ALL CONSTRUCTION OF UTILITIES TO BE SCHEDULED AND APPROVED BY THE OWNER PRIOR TO ANY DISRUPTION OF

EROSION AND SEDIMENT DAMAGE DUE TO GRADING OPERATIONS

DISTURBANCE ACTIVITY AND SHALL BE MAINTAINED IN ACCORDANCE TO CURRENT EDITION OF THE MANUAL OF EROSION AND SEDIMENT CONTROL IN GEORGIA. WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE SHORING

OR OTHER APPROVED METHOD IN ORDER TO MAKE THE WORK AREA STABLE AND SAFE. ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY WITH

ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ACCESS

FOR ALL EMERGENCY VEHICLES AT ALL TIMES. THE AREA REQUIRING RE-GRADING SHALL BE RAISED OR LOWERE AS REQUIRED TO MEET NEW GRADES. PRIOR TO ANY ADJUSTMEN' THE CONTRACTOR IS TO COORDINATE SUCH WORK WITH THE

10. ALL SURFACE AREAS TO HAVE POSITIVE DRAINAGE AT THE CONCLUSION OF THE CONTRACT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE. CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING OFF AND DISPOSING OF ANY DEBRIS TO AN APPROVED STATE LICENSED

12. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND INTO STORM STRUCTURES.

13. CONTRACTOR TO MAINTAIN ALL STORM DRAINAGE STRUCTURES DURING THE COURSE OF CONSTRUCTION.

THE CONTRACTOR IS TO VERIFY ALL LOCATIONS AND/OR TYPES OF OR EQUIPMENT TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR TO OWNERS SPECIFICATIONS. SUCH DAMAGE SHALL BE THE CONTRACTORS EXPENSE TO PAY FOR ALL MATERIALS. LABOR AND NECESSARY

CONTRACTOR SHALL ACQUIRE ALL PERMITS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.

16. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AND ALL

17. LAND DISTURBANCE TO BE LIMITED TO THOSE AREAS NEEDED FOR

18. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED WITH FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

19. NOTIFY THE CITY OF BROOKHAVEN INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY

CITY OF BROOKHAVEN FOR ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY

AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE. WETLAND CERTIFICATION: THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING:

THE NATIONAL WETLAND INVENTORY DO NOT INDICATE SENSITIVE AREAS WITHIN THE PROJECT AREA.

A LETTER OF "NO PERMIT NEEDED" HAS BEEN ISSUED BY THE ARMY CORPS OF ENGINEERS FOR THIS PROJECT.

AREA TABLE

3,630,024 SQ.FT. OR 83.3339 AC. 1,602,679 SQ.FT. OR 36.7924 AC.

TOTAL AREA 5,232,703 SQ.FT. OR 120.1263 AC.

OWNER/PRIMARY PERMITEE:

CONTACT: CHRISTIAN SIGMAN, CITY MANAGER CITY OF BROOKHAVEN 4362 PEACHTREE ROAD NE BROOKHAVEN, GEORGIA 30319

PHONE: (404) 637-0513 CHRISTIAN.SIGMAN@BROOKHAVENGA.GOV

24-HOUR CONTACT:

CONTACT: LEE CROY, PARKS PROGRAM MANAGER CITY OF BROOKHAVEN PHONE: 678 576 9846

EMAIL:LEE.CROY@BROOKHAVENGA.GOV

LEAD DESIGN PROFESSIONAL:

CONTACT: GE GRACE ZHANG, RLA CLARK PATTERSON LEE 3011 SUTTON GATE DRIVE, SUITE 130 SUWANEE, GEORGIA 30024

OFFICE: (770) 831-9000

EMAIL: GZHANG@CPLTEAM.COM



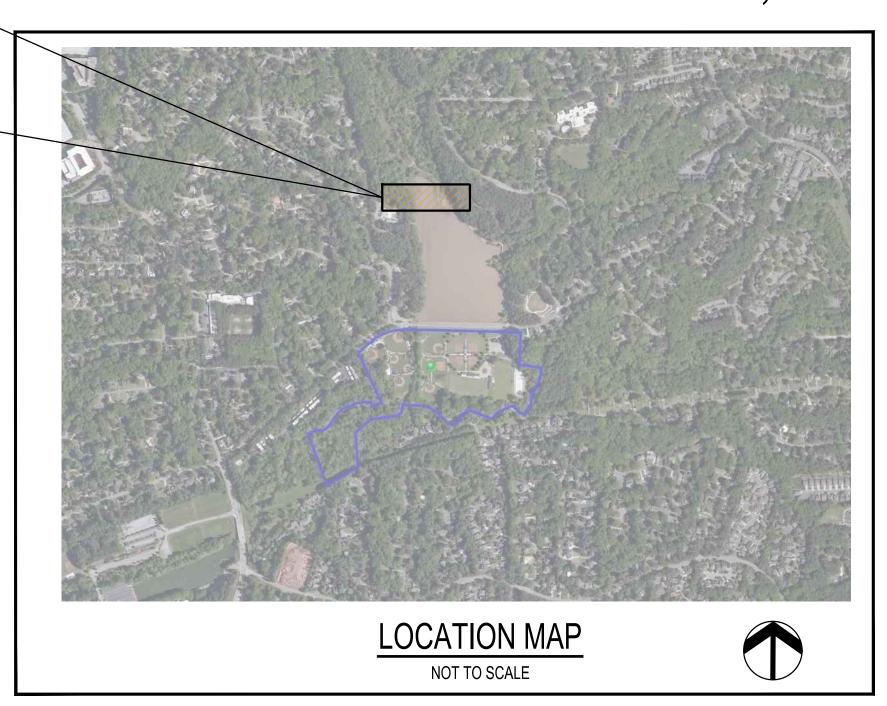
Call before you dig.

CITY OF BROOKHAVEN MURPHY CANDLER PARK NORTH BOARDWALK

DEKALB COUNTY, GEORGIA

PROJEC₁ SITE

SITE



FIRM FLOOD MAP ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB COUNTY, GEORGIA (PANEL NUMBER 13089C0012K), DATED AUGUST 15, 2019; A



DESIGN/BUILD

PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.

