A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS

A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

THIS SURVEY HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON AUGUST 1, 2016

WITHIN ONE FOOT IN 643,375 FEET THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 46,047 FEET AND AN ANGULAR ERROR OF 8" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF

THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON. IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON. PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON -EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY

UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF

UTILISURVEY, LLC 154 GRANT ROAD FAYETTEVILLE, GA 30215

ATTENTION: HANS WONNEBERGER

PHONE: 404-312-6912

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER, AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC. UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL "B" UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES.

ANY NON- METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN- SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS

UTILITY PROVIDERS

COMMUNICATION

208 S. AKARD ST.

(210) 821-4105

(770) 784-3972

COMCAST

ANGELO HINES

770) 559-6879

VERIZON / MCI

NIC FLORES

2400 N GLENVILLE

SANDRA ANDREWS

BROOMFIELD, CO 80021

(877) 366-8344 EXT. 3

LEVEL 3 COMMUNICATIONS, INC

025 ELDORADO BOULEVARD

ATLANTA GAS LIGHT COMPANY AGL 10 PEACHTREE STREET NE ATLANTA, GA 30309 (404) 584-4126

ACQUIRED FROM THE UTILITY OWNERS.

823 JEFFERSON STREET ATLANTA, GA 30318 (404) 506-4569

DEKALB COUNTY WATER AND SEWER DEPARTMENT 1580 ROADHAVEN DR. STONE MOUNTAIN, GA. 30083 (770) 612-7222

JEFÉ WOODS (770) 724-1490 JDWOODS@DEKALBCOUNTYGA.GOV

RICHARDSON, TX 75082 (478) 471-1042 DENNIS RAINEY CENTURYLINK 100 CENTURYLINK DRIVE MONROE, LA 71203 (888) 723-8010 ZAYO FIBER SOLUTIONS 400 CENTENNIAL PKWY, SUITE 200 LOUISVILLE, CO 80027 (678) 666-2493

ASHFORD PARK SPLASH PAD FOR

LOCATED IN LAND LOT 272, 18TH DISTRICT DEKALB COUNTY, GEORGIA AP# 3050278

THE CITY OF BROOKHAVEN

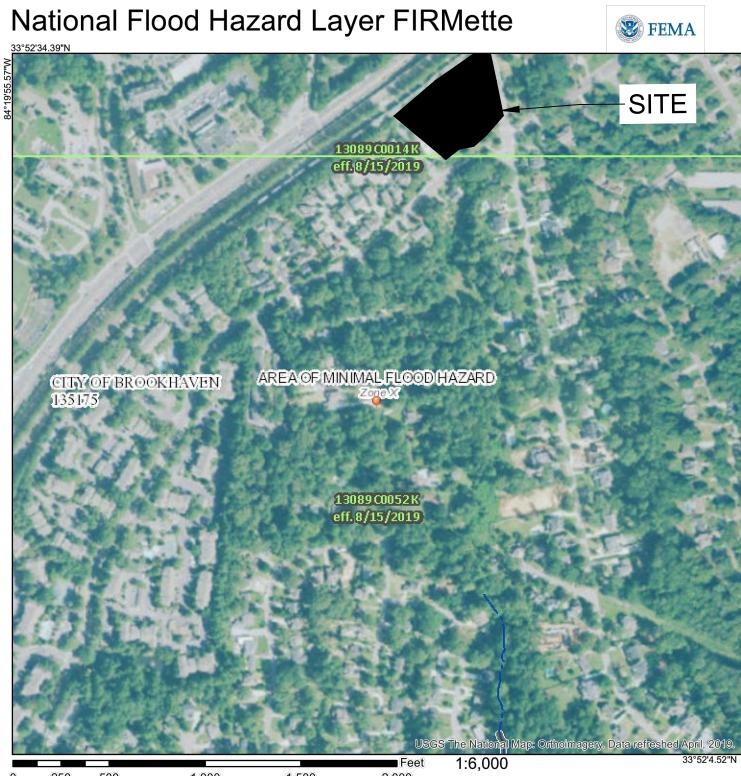
SHEET INDEX SHEET TITLE **COVER SHEET** C1 SU1 SURVEY D1 DEMOLITION PLAN CONSTRUCTION ITEMS SITE PLAN SITE PLAN - SPLASH PAD GRADING AND DRAINAGE UTILITY PLAN SEWER AND WATER DETAILS SITE DETAILS SITE DETAILS - STONE COLUMNS SITE DETAILS - SPLASH PAD SURFACE SITE DETAILS - SPLASH PAD EQUIPMENT SITE DETAILS - SPLASH PAD EQUIPMENT **BOARDWALK DETAILS** INITIAL EROSION CONTROL PLAN INTERMEDIATE EROSION CONTROL PLAN FINAL EROSION CONTROL PLAN ED1-2 | EROSION CONTROL DETAILS TREE PROTECTION AND REPLACEMENT PLAN LANDSCAPE SELECTION AND CORRECTION DETAILS LANDSCAPE PLAN PAVILION PLANS PAVILION ELECTRICAL PAVILION DETAILS ELECTRICAL PLAN AND DETAILS **IMPERVIOUS SURFACE:**

