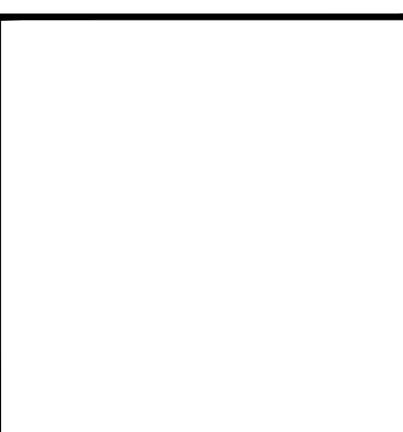
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C1.7	
2	
DRAWING NUMBER	

NOTES:
 1. USE HAND CLEARING ONLY IN THE FORESTED WETLAND AREAS.
 2. THE BOARDWALK MUST BE ADJUSTED IN THE FIELD TO AVOID SPECIMEN TREES AND VEGETATION.
 3. CONTRACTORS MUST STAKE THE LOCATION IN THE FIELD AND HAVE IT ADJUSTED BY THE CLIENT AND LANDSCAPE ARCHITECT BEFORE CONSTRUCTION IF NEEDED.
 4. QUANTITIES FOR THE PRICE PROPOSAL WILL BE TAKEN FROM THE CONTRACTORS FINAL DRAWINGS NOT FROM THESE DESIGN DEVELOPMENT PLANS.



DRAWINGS SCHEDULE

No.	Date	Description
11	08/17	LDP - South Trail - City Council #2
12	08/17	LDP - South Trail - City Council #3
13	10/13	LDP - Foot Path - City Council #1
14	10/16	LDP - North Trail - City Council #1
15	10/19	Multi-use Trail on Oak - Piedmont Rowan
16	11/18	LDP - Foot Path - City Council #2
17	11/20	LDP - Community Green - City Council #2
18	11/20	LDP - Community Green - City Council #3
19	11/20	WETLAND BOARDWALK DESIGN/DETAILS
20	12/01	Multi-use Trail on Oak - Piedmont Rowan #1
21	12/01	Multi-use Trail on Oak - Piedmont Rowan #2
22	12/30	SSR/C Submittal
23	01/11	COMMUNITY GREEN - BUILDING PERMIT #1
24	02/04	SSR/C Submittal
25	02/11	WETLAND BOARDWALK DESIGN/DETAILS #1



CITY OF BROOKHAVEN
 MURPHY CANDLER PARK
 1551 W. NANCY CREEK DRIVE NE
 BROOKHAVEN, GEORGIA 30319

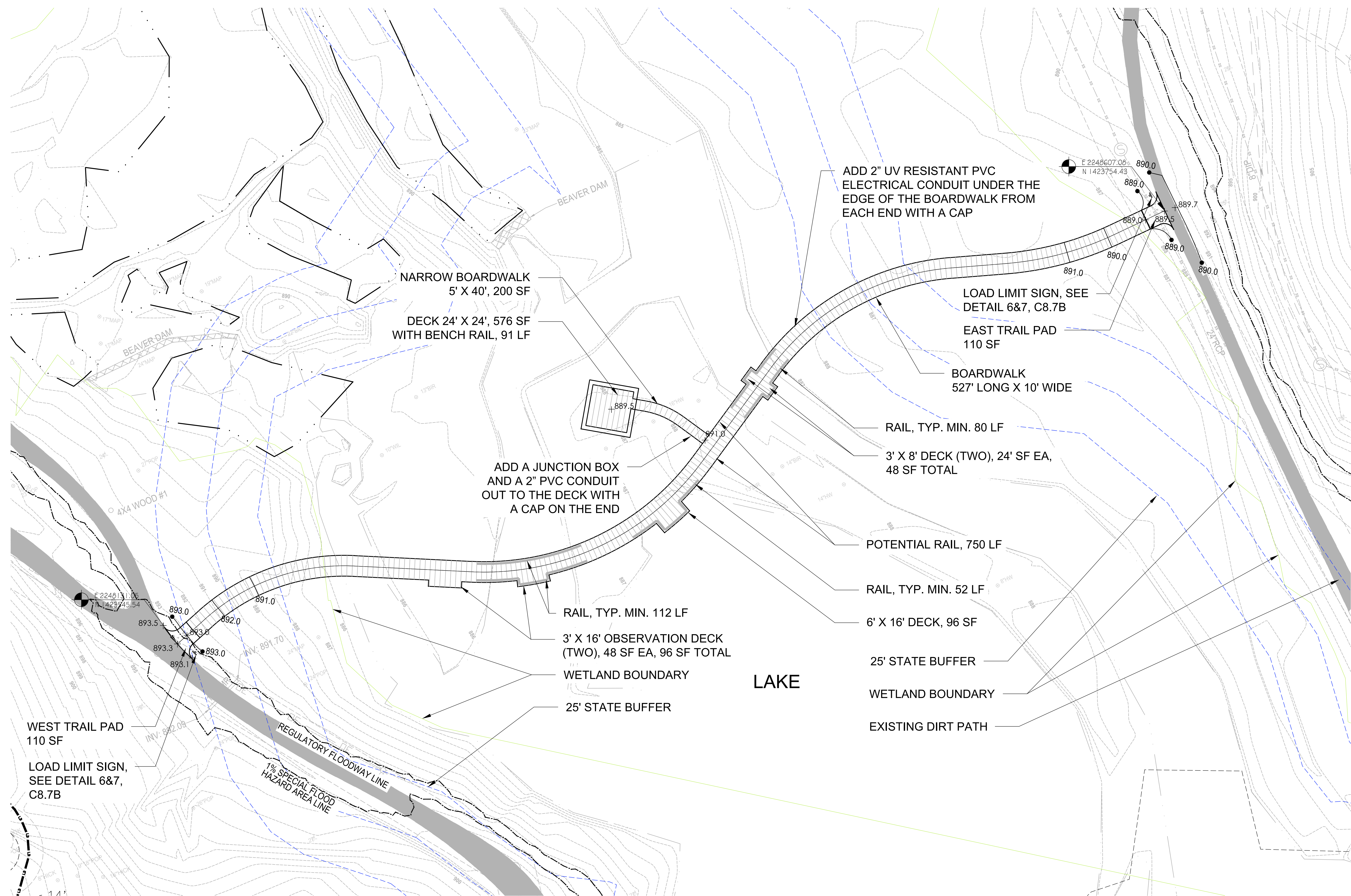
DATE	DRAWN	CHECKED
02/04/21	GZ	MC

SCALE

SHEET TITLE

LAYOUT AND GRADING - NORTH BOARDWALK

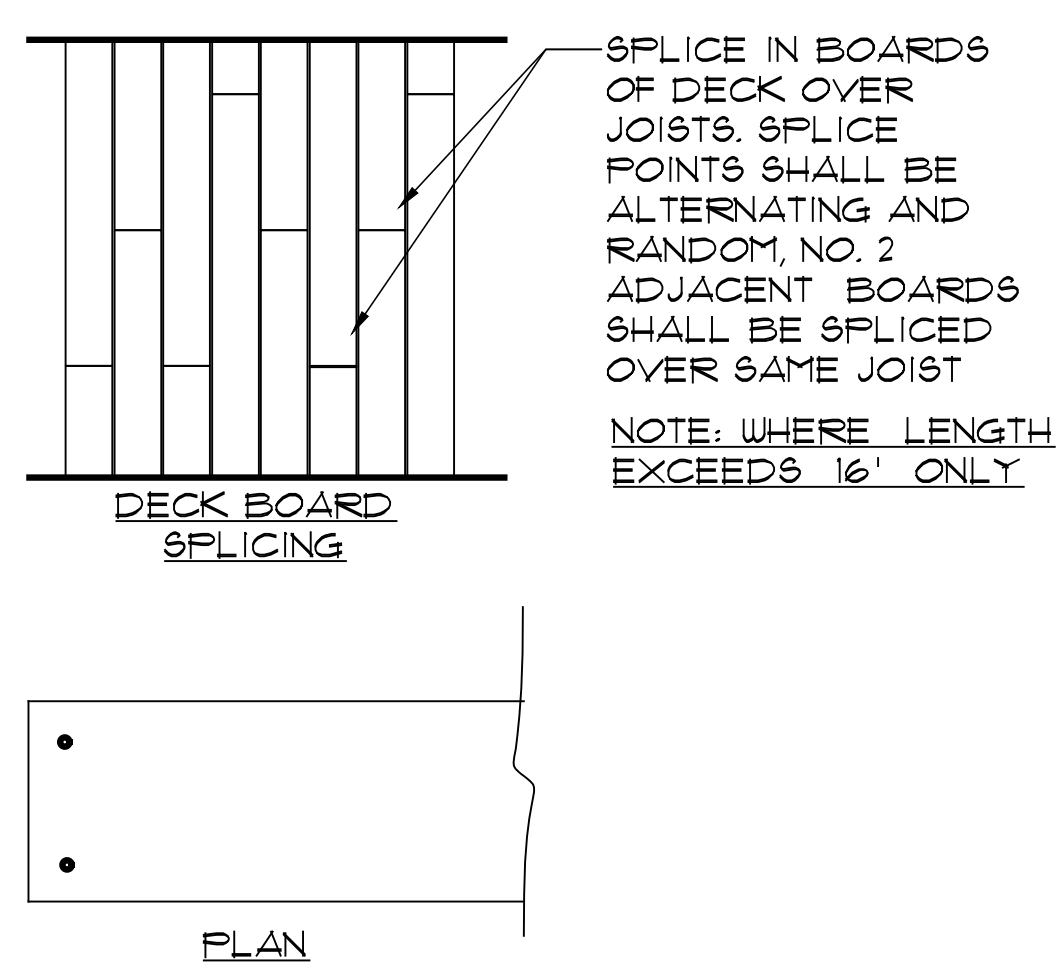
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C4.7	
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DRAWING NUMBER	