2016 SURVEY & 2019 UPDATED TREE SURVEY TERRAMARK LAND SURVEYING, INC. 1396 BELLS FERRY ROAD MARIETTA, GEORGIA 30066 PHONE NO. (770) 421-1927 AND 893 CONTOUR WERE SURVEYED IN BY TERRAMARK ON FEB. 4, 2021 FAX. NO. (770) 421-0552 WWW.TERRAMARK.COM C. O. A.# LSF000810

OWNER: CITY OF BROOKHAVEN

ACREAGE: 120.1263 ACRES

TRACT 2 TOTAL AREA: 36.79 AC

TOTAL DISTURBED AREA: .< 5,000 SF

ACTUAL DISTURBED AREA: 220 SF

ZONING: R-100

ADDRESS: 1551 WEST NANCY CREEK DRIVE

SITE DATA:

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION

SURVEY NOTES

A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.

A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY

TRACT 1 HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 697,879 FEET.

TRACT 2 HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 239,751 FEET.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 31,741 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON AUGUST 17, 2016

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF

THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.

PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OF ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON -EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY

TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB

COUNTY, GEORGIA (PANEL NUMBERS 13089C0012J & 13089C0014J), DATED

MAY 16, 2013; A PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD

HAZARD AREA. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A

THIS SURVEY. SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF

WAY OF WEST NANCY CREEK DRIVE. CANDLER LAKE WEST & CANDLER LAKE

TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON

REFERENCE MATERIAL

SHEET INDEX

SHEET TITLE

C0.7 | COVER SHEET

C8.7A | SITE DETAILS

C8.7B | SITE DETAILS

C1.7 EXISTING CONDITIONS

CONSTRUCTION ACCESS

C4.7 | LAYOUT / GRADING

PLAT FOR CANDLER LAKE ESTATES, UNIT ONE RECORDED IN PB. 45 PG. 14 AMONG THE LAND RECORDS OF DEKALB COUNTY

2. PLAT FOR ASHWOODY SUBDIVISION RECORDED IN PB. 45 PG. 35 AFORESAID RECORDS

3. PLAT FOR CANDLER LAKE VIEW SUBDIVISION RECORDED IN PB. 58 PG. 161 AFORESAID RECORDS

4. FINAL PLAT FOR ASHFQRD GLEN, UNIT 4

AFORESAID RECORDS 5. PLAT FOR FOX GLEN SUBDIVISION

RECORDED IN PB. 84 PG. 29

RECORDED IN PB. 46 PG. 87 AFORESAID RECORDS

CONDOMINIUM PLAT FOR ASHFORD LAKE CONDOMINIUM ASSOCIATION RECORDED IN PB. 6 PG. 9 AFORESAID RECORDS

DEED FOR ASHFORD PLACE CONDOMINIUM ASSOCIATION RECORDED IN DB. 3529 PG. 379 AFORESAID RECORDS

UTILITY PROVIDERS

ATLANTA GAS LIGHT COMPANY AGL 10 PEACHTREE STREET NE MARTIN MAREK

823 JEFFERSON STREET ATLANTA, GA 30318 **IKE ĆOLLINS**

AND SEWER DEPARTMENT STONE MOUNTAIN, GA. 30083 JEFF WOODS

JDWOODS@DEKALBCOUNTYGA.GOV

COMMUNICATION

208 S. AKARD ST. **DALLAS, TX 75202** (210) 821-4105 ANGELO HINES (770) 784-3972

COMCAST (770) 559-6879 SANDRA ANDREWS

1025 ELDORADO BOULEVARD BROOMFIELD, CO 80021 (877) 366-8344 EXT. 3

2400 N GLENVILLE RICHARDSON, TX 75082 (478) 471-1042 **DENNIS RAINEY CENTURYLINK**

MONROE, LA 71203

NIC FLORES

100 CENTURYLINK DRIVE

LOUSVILL, CO 80027

UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF

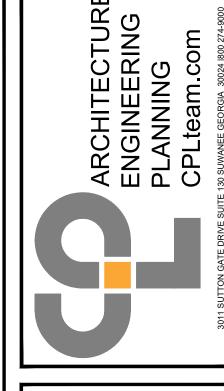
UTILISURVEY, LLC. 154 GRANT ROAD FAYETTEVILLE, GA. 30215 PHONE: 404-312-6912 ATTENTION: HANS WONNEBERGER

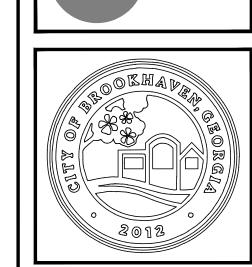
AS POSSIBLE FROM INFORMATION AVAILABLE.

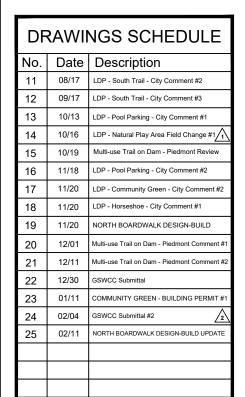
THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER. AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC. UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL "B" UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON- METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN- SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN. AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.







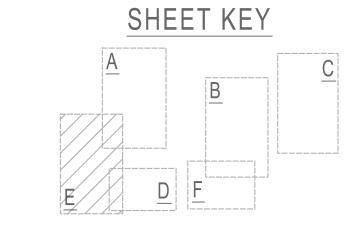
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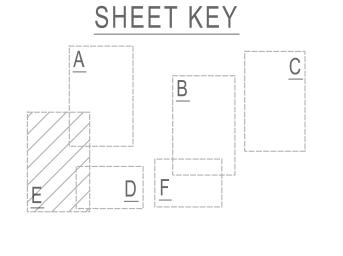
GZ MC SCALE NONE SHEET TITLE

BOARDWALK **COVER SHEET**

PROJECT NUMBER

15092.00 DRAWING NUMBER





TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR BCH CM CHY CYP	BIRCH BEECH CRAPE MYRTLE CHERRY CYPRESS	HLY HW MAG MAP OAK	HOLLY HARDWOOD MAGNOLIA MAPLE OAK
CONIFEROUS (TREE)	FIR GINGKO GUM HIC	FIR GINGKO SWEET GUM HICKORY	ORN PEAR POP SYC	ORNAMENTAL PEAR POPLAR SYCAMORE