1. TOTAL NEW IMPERVIOUS SURFACE = 4,975 SF 44 **SCOPE OF WORK:** INSTALL NEW TODDLER SPLASH PAD.

> INSTALL SEAT WALLS FOR AMPHITHEATER USE DURING OFF SEASONS. INSTALL NEW COVERED PAVILION.

INSTALL NEW CONCRETE PATHS AND WOOD BOARDWALKS. 5. REPLACE EXISTING PERIMETER FENCING.

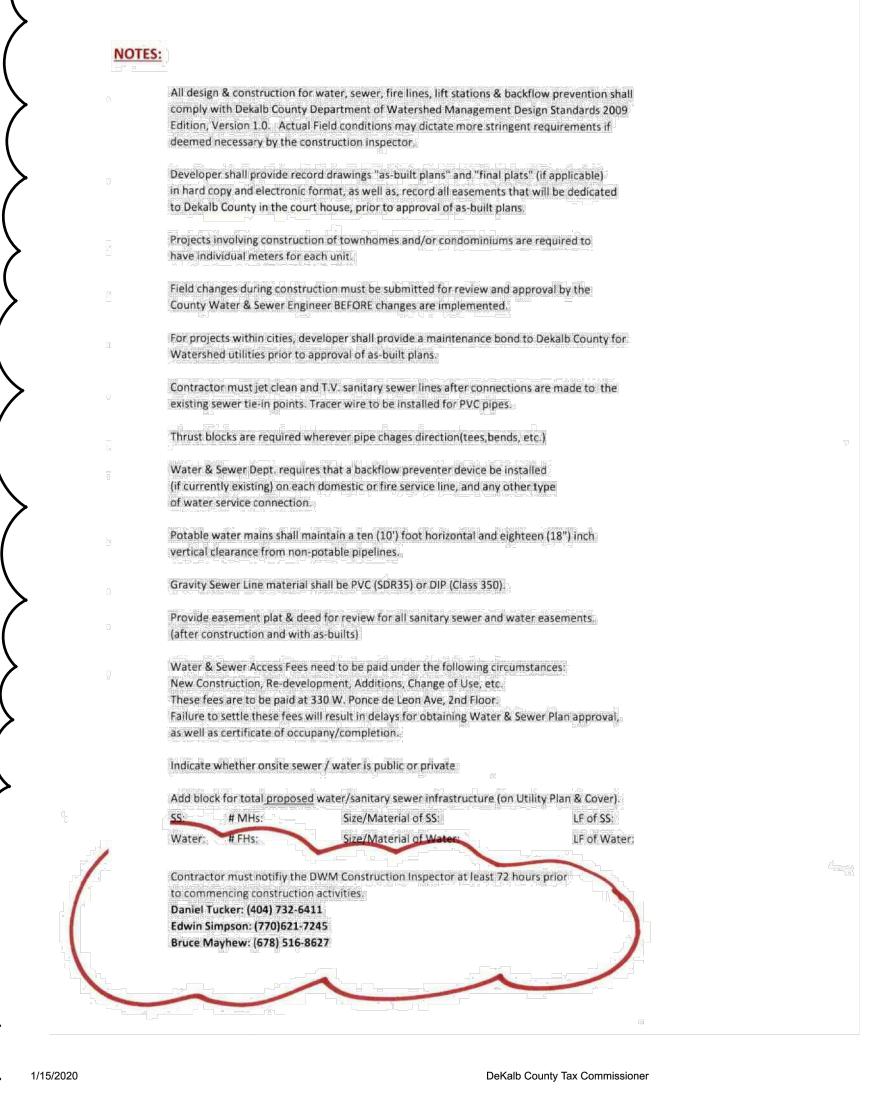
SEE SEWER CAPACITY APPROVAL LETTER ON SHEET U1.