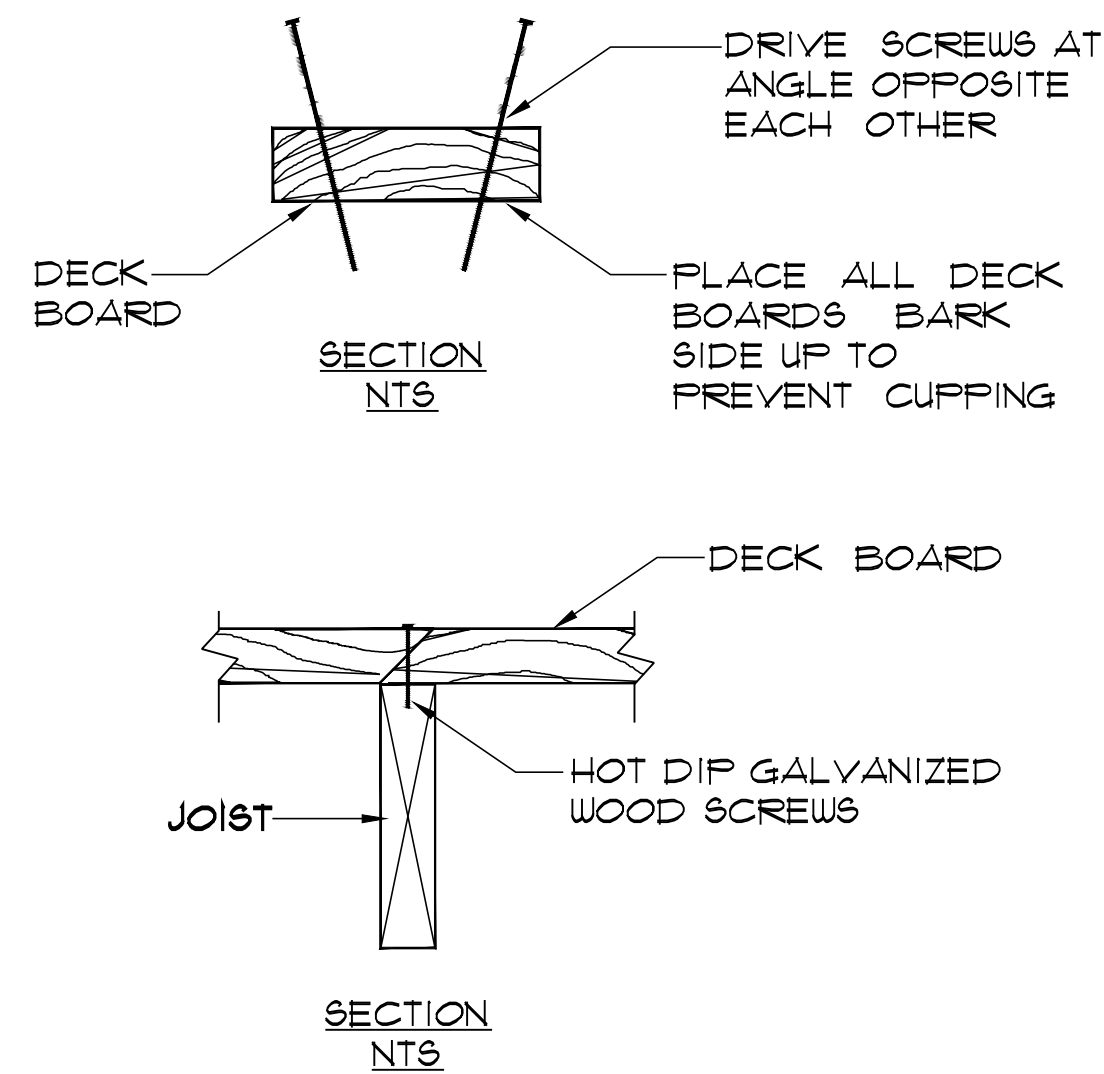
NOTE:
 1. RAIL FOR ANY LOCATION WITH MORE THAN 30" DROP; BUMPER RAIL FOR AREAS WITH LESS THAN 30" DROP.
 2. BOARDWALK LOCATION HAS BEEN PRELIMINARY STATED IN THE FIELD.
 3. SURVEYOR TO ESTABLISH BENCH MARK AND ACCURATE FLOOD LEVEL MARKS ON SITE TO USE IN THE STAKEOUT.
 4. STAKE THE BOARDWALK LOCATION AND ELEVATIONS IN THE FIELD AND HAVE A WALK THROUGH TO ADJUST THE ELEVATIONS AND RAIL LOCATIONS.

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION

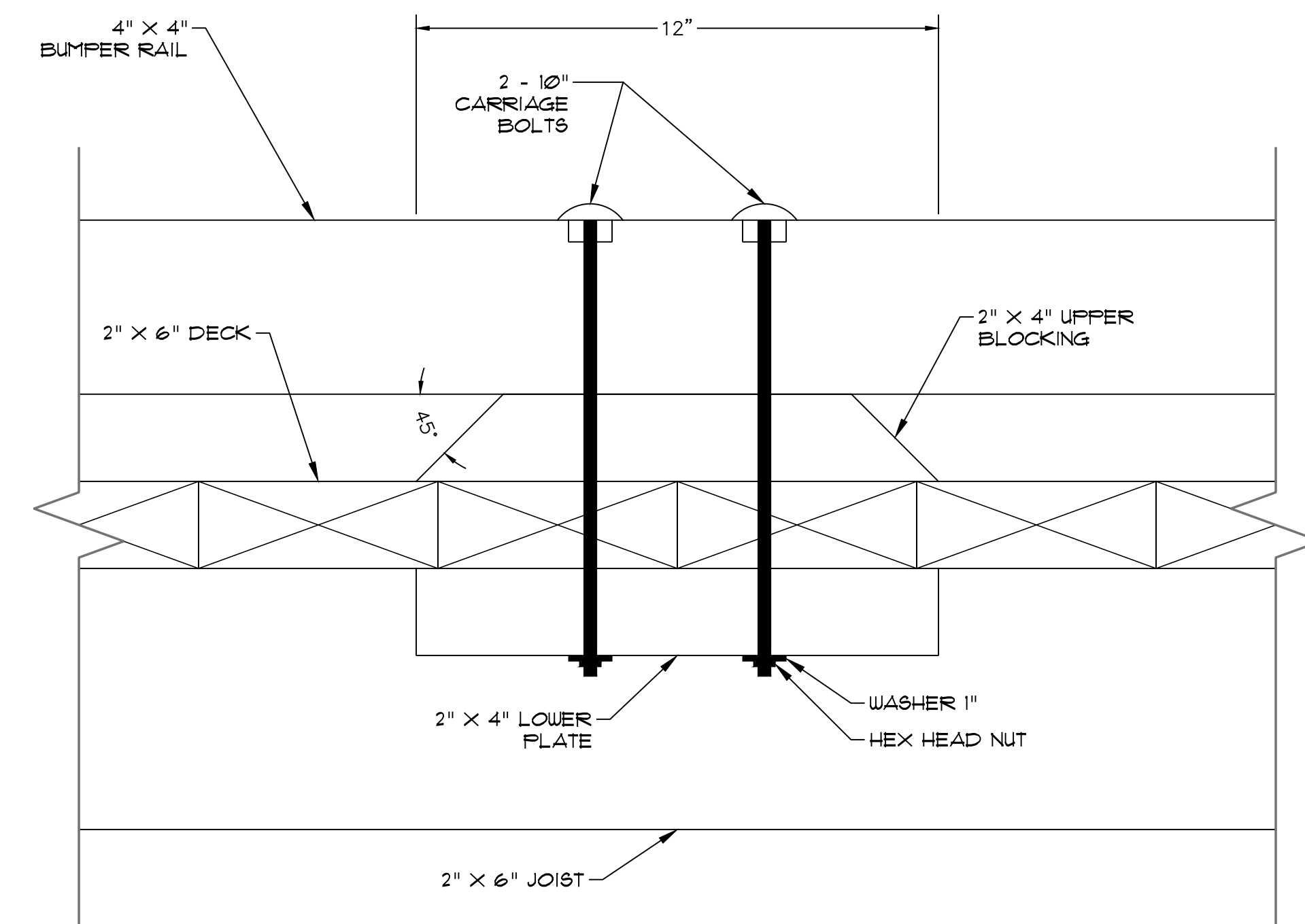
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 Plotted By: Grace Zhang