ABBREVIATIONS

\	Α	ARC LENGTH
Ŋ	AC.	ACRE
	AE	ACCESS EASEMENT
	BSL	BUILDING SETBACK LINE
	BW	BARBWIRE
	CH	CHORD LENGTH
	CLF	CHAIN LINK FENCE
į.	CMF	CONCRETE MONUMENT FOUND
	CMP	CORRUGATED METAL PIPE
	CONC.	CONCRETE
	CTP	CRIMP TOP PIPE
	DB.	DEED BOOK
\	DIP	DUCTILE IRON PIPE
	FDC	FIRE DEPARTMENT CONNECTION
	FND	FOUND
	HDPE	HIGH DENSITY POLYETHYLENE PIPE
	IPF	IRON PIN FOUND
/		

IRON PIN SET (CAPPED) NOW OR FORMERLY OPEN TOP PIPE PLAT BOOK POINT OF BEGINNING
POINT OF COMMENCEMENT
RADIUS LENGTH
RIGHT OF WAY R/W MON RIGHT OF WAY MONUMENT REBAR REINFORCED CONCRETE PIPE STORM DRAINAGE EASEMENT

SQUARE FEET
SANITARY SEWER EASEMENT
WOOD PRIVACY FENCE

LEGEND

WATER SPIGOT CATCH BASIN (DWCB) CATCH BASIN (SWCB) DROP INLET (DI) JUNCTION BOX (JB) HEAD WALL (HW) CURB INLET (CI) FLARED END SECTION (FES) **OUTLET CONTROL STRUCTURE** YARD DRAIN INLET SS MANHOLE (MH) CLEAN OUT (CO) IRRIGATION CONTROL VALVE FIRE HYDRANT (FH) WATER VALVE (WV) WATER METER (WM) FIRE DEPT. CONNECTION (FDC) WATER VALVE MARKER TRANSFORMER BOX (TX) AIR CONDITIONER (AC) ELECTRIC METER (EM) ELECTRIC UTILITY LIGHT POLE (LP) POWER POLE WITH LIGHT POWER POLE (PP) UTILITY MANHOLE (UM) SPOTLIGHT GAS METER (GM) GAS VALVE (GV) TELEPHONE PEDESTAL COMMUNICATION BOX

MAIL BOX

RIP-RAP AREA

BRICK AREA

X 1000.00

TREELINE

BOLLARD (BO) DATE DRAWN CHECKED 02/04/21 GZ MC SPOT ELEVATION SCALE CONCRETE AREA SHEET TITLE OVERHANG AREA

BR

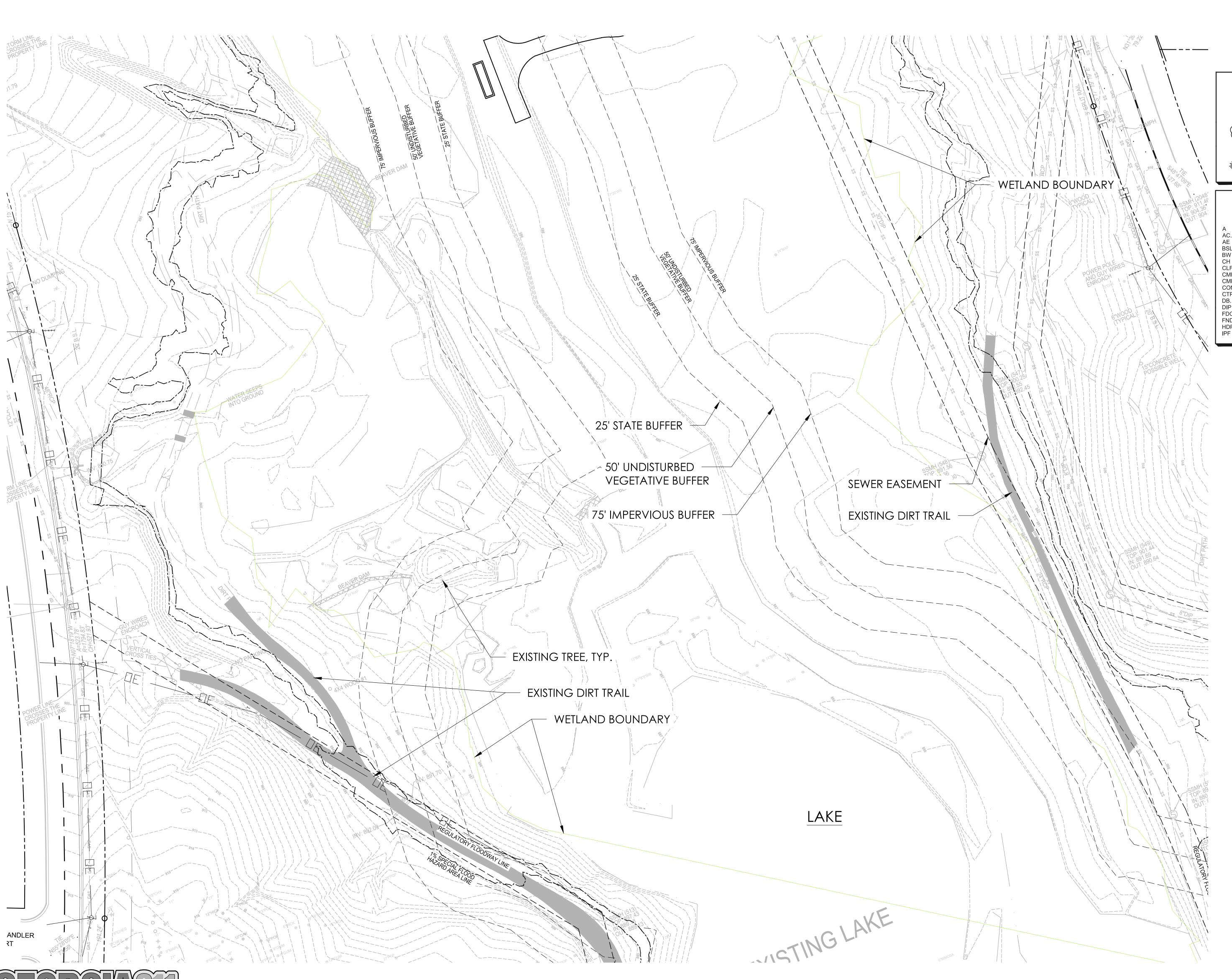
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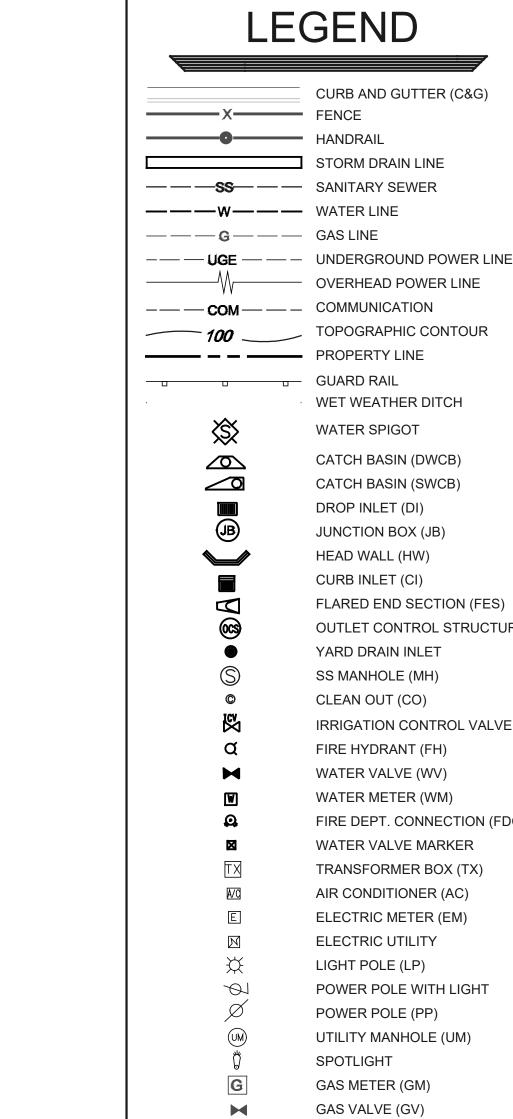
DRAWING NUMBER