With BFE or Depth Zone AE, AO, AH, VE, AR 0.2% Annual Chance Flood Hazard, Areas depth less than one foot or with drainag areas of less than one square mile Zon Area with Reduced Flood Risk due to Levee. See Notes. Zone X LOOD HAZARD Area with Flood Risk due to Levee Zone I NO SCREEN Area of Minimal Flood Hazard Zone X GENERAL - - - Channel, Culvert, or Storm Sewer B 20.2 Cross Sections with 1% Annual Chance Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary --- -- Coastal Transect Baseline OTHER _ Profile Baseline FEATURES _____ Hydrographic Feature Digital Data Available No Digital Data Available point selected by the user and does not represent an authoritative property location. This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map time. The NFHL and effective information may change or This map image is void if the one or more of the following map lements do not appear: basemap imagery, flood zone labels

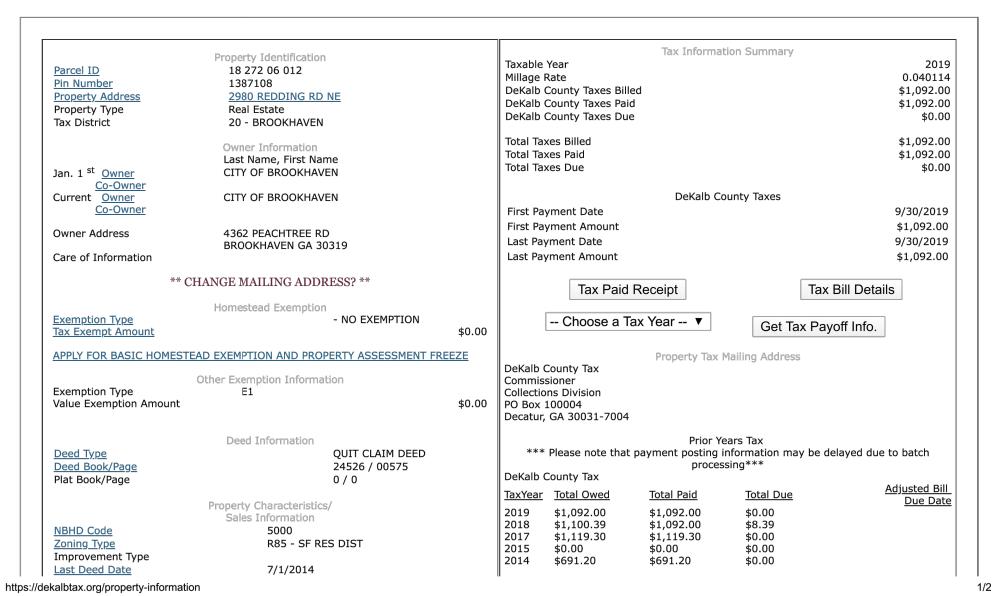
legend, scale bar, map creation date, community identifiers. FIRM panel number, and FIRM effective date. Map images for

unmapped and unmodernized areas cannot be used for



Property Tax Information Results Pay Now

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DeKalb County Tax Commissione Last Deed Amount \$340.00 \$355.20 2011 \$0.00 Click here to view property map Property Value/Billing Assessment Tax Sale Information Taxable Year 2019 Land Value \$48,600 FiFa-GED Book/Page **Building Value** Misc. Improvement Value Call 404-298-3053 for Payoff Amount Total Value Information as of 1/15/2020 For additional information on the data above, contact the Property Appraisal Department at 404-371-2471

Add AP# 3050278 Parcel I.D. # 18 272 06 012 Ownership - Unverified Scope of work - Installation of new splash pad



LOCATION MAP

LAT - 33°52'30.49"N

PROPERTY DESCRIPTION

Being a tract or parcel of land lying and being in Land Lot 272, 18th District, DeKalb County, Georgia and being more particularly described as follows:

To find the Point of Beginning, commence at a scribe set in the sidewalk at the intersection of the extension of right of lines of the West Right of Way Line of Redding Road (having an apparent 60 feet wide right of way) and the North Right of Way Line of Caldwell Road (having an apparent 50 feet wide right of way), said right of way lines being shown on a plat of subdivision entitled "Ashford Park" and recorded among the Land Records of DeKalb County, Georgia in Plat Book 13, Page 84: thence, leaving the said point and running, South 73° 57' 31" West, 36.41 feet to a ½ inch capped rebar set at the True Point of Beginning of the herein described tract or parcel of land; thence leaving the said Point of Beginning and running with the said line of Caldwell Road

127.21 feet along the arc of a curve deflecting to the left, having a radius of 305.40 feet and a chord bearing and distance of South 62° 01' 31" West, 126.30 feet; thence, 60.11 feet along the arc of a curve deflecting to the left, having a radius of 765.18 feet and a chord bearing and distance of South 51° 00' 07" West, 60.09 feet to a ½ inch rebar found at the Southeastern most corner of Lot 13 as shown on a plat of subdivision entitled "Ashford on the Park" and recorded among the aforesaid Land Records in Plat Book 150, Page 66; thence, running with the Southwestern line of the said subdivision

North 35° 00' 50" West, 322.22 feet to a ½ inch capped rebar set on the Southeastern Right of Way Line of the Southern Railway (having an apparent 200 feet wide right of way); thence, running with the said line of Southern Railway North 54° 46' 34" East, 501.48 feet to a 1/2 inch capped rebar set on the aforesaid line of Redding Road; thence, running with the said line of Redding Road

104.84 feet along the arc of a curve deflecting to the right, having a radius of 450.00 feet and a chord bearing and distance of South 17° 20' 20" East, 104.60 feet; thence, South 10° 39' 52" East, 280.35 feet to a ½ inch capped rebar set; thence, 59.08 feet along the arc of a curve deflecting to the right, having a radius of 40.00 feet and a chord bearing and distance of South 31° 38' 50" West, 53.85 feet to the Point of Beginning, containing 148,363 square feet or 3.4060 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unrecorded.

REFERENCE MATERIAL

RECORDED IN PB. 13 PG. 84

AMONG THE LAND RECORDS OF DEKALB COUNTY 2. PLAT FOR ASHFORD ON THE PARK SUBDIVISION

RECORDED IN PB. 150 PG. 66

3. DEKALB COUNTY SEWER EASEMENT RECORDED IN DB. 16082 PG. 162 AFORESAID RECORDS

4. DRAINAGE EASEMENT RECORDED IN DB. 16082 PG. 164

AFORESAID RECORDS

5. RIGHT OF WAY AND TRACK MAP FOR SOUTHERN RAILWAY COMPANY DATED DECEMBER 31, 1927 AND LAST REVISED FEBRUARY 14, 1992

SITE INFORMATION

TOTAL SITE AREA: 3.4 AC

TOTAL DISTURBED AREA: 0.85 AC

CURRENT OWNER: CITY OF BROOKHAVEN DB. 24526 PG. 566

TAX PARCEL ID # 18 272 06 012

ADDRESS: 2980 REDDING ROAD **ZONING: R-85 (SINGLE FAMILY RESIDENTIAL)**

JURISDICTION: CITY OF BROOKHAVEN

SETBACKS: FRONT 50' FROM MAJOR THOROUGHFARES 40' FROM MINOR THOROUGHFARES 35' FROM COLLECTOR STREETS 35' FROM OTHER STREETS

PARKING COUNT: REGULAR SPACES 22 HANDICAP SPACES TOTAL SPACES

REAR 40'

TITLE NOTES

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY. SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF CALDWELL ROAD.



CERTIFICATION NUMBER _____0000015136 ISSUED: 08/18/2018 EXPIRES: 08/18/2021

Back

Utilities Protection Center, Inc.

1-800-282-7411 Know what's below. Call before you dig.