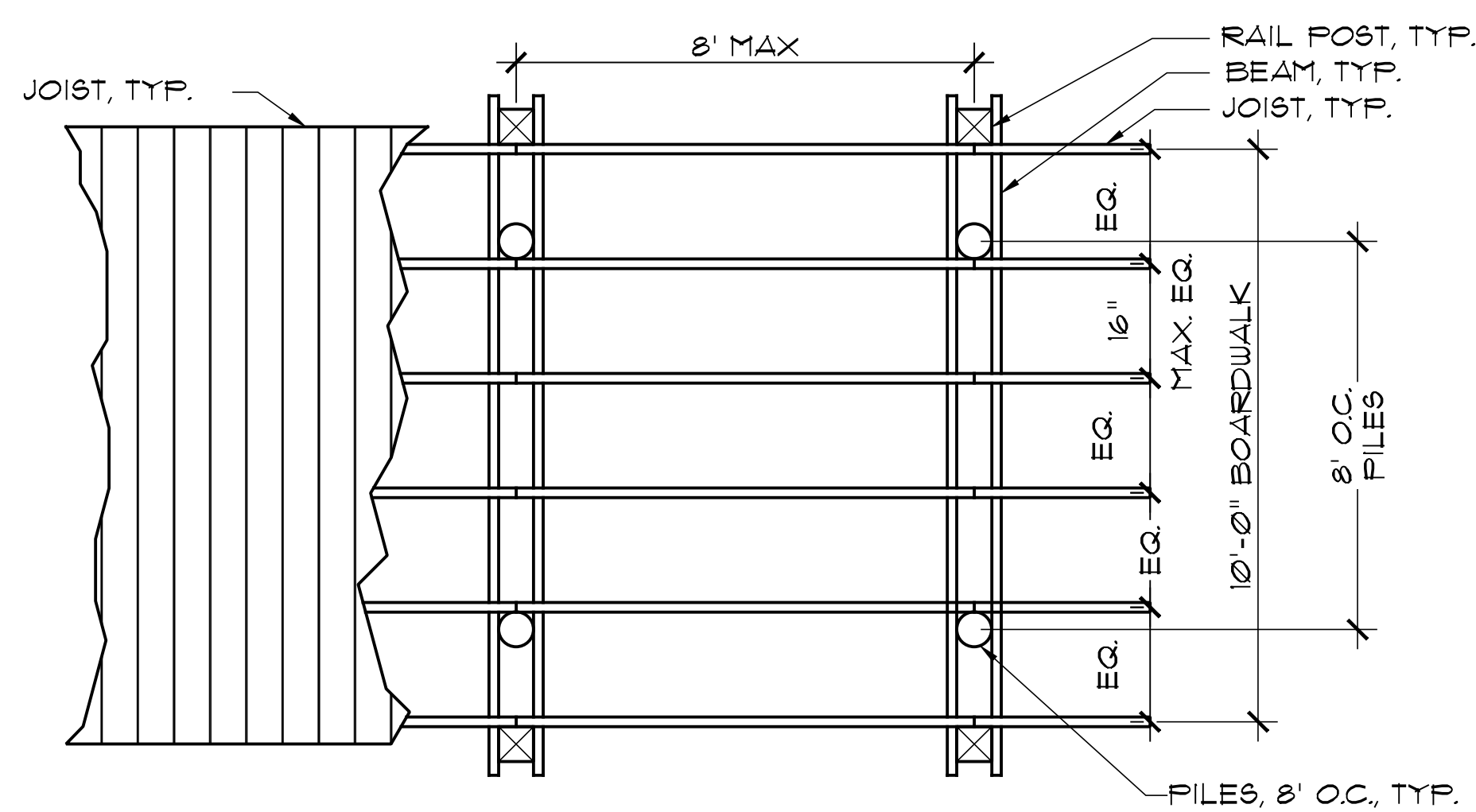
1 WOOD DECKING INSTALLATION - TYP.
NTS



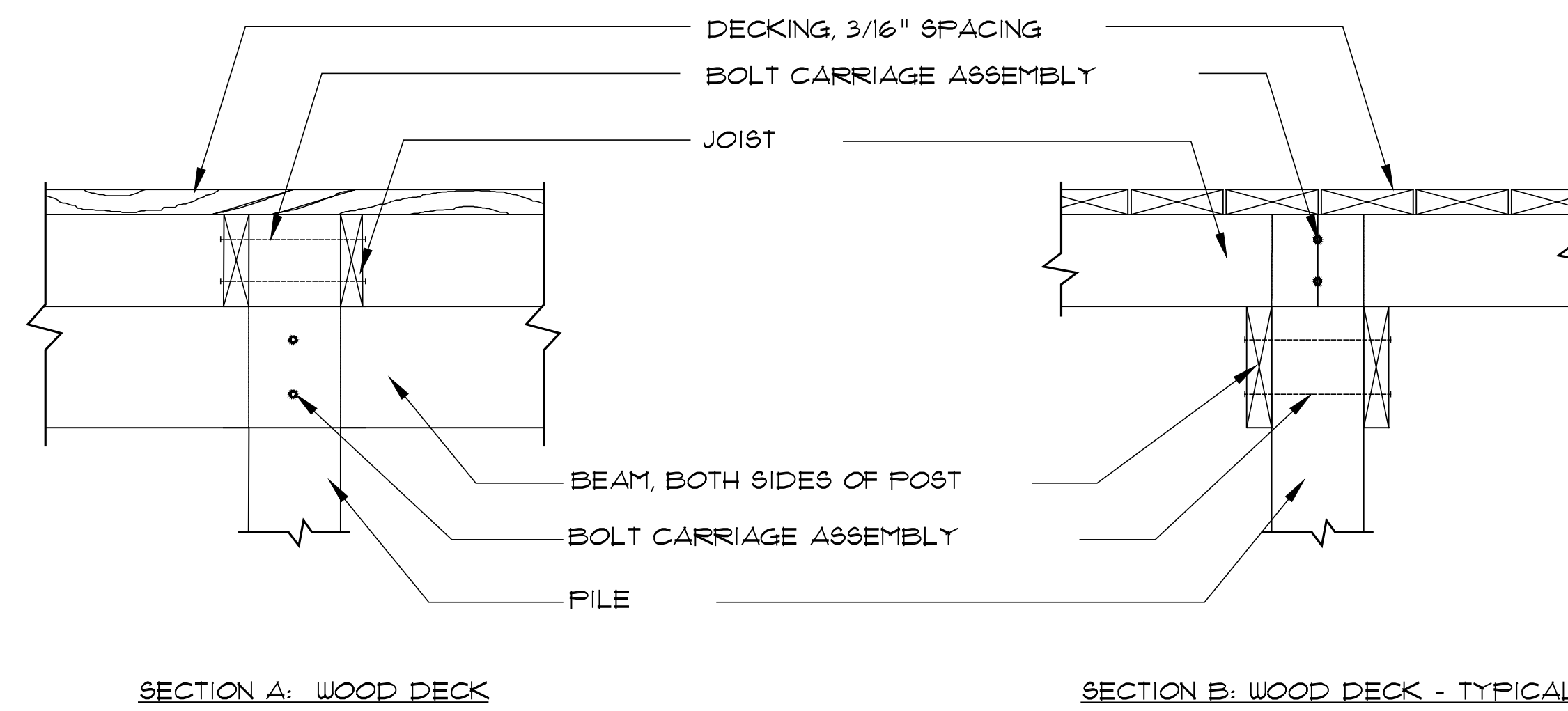
2 BUMPER RAIL
1 1/2" = 1'-0"