EXISTING CONDITIONS

NORTH BOARDWALK

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION





2016 SURVEY & 2019 UPDATED TREE SURVEY TERRAMARK LAND SURVEYING, INC.
1396 BELLS FERRY ROAD
MARIETTA, GEORGIA 30066
PHONE NO. (770) 421–1927
FAX. NO. (770) 421–0552
NOTE:
THE VI **Utilities Protection Center, Inc.** NOTE: THE WRESTED VEGETATION AND 893 CONTOUR WERE SURVEYED IN BY TERRAMARK ON FEB. 4, 2021 1-800-282-7411 Know what's **below**.

Call before you dig. WWW.TERRAMARK.COM C. O. A.# LSF000810

1. USE HAND CLEARING ONLY IN THE FORESTED WETLAND AREAS. 2. THE BOARDWALK MUST BE ADJUSTED IN THE FIELD TO AVOID SPECIMEN TREES AND VEGETATION. 3. CONTRACTORS MUST STAKE THE LOCATION IN THE FIELD AND HAVE IT ADJUSTED BY 4. QUANTITIES FOR THE PRICE PROPOSAL WILL BE TAKEN FROM THE CONTRACTORS FINAL DRAWINGS NOT FROM THESE DESIGN DEVELOPMENT PLANS. ADD 2" UV RESISTANT PVC ELECTRICAL CONDUIT UNDER THE EDGE OF THE BOARDWALK FROM EACH END WITH A CAP NARROW BOARDWALK 5' X 40', 200 SF LOAD LIMIT SIGN, SEE **DETAIL 6&7, C8.7B** DECK 24' X 24', 576 SF EAST TRAIL PAD WITH BENCH RAIL, 91 LF 110 SF BOARDWALK 527' LONG X 10' WIDE RAIL, TYP. MIN. 80 LF 3' X 8' DECK (TWO), 24' SF EA, ADD A JUNCTION BOX 48 SF TOTAL AND A 2" PVC CONDUIT OUT TO THE DECK WITH A CAP ON THE END POTENTIAL RAIL, 750 LF RAIL, TYP. MIN. 52 LF RAIL, TYP. MIN. 112 LF 6' X 16' DECK, 96 SF 3' X 16' OBSERVATION DECK (TWO), 48 SF EA, 96 SF TOTAL 25' STATE BUFFER WETLAND BOUNDARY LAKE WETLAND BOUNDARY 25' STATE BUFFER **EXISTING DIRT PATH** WEST TRAIL PAD 110 SF LOAD LIMIT SIGN, SEE DETAIL 6&7, C8.7B 900 1. RAIL FOR ANY LOCATION WITH MORE THAN 30" DROP; BUMPER RAIL FOR AREAS WITH LESS THAN 30" DROP. BOARDWALK LOCATION HAS BEEN PRELIMINARY STATED IN THE FIELD. SURVEYOR TO ESTABLISH BENCH MARK AND ACCURATE FLOOD LEVEL MARKS ON SITE TO USE IN THE STAKEOUT. STAKE THE BOARDWALK LOCATION AND ELEVATIONS IN THE FIELD AND HAVE A WALK THROUGH TO ADJUST THE **ELEVATIONS AND RAIL LOCATIONS.** 2016 SURVEY & 2019 UPDATED TREE SURVEY TERRAMARK LAND SURVEYING, INC.
1396 BELLS FERRY ROAD
MARIETTA, GEORGIA 30066
PHONE NO. (770) 421-1927
FAX. NO. (770) 421-0552
NOTE:
THE V
AND

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION

Utilities Protection Center, Inc.

1-800-282-7411

Know what's below.

Call before you dig.