OWNER/PRIMARY PERMITEE:

CITY OF BROOKAHVEN 4362 PEACHTREE ROAD BROOKHAVEN, GEORGIA 30319 CONTACT: CHRISTAIN SIGMAN, CITY MANAGER

24-HOUR CONTACT CITY OF BROOKHAVEN LEE CROY, PROGRAM MANAGER PHONE: (678) 576-9846

PHONE: (404) 637-0469

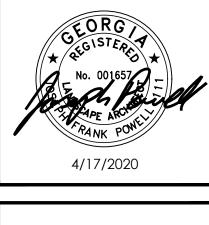
DESIGN PROFESSIONAL:

CLARK PATTERSON LEE 3011 SUTTON GATE DRIVE SUITE 130 SUWANEE, GEORGIA 30024 CONTACT: JEFF MULLER OFFICE: (678) 318-1243 EMAIL: JMULLER@CLARKPATTERSON.COM



DRAWINGS SCHEDULE No. Date Description

12-12-19 County Permit Revision City Permit Revision 3-10-20 | Permit Revision 4 3-27-20 Building Permit Revision





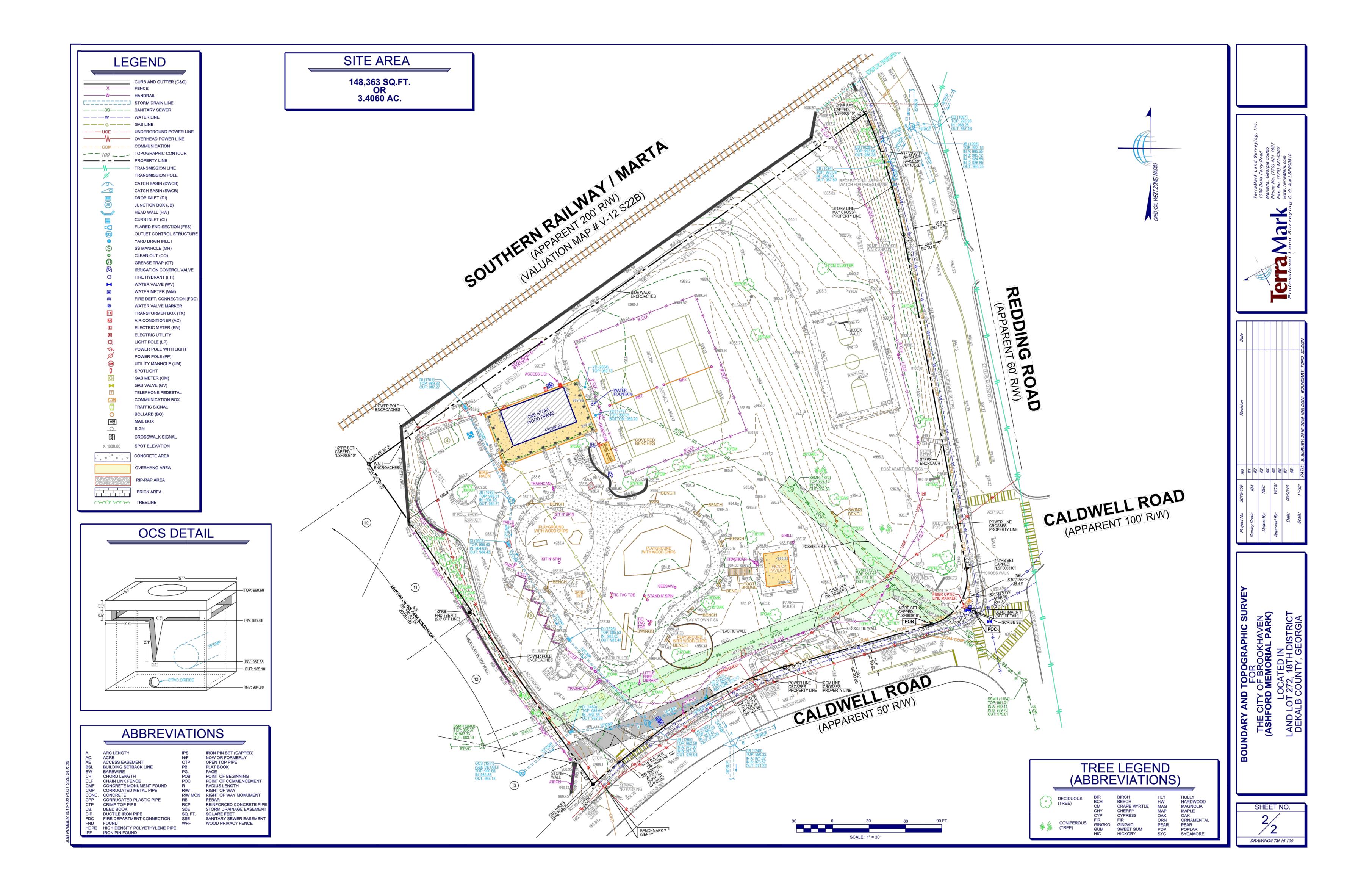
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scale N/A SHEET TITLE COVER