3 BUMPER RAIL ATTACHMENT
NTS

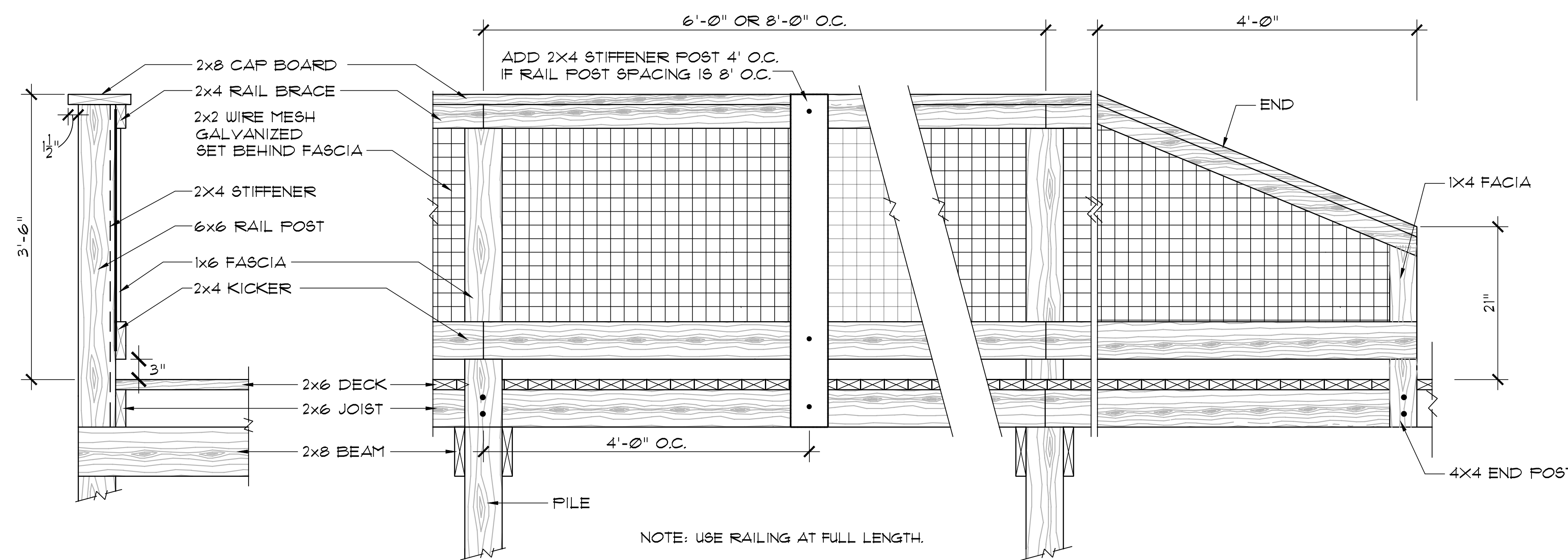


4 WOODEN DECK PLAN - TYP.
1 1/2" = 1'-0"

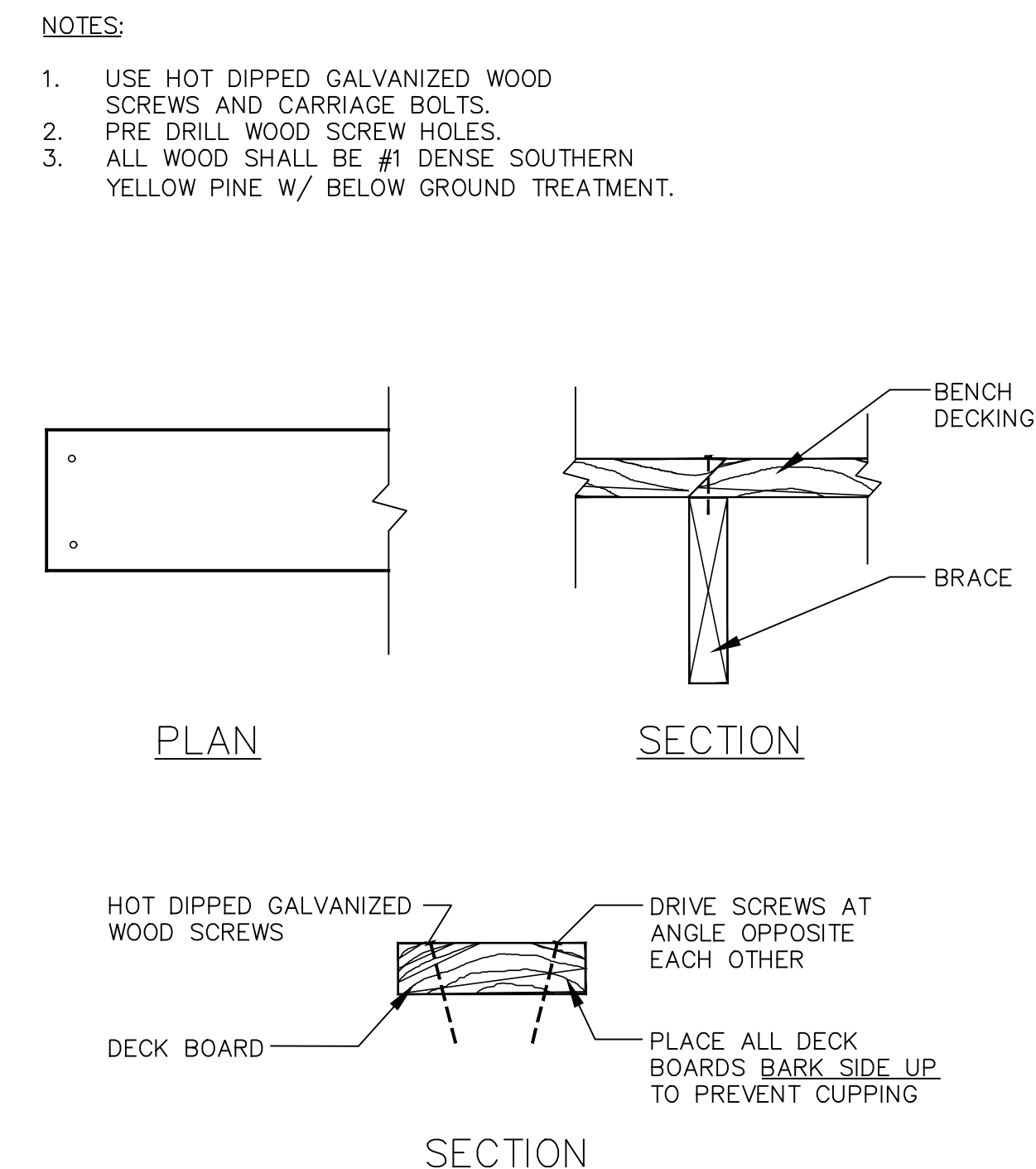


5 DECK AND PILE - TYP.
1 1/2" = 1'-0"

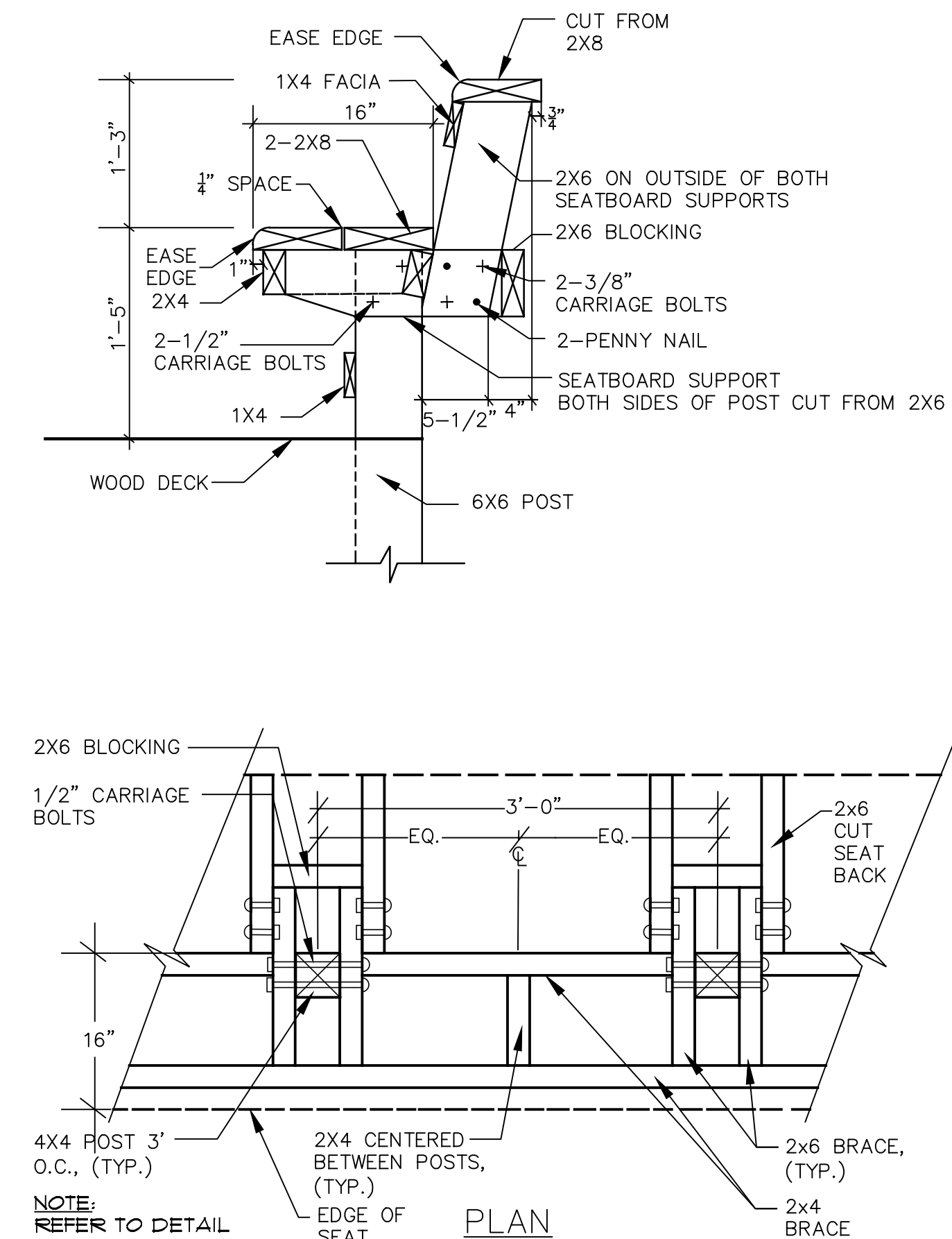
NOTE:
1. THESE ARE SUGGESTED DETAILS.
2. CONTRACTORS MUST REVIEW AND STAMP THESE DETAILS OR PROVIDE THEIR OWN DETAILS APPROVED BY A GA. LICENSED ENGINEER.