NOTE: THE WRESTED VEGETATION AND 893 CONTOUR WERE SURVEYED IN BY TERRAMARK ON FEB. 4, 2021

WWW.TERRAMARK.COM

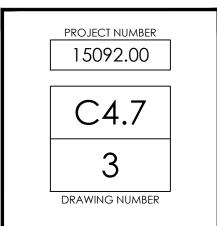
C. O. A.# LSF000810

SHEET KEY

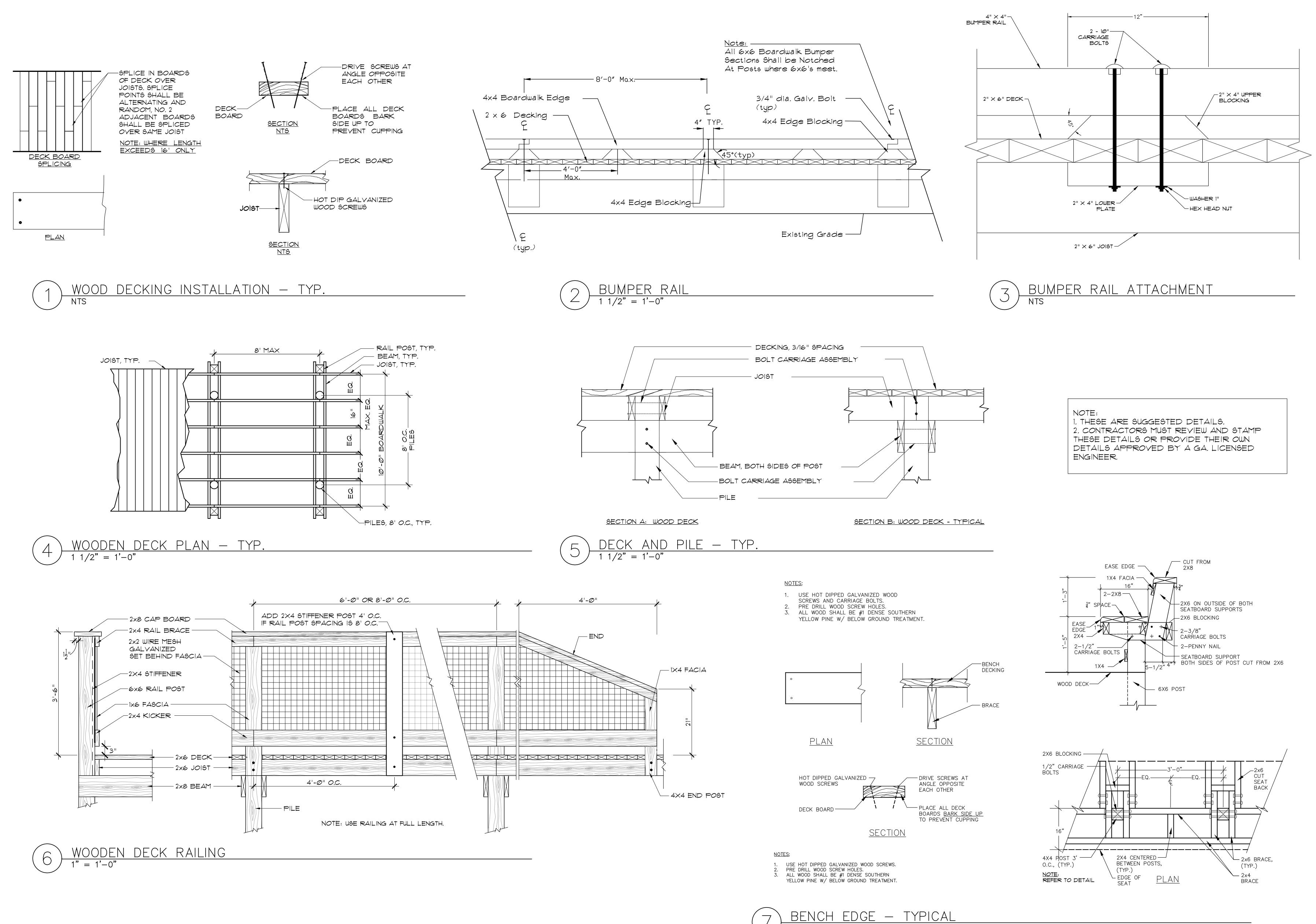


DRAWINGS SCHEDULE			
No.	Date	Description	
11	08/17	LDP - South Trail - City Comment #2	
12	09/17	LDP - South Trail - City Comment #3	
13	10/13	LDP - Pool Parking - City Comment #1	
14	10/16	LDP - Natural Play Area Field Change #1	
15	10/19	Multi-use Trail on Dam - Piedmont Review	
16	11/18	LDP - Pool Parking - City Comment #2	
17	11/20	LDP - Community Green - City Comment #2	
18	11/20	LDP - Horseshoe - City Comment #1	
19	11/20	NORTH BOARDWALK DESIGN-BUILD	
20	12/01	Multi-use Trail on Dam - Piedmont Comment #1	
21	12/11	Multi-use Trail on Dam - Piedmont Comment #2	
22	12/30	GSWCC Submittal	
23	01/11	COMMUNITY GREEN - BUILDING PERMIT #1	
24	02/04	GSWCC Submittal #2	
25	02/11	NORTH BOARDWALK DESIGN-BUILD UPDATE	
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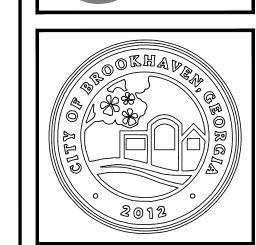
DATE DRAWN CHECKED 02/04/21 GZ MC SCALE LAYOUT AND GRADING -NORTH