15089.00

DRAWING NUMBER

https://dekalbtax.org/property-information



DEMOLITION NOTES:

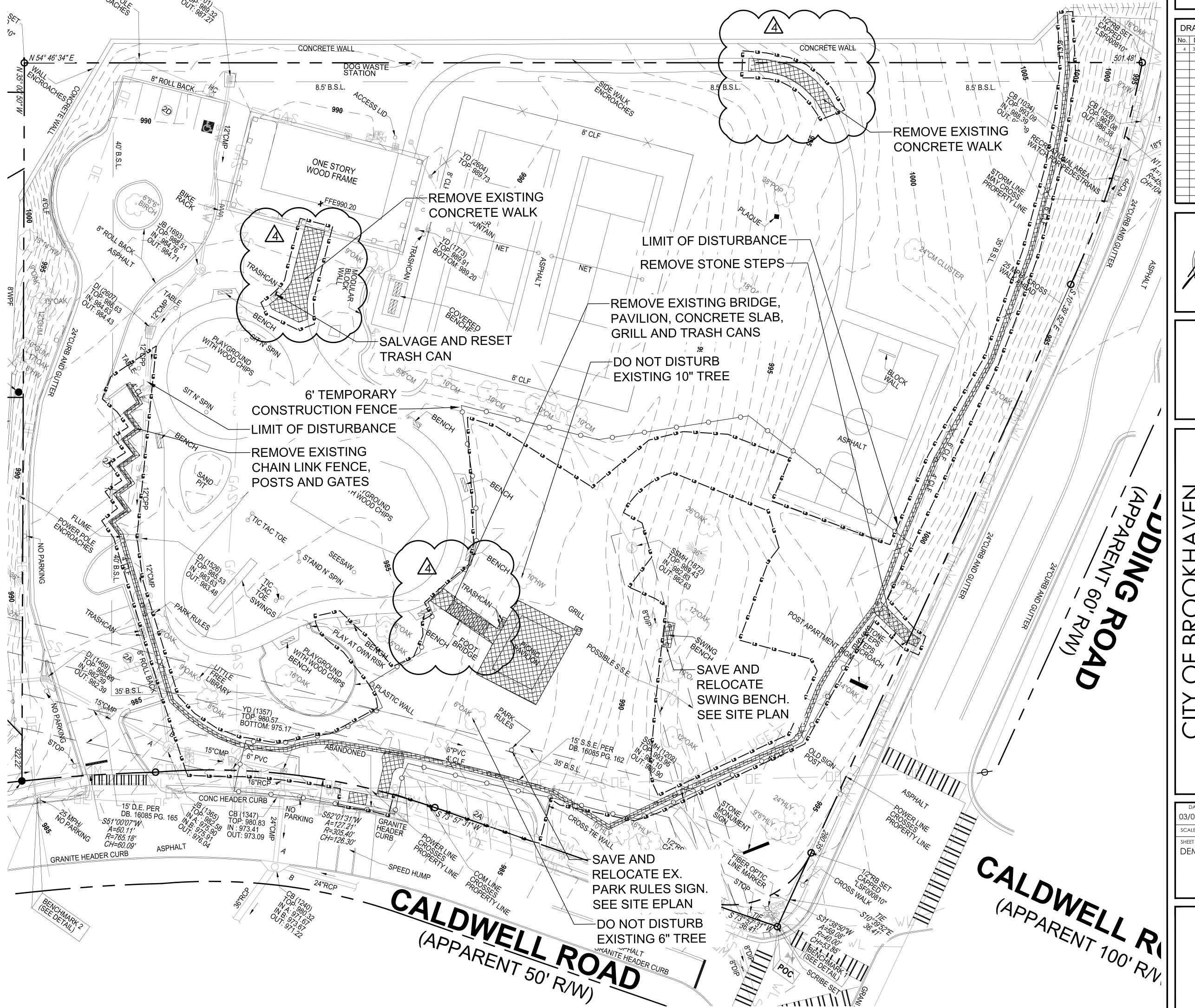
- 1. CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES WITHOUT INTERFERING WITH VEHICLE AND PEDESTRIAN TRAFFIC IN ADJACENT AREAS.
- 2. CONTRACTOR SHALL PROTECT UTILITIES AND BENCHMARKS NOT SCHEDULED FOR DEMOLITION FROM DAMAGE. AT NO ADDITIONAL COST TO OWNER, THE CONTRACTOR SHALL REPLACE OR REPAIR ITEMS DAMAGED BEYOND THE LIMITS OF THE DEMOLITION SHOWN.
- B. DISCONNECT AND SEAL OFF ABANDONED UTILITIES TO BE REMOVED PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES. UTILITIES SHALL BE DISCONNECTED BELOW EXISTING GRADE LEVEL, OR OUTSIDE OF CONTRACT LIMITS BY REPRESENTATIVES OF THE PUBLIC UTILITY BEING DISCONNECTED. MAINTAIN UTILITY SERVICE TO FACILITIES IN USE.
- 4. EXCEPT FOR ITEMS DESIGNATED TO BE REMOVED OR REUSED IN THE WORK, ALL MATERIALS RESULTING FROM THIS WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE PROMPTLY REMOVED FROM THE SITE. STORAGE OR SALE OF REMOVED MATERIALS WILL NOT BE PERMITTED ON PROJECT SITE.
- 5. REMOVE ALL DEBRIS, RUBBISH, AND WASTE MATERIALS FROM THE SITE. DO NOT STOCKPILE DEBRIS ON SITE.
- 6. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- 7. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY THE GOVERNING AGENCY HAVING JURISDICTION.
- 8. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION PER THE EROSION AND CONTROL PLANS.
- 9. ALL TREES TO REMAIN SHALL HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE.
- 10. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET AND TREE PROTECTION AREA.
- 11. SAWCUT PAVEMENTS, CURBS, AND/OR WALLS WHOLE TO PROVIDE SMOOTH TRANSITION BETWEEN IMPROVEMENTS TO REMAIN & NEW IMPROVEMENTS.