6 WOODEN DECK RAILING
1" = 1'-0"



7 BENCH EDGE - TYPICAL
NTS



DRAWINGS SCHEDULE

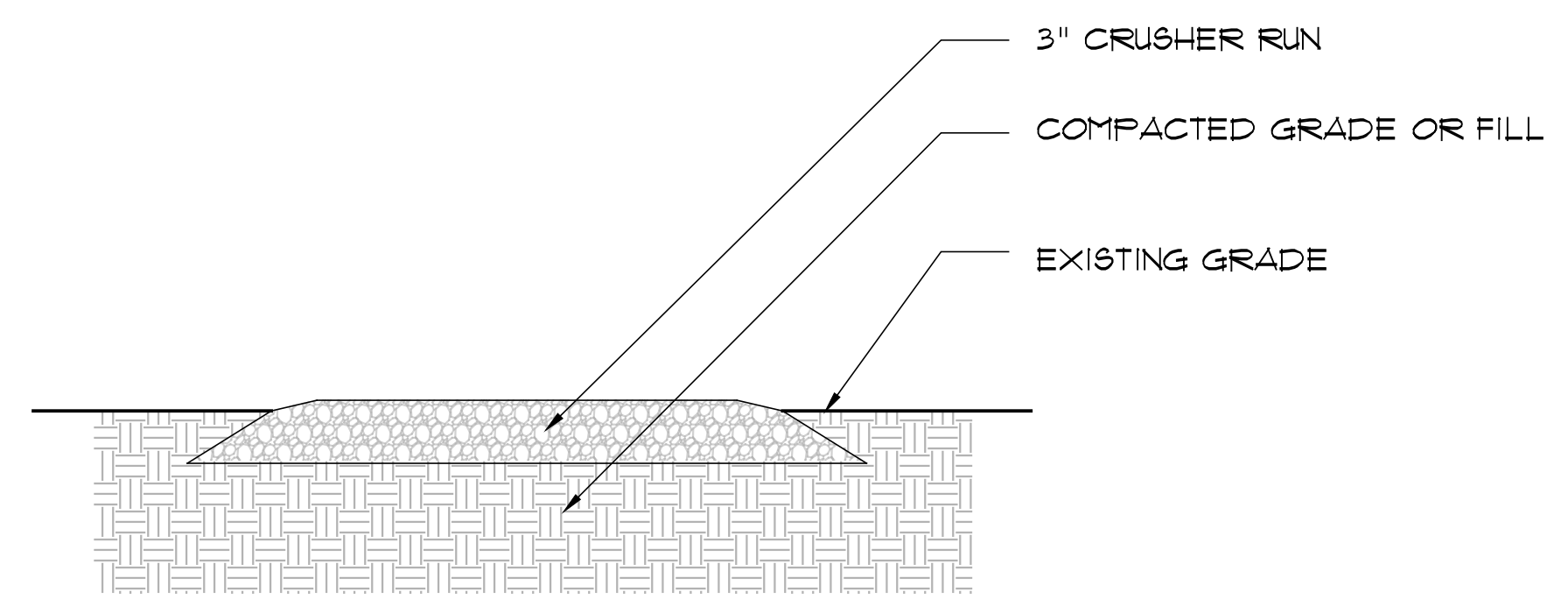
No.	Date	Description
11	09/17	LDP - South Trail - City Comment #2
12	09/17	LDP - South Trail - City Comment #1
13	10/13	LDP - Pool Parking - City Comment #1
14	10/16	LDP - Habitat Play Area Field Change #1
15	10/19	Multisite Trail on Dan - Pedestrian Review
16	11/18	LDP - Pool Parking - City Comment #2
17	11/20	LDP - Community Green - City Comment #2
18	11/20	LDP - Innovation City Comment #1
19	11/20	NORTH BOARDWALK DESIGN/SCHEMATIC
20	12/01	Multisite Trail on Dan - Pedestrian Comment #1
21	12/01	Multisite Trail on Dan - Pedestrian Comment #2
22	12/30	SEWCO Submittal
23	01/11	COMMUNITY GREEN - BULK/DWG PERMIT #1
24	02/04	SEWCO Submittal #1
25	02/11	NORTH BOARDWALK DESIGN/SCHEMATIC #1

DATE	DRAWN	CHECKED
02/04/21	GZ	MC
SCALE		
SHEET TITLE	SITE DETAILS NORTH BOARDWALK	

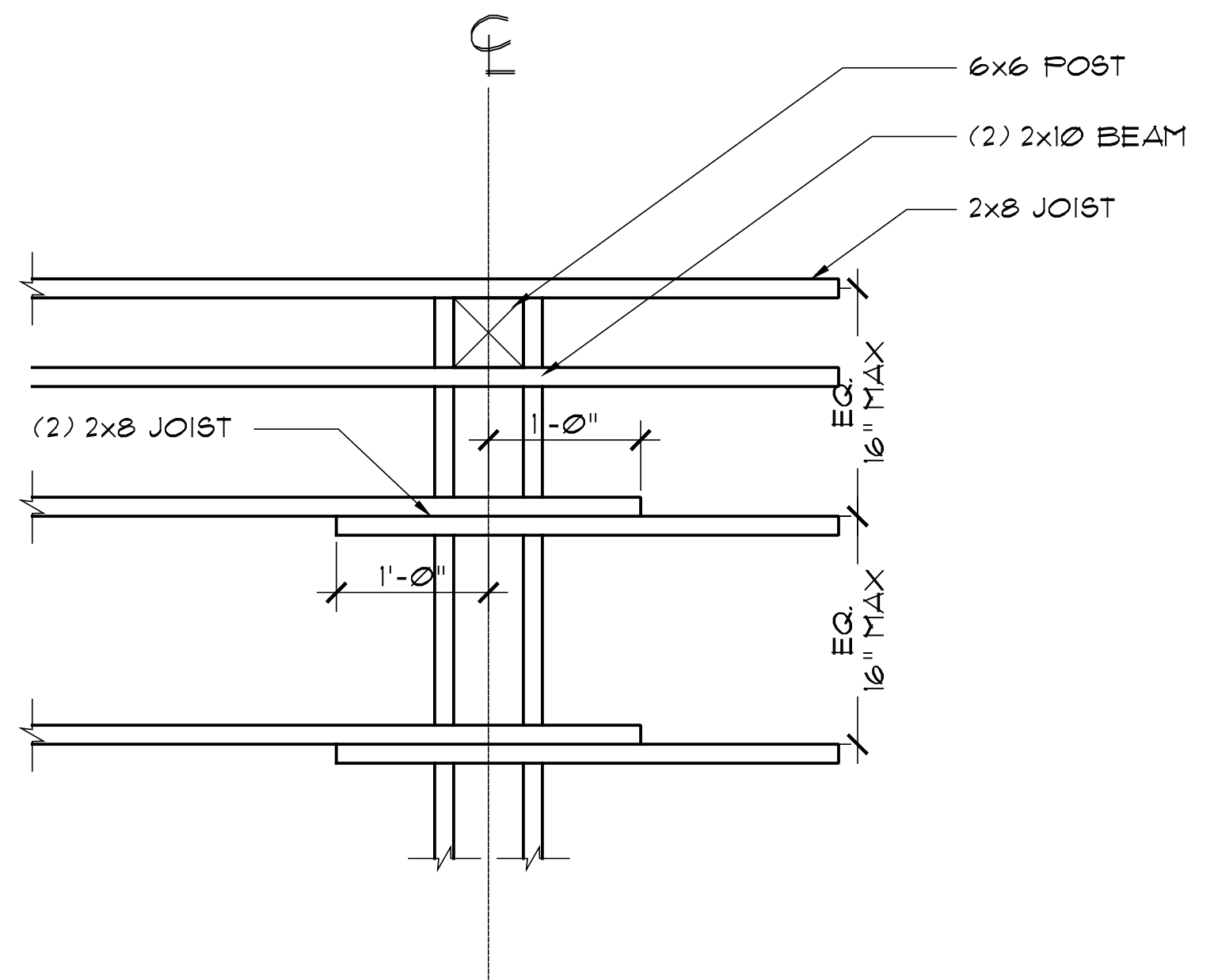
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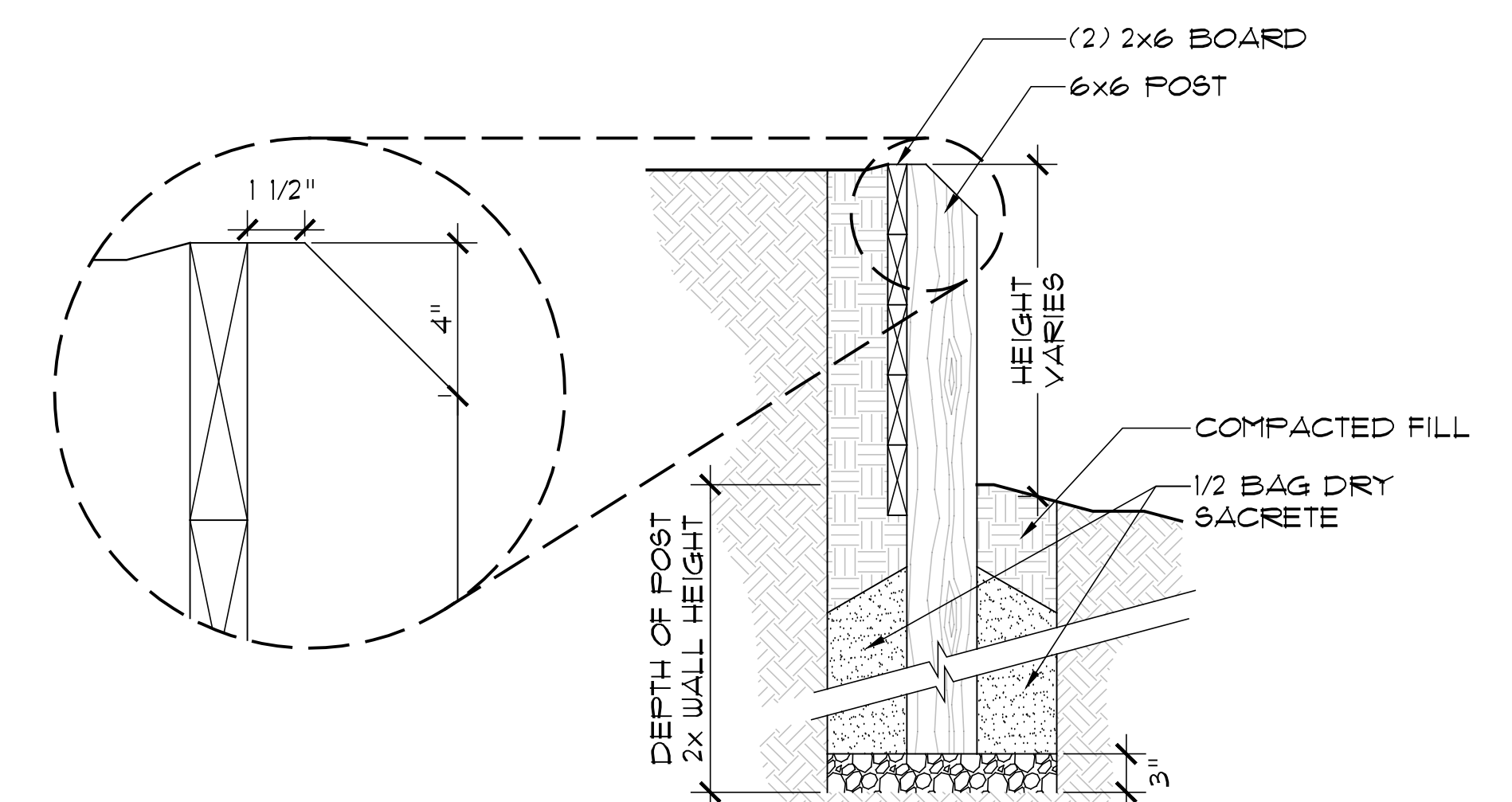
No.	Date	Description
11	08/17	LDP - South Trail - City Council #2
12	08/17	LDP - South Trail - City Council #3
13	10/13	LDP - Pool Parking - City Council #1
14	10/16	LDP - Necker Plus Area Pool Change #1
15	10/19	Multi-use Trail on Oak - Pedestrian Review
16	11/18	LDP - Pool Parking - City Council #2
17	11/20	LDP - Community Green - City Council #2
18	11/20	LDP - Innovation City Council #1
19	11/20	HEIGHT BOARDWALK DESIGN/REVISIONS
20	12/01	Multi-use Trail on Oak - Pedestrian Council #1
21	12/01	Multi-use Trail on Oak - Pedestrian Council #2
22	12/30	SSRC Summer
23	01/11	COMMUNITY GREEN - BUILDING PERMIT #1
24	02/04	SSRC Summer
25	02/11	HEIGHT BOARDWALK DESIGN/REVISIONS