BOARDWALK



ARCHITECTUF ENGINEERING PLANNING CPL team.com
3011 SUTTON GATE DRIVE SUITE 130 SUWANEE GEORGIA 30024 1800 274-90



OF BROOKHAVEN
HEY CANDLER PARK
W. NANCY CREEK DRIVE NE
ROOKHAVEN, GEORGIA 30319

DATE DRAWN CHECKED O2/04/21 GZ MC

SCALE

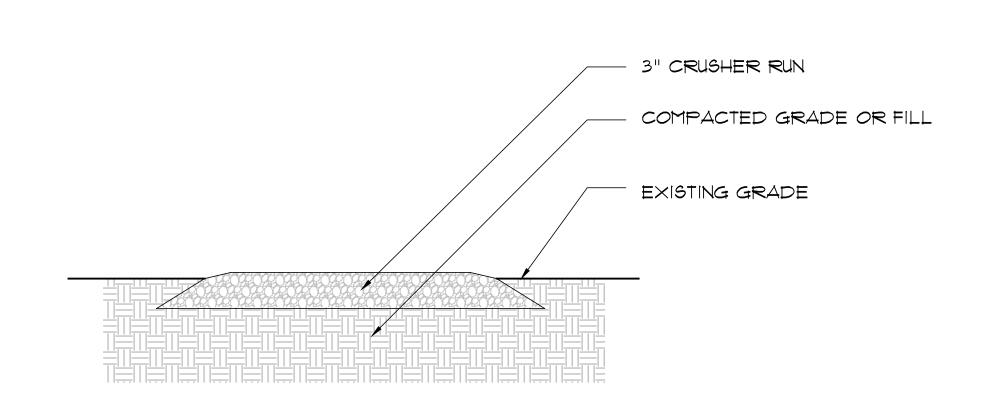
SHEET TITLE

SITE DETAILS

15092.00

C8.7A

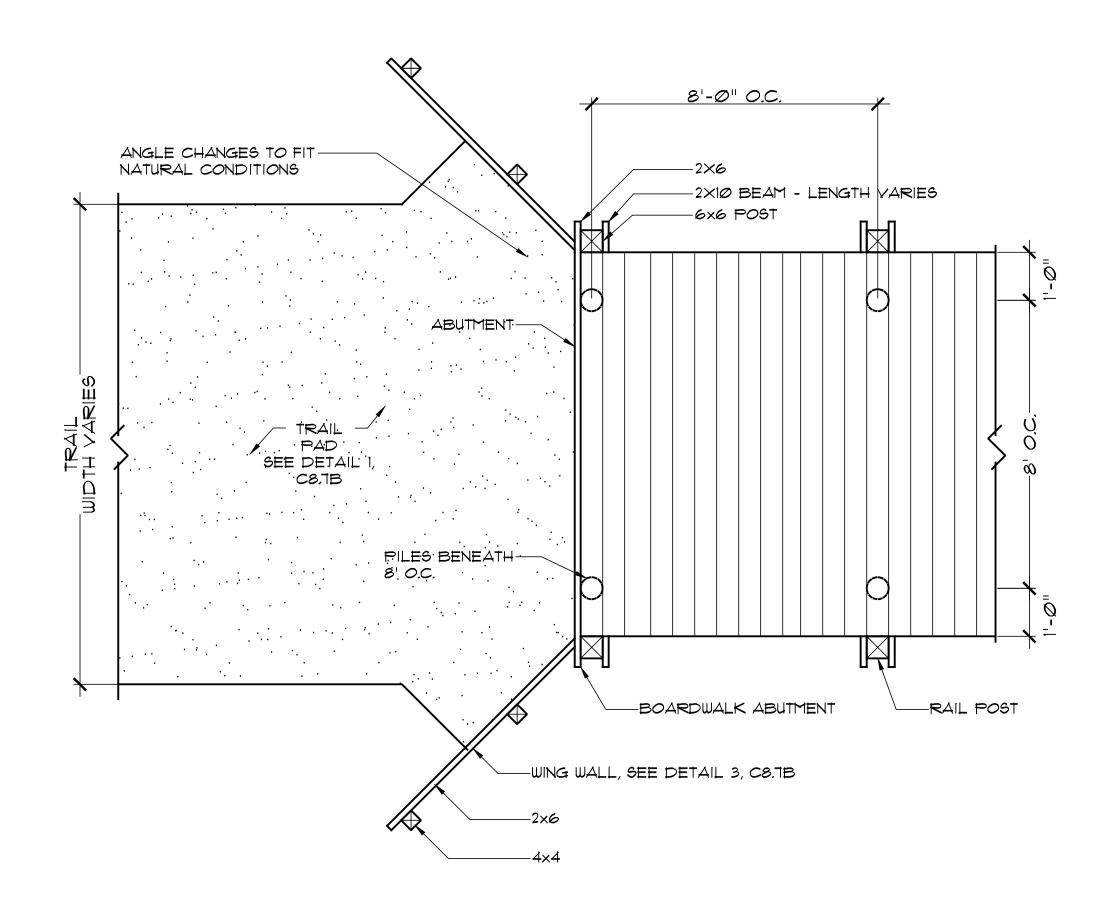
NORTH BOARDWALK