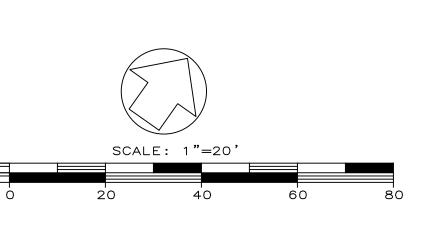
GENERAL SITE DEBRIS & FINE GRADING NOTE:

THERE ARE VARIOUS SMALL ITEMS ON THE SITE THAT WILL BE AFFECTED BY DEMOLITION AND CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO PROTECT PERMANENT ITEMS AND WORK AROUND OR REMOVE OTHER ITEMS AS NEEDED. THE FINAL SITE TO BE LEFT CLEAN AND FINE-GRADED. THE CONTRACTOR IS TO REMOVE ANY DIPS, GULLIES, PITS OR OTHER IRREGULARITIES WITHIN THE WORK LIMITS OF THE PROJECT.

SITE VISIT:

CONTRACTOR SHALL VISIT THE SITE TO VALIDATE ALL DEMOLITION ITEMS AND VERIFY QUANTITIES.



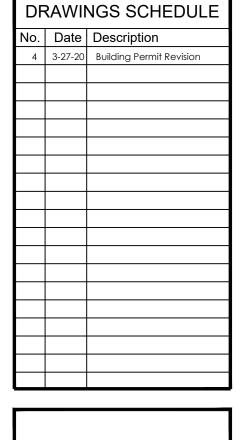


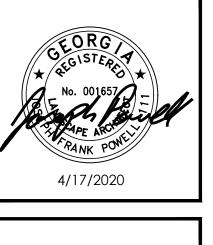
NOTE:
SURVEY CONDUCTED BY TERRAMARK
LAND SURVEYING INC., 1396 BELLS
FERRY ROAD, MARIETTA, GEORGIA 30066,
770-421-1927, DRAWING #TM 16 095.