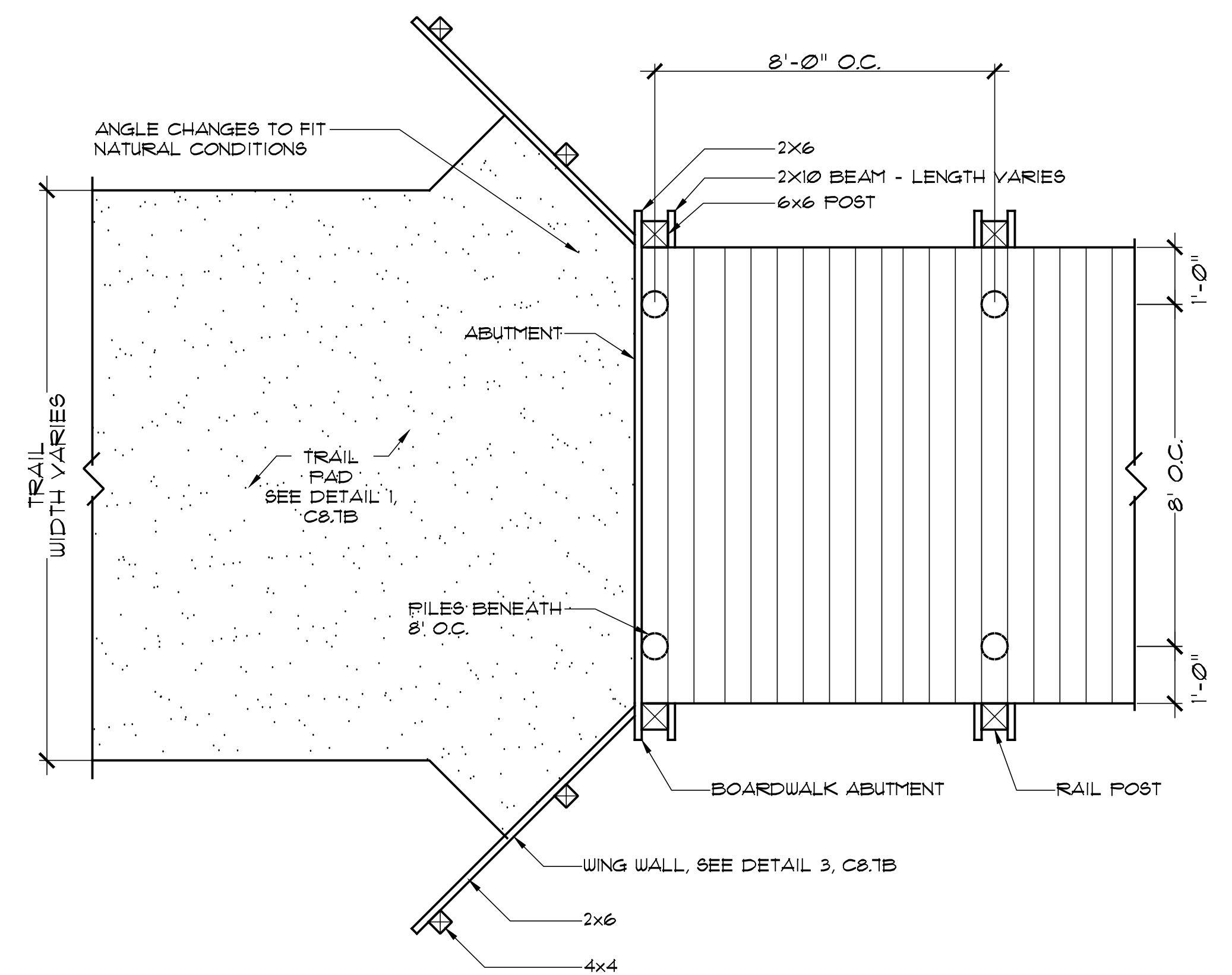
SECTION
1 TRAIL PAD
NTS



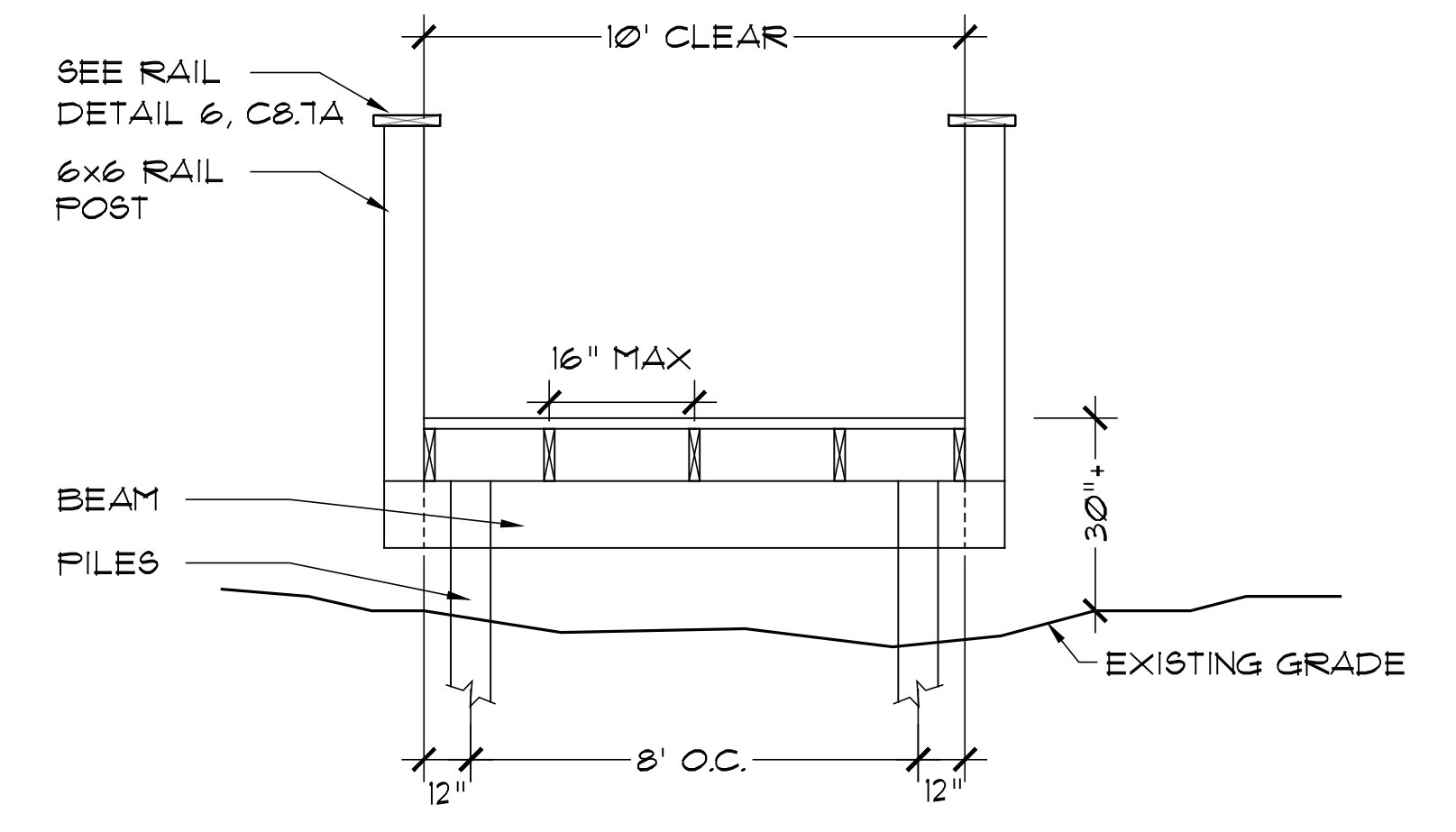
PLAN VIEW
2 DOUBLE JOIST OVER BEAM
SCALE: 1"=1'-0"