SECTION

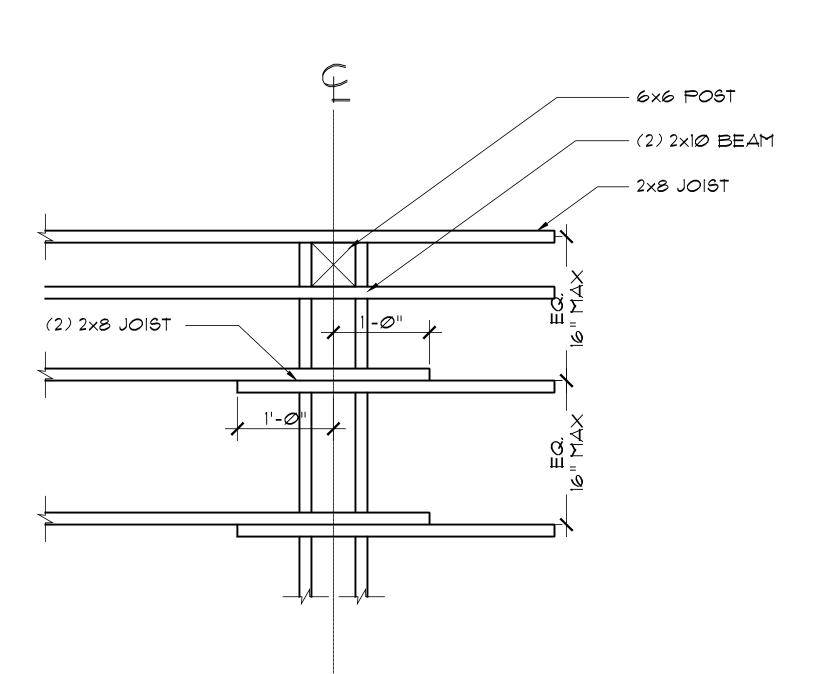
1 TRAIL PAD

NTS



PLAN VIEW

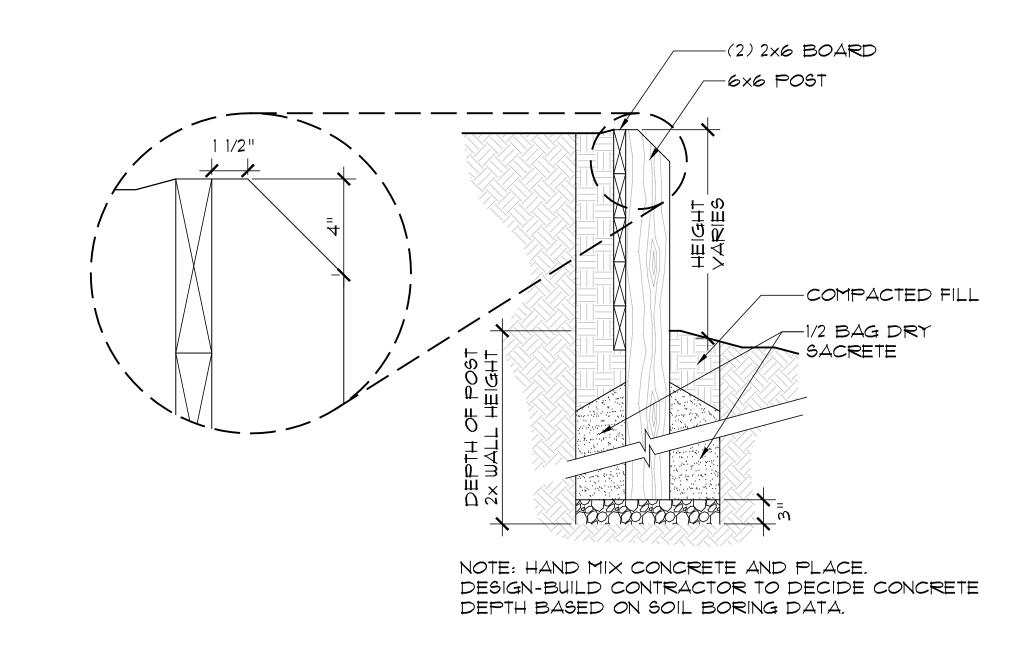
TYPICAL ABUTMENT/BOARDWALK/TRAIL PAD scale: 1/2"=1'-0"



PLAN VIEW

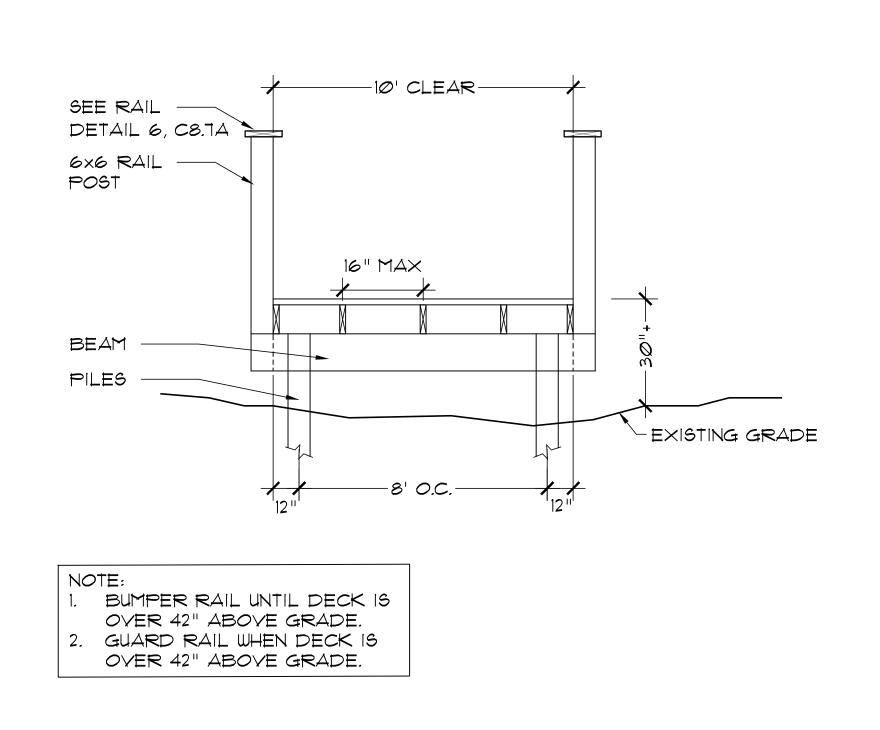
DOUBLE JOIST OVER BEAM

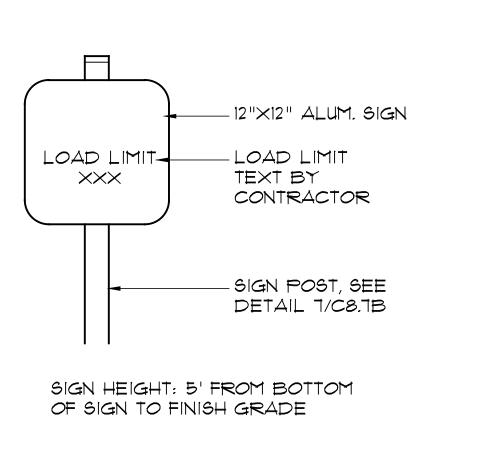
scale: 1"=1'-0"



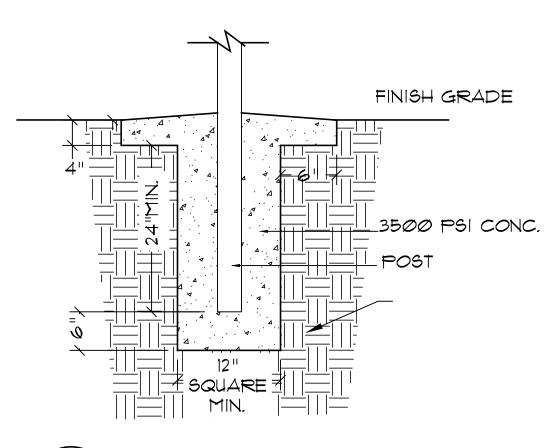
SECTION ABUTMENT AND WING WALL DETAIL (TYP.)