SECTION
3 ABUTMENT AND WING WALL DETAIL (TYP.)
1"=1'-0"

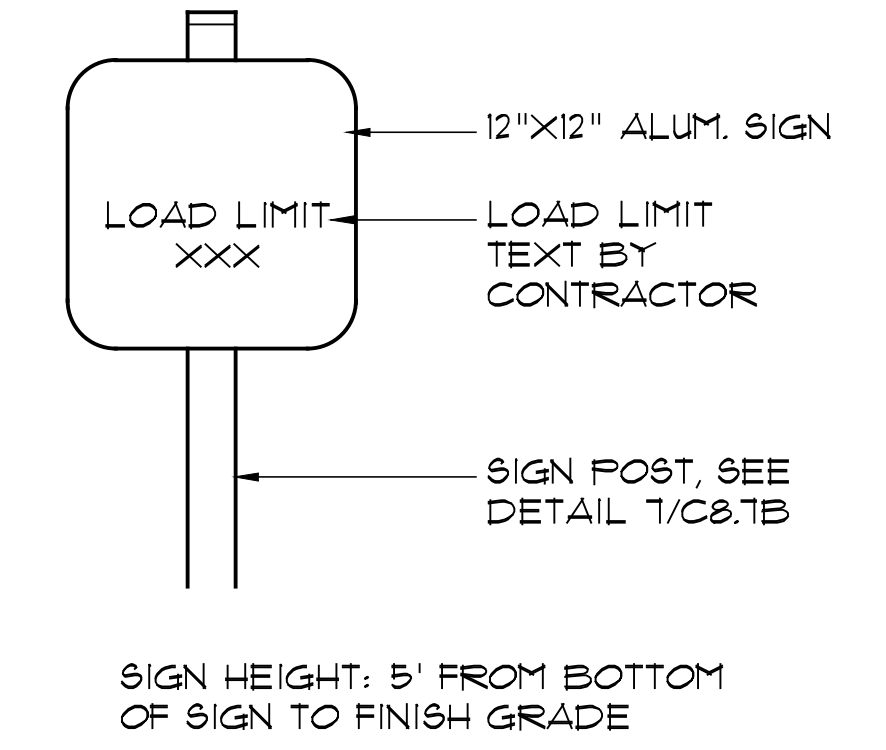


PLAN VIEW
4 TYPICAL ABUTMENT/BOARDWALK/TRAIL PAD
SCALE: 1/2"=1'-0"

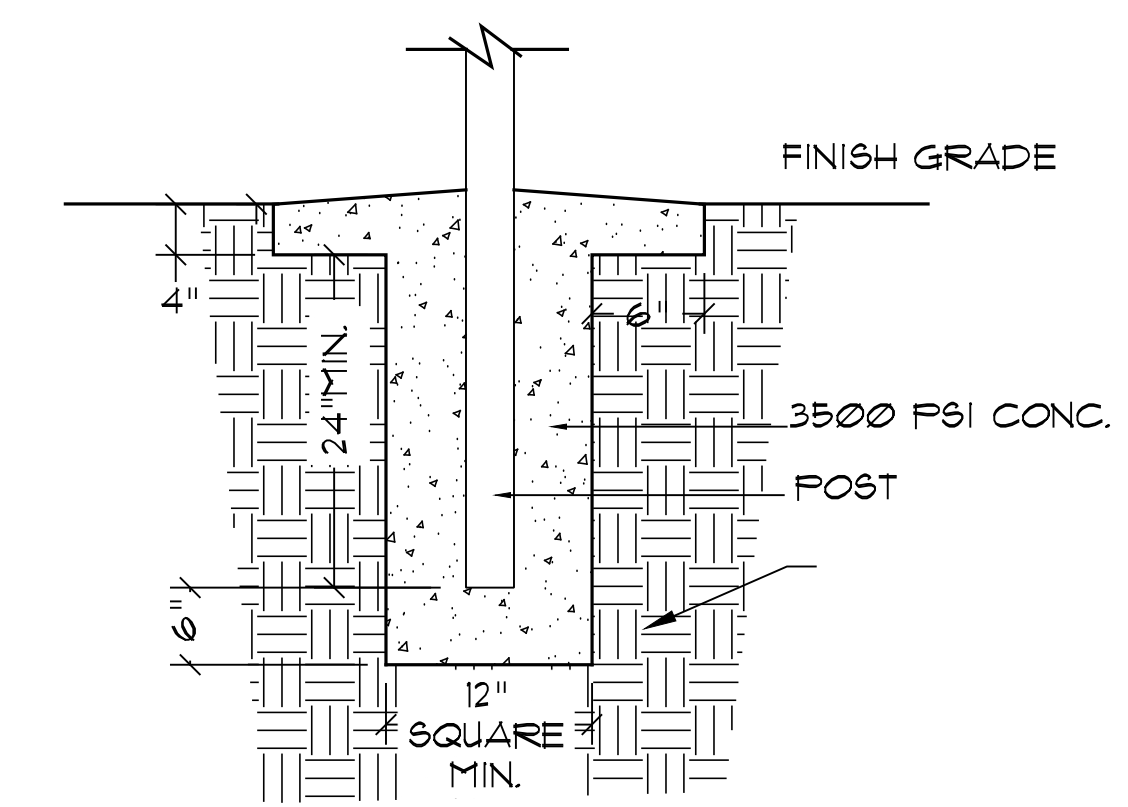


NOTE:
1. BUMPER RAIL UNTIL DECK IS OVER 42" ABOVE GRADE.
2. GUARD RAIL WHEN DECK IS OVER 42" ABOVE GRADE.

5 WOODEN DECK A-A CROSS-SECTION
1/2" = 1'-0"



6 BOARDWALK LOAD LIMIT SIGN
NTS



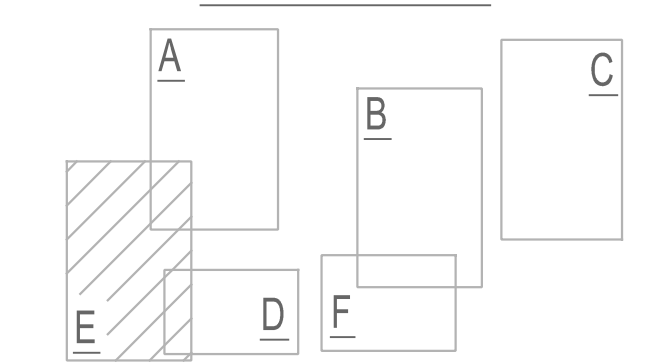
7 POST FOOTING
NTS

NOTE:
1. THESE ARE SUGGESTED DETAILS.
2. CONTRACTORS MUST REVIEW AND STAMP THESE DETAILS OR PROVIDE THEIR OWN DETAILS APPROVED BY A GA. LICENSED ENGINEER.

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION

DATE	DRAWN	CHECKED
02/04/21	GZ	MC
SCALE		
SHEET TITLE		
SITE DETAILS NORTH BOARDWALK		

PROJECT NUMBER	15092.00
C8.7B	
5	
DRAWING NUMBER	



DRAWINGS SCHEDULE

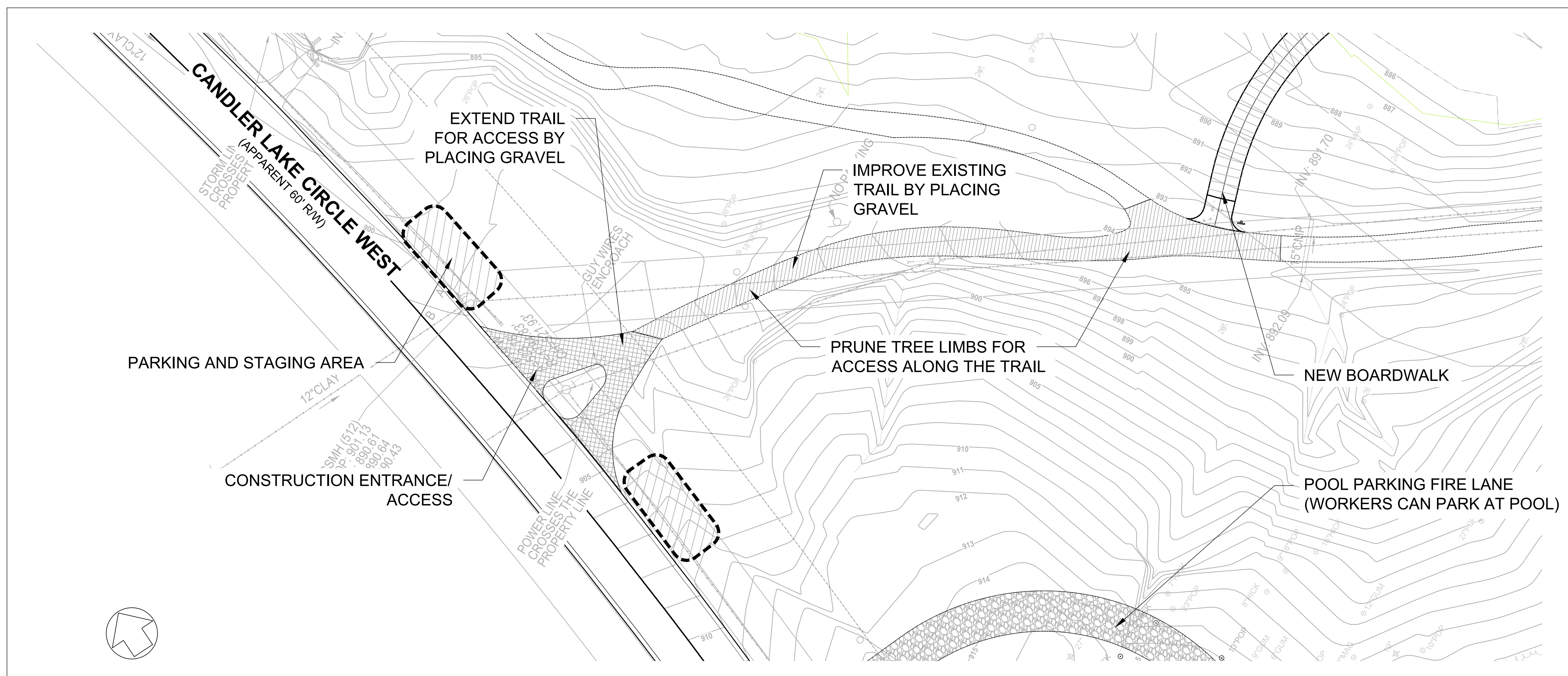
No.	Date	Description
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12	08/17	LDP - South Trail - City Comment #3
13	10/13	LDP - Pool Parking - City Comment #1
14	10/16	LDP - North Plus Area Final Change #1
15	10/19	Multi-use Trail on Oak - Feedback Review
16	11/16	LDP - Pool Parking - City Comment #2
17	11/20	LDP - Community Green - City Comment #2
18	11/20	LDP - Community Green - City Comment #3
19	11/20	North Boardwalk Construction
20	12/01	Multi-use Trail on Oak - Feedback Comment #1
21	12/01	Multi-use Trail on Oak - Feedback Comment #2
22	12/30	SSWC Submittal
23	01/11	COMMUNITY GREEN - BUILDING PERMIT #1
24	02/04	SSWC Submittal
25	02/11	REVISIONS TO CONSTRUCTION PLAN



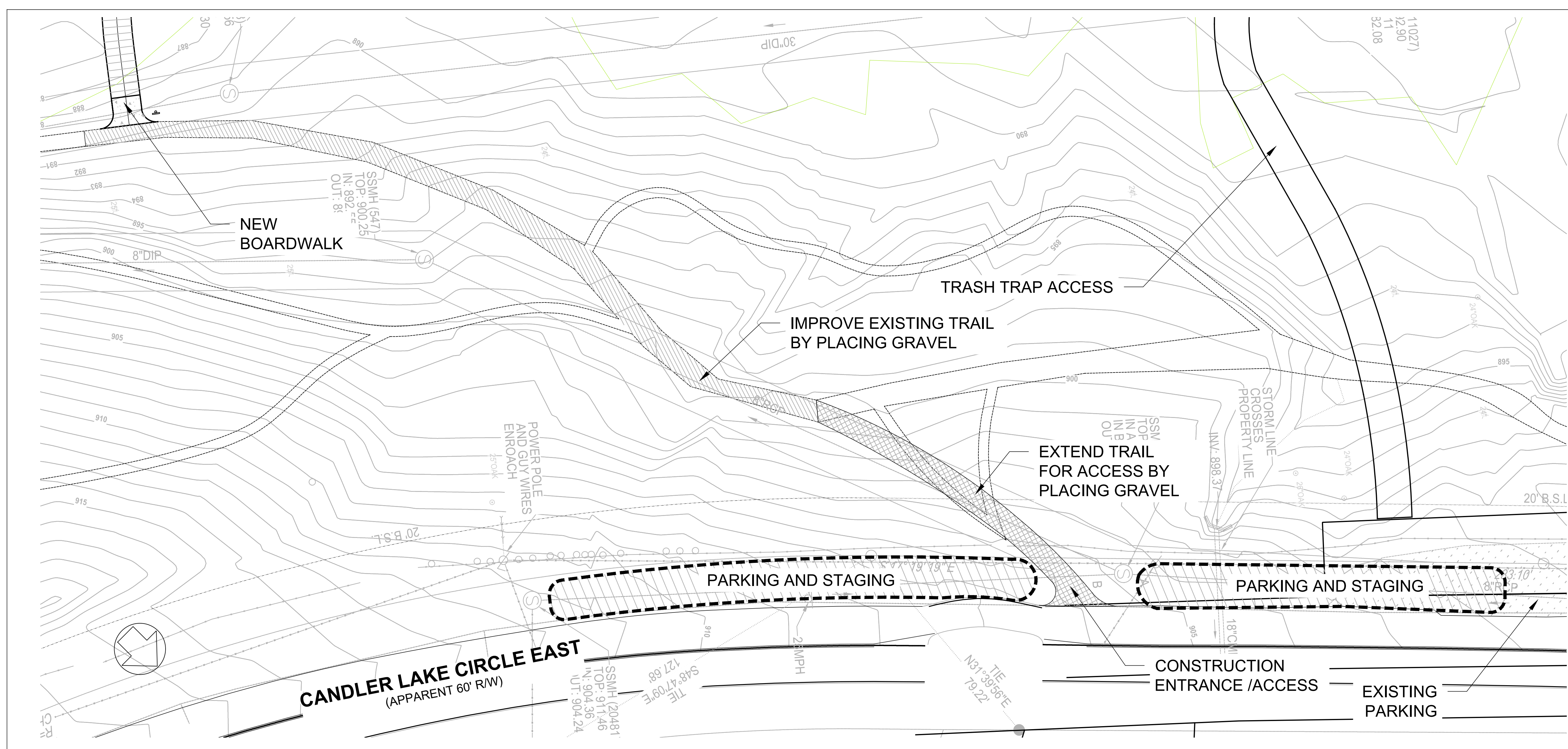
CITY OF BROOKHAVEN
MURPHEY CANDLER PARK
1551 W. NANCY CREEK DRIVE NE
BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
02/04/21	GZ	MC
SCALE		
SHEET TITLE	CONSTRUCTION ACCESS NORTH BOARDWALK	

PROJECT NUMBER	15092.00
C9.7	
6	
DRAWING NUMBER	

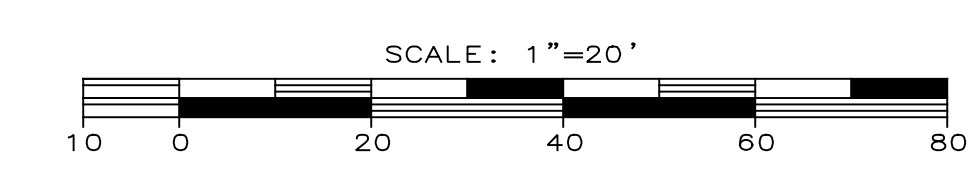


1 CONSTRUCTION ACCESS - WEST SIDE
1" = 20'



2 CONSTRUCTION ACCESS - EAST SIDE
1" = 20'

- NOTES:**
- CLEANUP AFTER CONSTRUCTION: CONSTRUCTION ENTRANCES AND EXTENDED TRAILS SHALL HAVE ALL AGGREGATE, GRAVEL AND STONE REMOVED AND SURFACE SMOOTHED BY ADDING TOPSOIL IF NECESSARY.
 - SMOOTHED SURFACES SHALL BE RETURNED TO NATURAL MULCH OR GRASS AS ORIGINAL.
 - IMPROVED TRAILS SHALL BE REPAIRED BACK TO THEIR ORIGINAL CONDITIONS AS EXISTED BEFORE CONSTRUCTION.
 - EXISTING TRAILS MUST REMAIN OPEN AND USABLE BY THE CITIZENS.
 - ANY VEHICLE MOVING ALONG THE ACCESS PATHWAY SHALL BE ACCOMPANIED BY A FLAG-MAN FOR THE SAFETY OF THE TRAIL USERS.
 - CONTRACTOR MAY NOT PARK, BLOCK OR STORE MATERIALS ON THE EXISTING TRAIL ROUTES.



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FAX NO. (770) 421-0552
WWW.TERRAMARK.COM
C. O. A. # LSF000810

NOTE:
THE WRESTED VEGETATION
AND 803 CONTOUR WERE
SURVEYED IN BY TERRAMARK
ON FEB. 4, 2021