1"=1'-0"





6 BOARDWALK LOAD LIMIT SIGN NTS



7 POST FOOTING

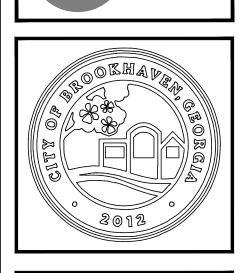
NOTE:

1. THESE ARE SUGGESTED DETAILS.

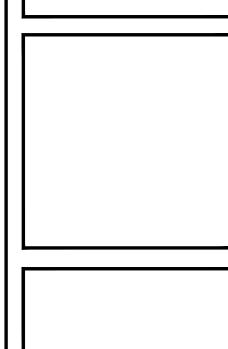
2. CONTRACTORS MUST REVIEW AND STAMP THESE DETAILS OR PROVIDE THEIR OWN DETAILS APPROVED BY A GA. LICENSED ENGINEER.

DESIGN DEVELOPMENT PLANS, NOT FOR CONSTRUCTION





יוט	DRAWINGS SCHEDULE			
No.	Date	Description		
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13	10/13	LDP - Pool Parking - City Comment #1		
14	10/16	LDP - Natural Play Area Field Change #1		
15	10/19	Multi-use Trail on Dam - Piedmont Review		
16	11/18	LDP - Pool Parking - City Comment #2		
17	11/20	LDP - Community Green - City Comment #2		
18	11/20	LDP - Horseshoe - City Comment #1		
19	11/20	NORTH BOARDWALK DESIGN-BUILD		
20	12/01	Multi-use Trail on Dam - Piedmont Comment #1		
21	12/11	Multi-use Trail on Dam - Piedmont Comment #2		
22	12/30	GSWCC Submittal		
23	01/11	COMMUNITY GREEN - BUILDING PERMIT #1		
24	02/04	GSWCC Submittal #2		
25	02/11	NORTH BOARDWALK DESIGN-BUILD UPDATE		



CITY OF BROOKHAVEN

MURPHEY CANDLER PARK

1551 W. NANCY CREEK DRIVE NE

BROOKHAVEN GFORGIA 30319

DATE DRAWN CHECKED
02/04/21 GZ MC

SCALE

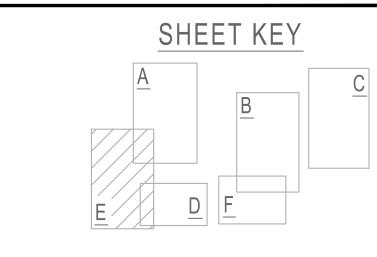
SHEET TITLE

SITE DETAILS
NORTH BOARDWALK

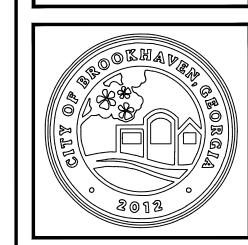
PROJECT NUMBER
15092.00

C8.7B

DRAWING NUMBER

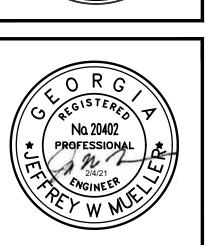






No.	Date	Description
11	08/17	LDP - South Trail - City Comment #2
12	09/17	LDP - South Trail - City Comment #3
13	10/13	LDP - Pool Parking - City Comment #1
14	10/16	LDP - Natural Play Area Field Change #1
15	10/19	Multi-use Trail on Dam - Piedmont Review
16	11/18	LDP - Pool Parking - City Comment #2
17	11/20	LDP - Community Green - City Comment #2
18	11/20	LDP - Horseshoe - City Comment #1
19	11/20	NORTH BOARDWALK DESIGN-BUILD
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25	02/11	NORTH BOARDWALK DESIGN-BUILD UPDATE





PATHWAY SHALL BE ACCOMPANIED BY A FLAG-MAN FOR THE SAFETY OF THE TRAIL USERS.

SCALE: 1"=20'

 CONTRACTOR MAY NOT PARK, BLOCK OR STORE MATERIALS ON THE EXISTING TRAIL

NOTES:

- CLEANUP AFTER CONSTRUCTION: CONSTRUCTION ENTRANCES AND EXTENDED TRAILS SHALL HAVE ALL AGGREGATE, GRAVEL AND STONE REMOVED AND SURFACE SMOOTHED BY ADDING TOPSOIL IF NECESSARY.
- SMOOTHED SURFACES SHALL BE RETURNED TO NATURAL MULCH OR GRASS AS ORIGINAL.
- IMPROVED TRAILS SHALL BE REPAIRED BACK TO THEIR ORIGINAL CONDITIONS AS EXISTED BEFORE CONSTRUCTION.
- EXISTING TRAILS MUST REMAIN OPEN AND USABLE BY THE CITIZENS.
- ANY VEHICLE MOVING ALONG THE ACCESS
- ROUTES.

8 888 600 600 1000 1000 1000 1000 1000 1	GIG"0E	11 1027) 11 1027) 11 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
905 905 POWER POLE AND GUY WIRES POWER POLE ENROACH ENROACH O 915		ACCESS ON STORM LINE PROPERTY LINE FOR ACCESS BY PLACING GRAVEL 20 B.S.I.
CANDLER LAKE CIRCLE EAST (APPARENT 60' R/W) (APPARENT 60' R/W)	PARKING AND STAGING No. 121/1845 MPH 103/201/11/1845	PARKING AND STAGING CONSTRUCTION ENTRANCE /ACCESS EXISTING PARKING



2016 SURVEY & 2019 UPDATED TREE SURVEY TERRAMARK LAND SURVEYING, INC.
1396 BELLS FERRY ROAD
MARIETTA, GEORGIA 30066
PHONE NO. (770) 421–1927
FAX. NO. (770) 421–0552
NOTE:
THE VI NOTE: THE WRESTED VEGETATION AND 893 CONTOUR WERE SURVEYED IN BY TERRAMARK ON FEB. 4, 2021 WWW.TERRAMARK.COM C. O. A.# LSF000810

CONSTRUCTION ACCESS - EAST SIDE