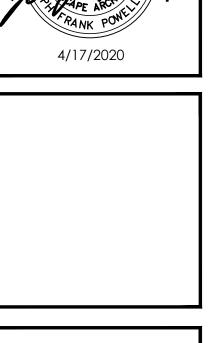










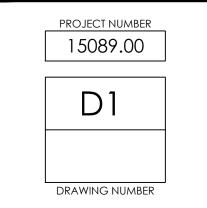


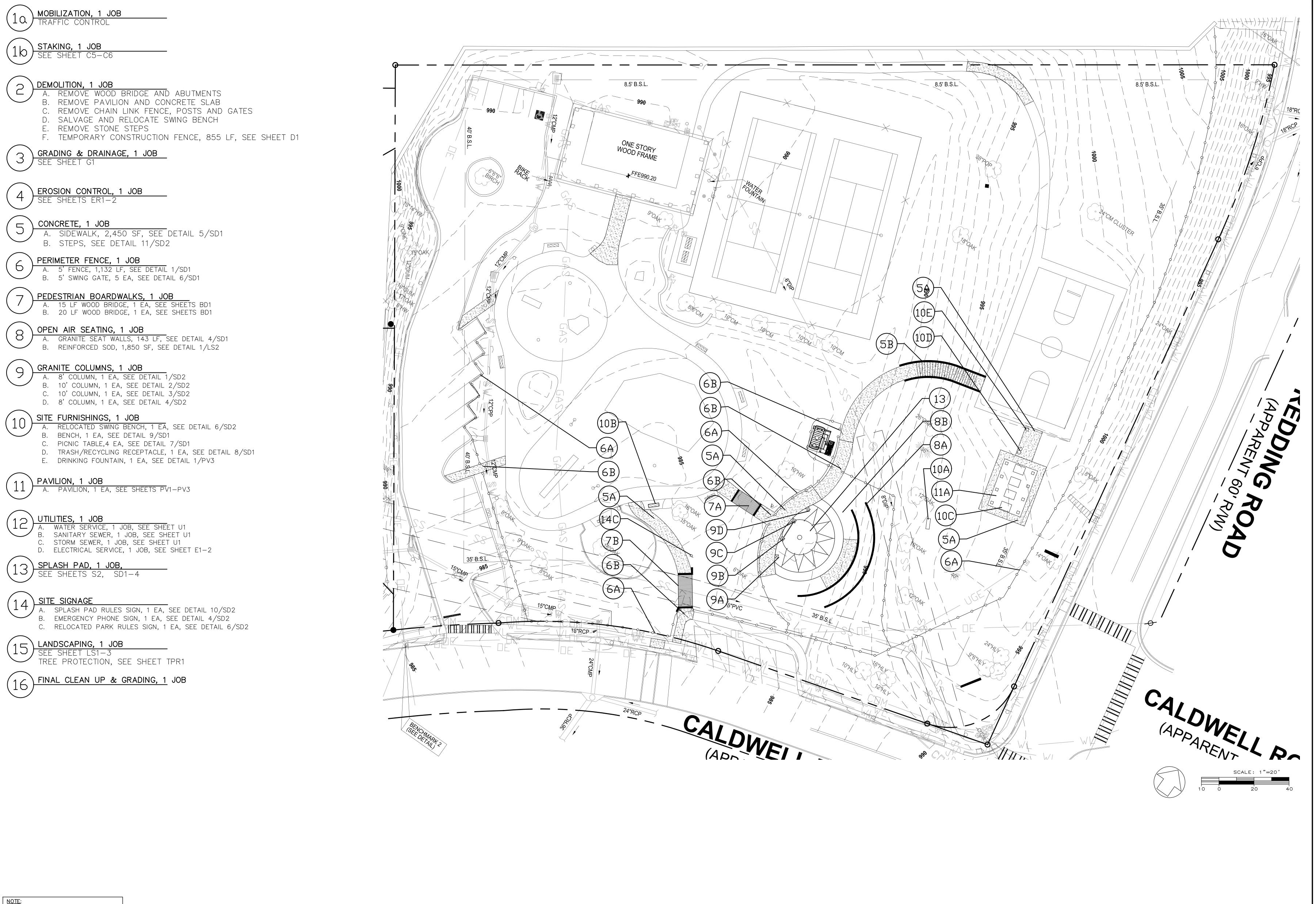


DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE
DEMOLITION PLAN





NOTE:
SURVEY CONDUCTED BY TERRAMARK
LAND SURVEYING INC., 1396 BELLS
FERRY ROAD, MARIETTA, GEORGIA 30066,
770-421-1927, DRAWING #TM 16 095.



DATE DRAWN CHECKE 03/07/19 JP JM

SCALE AS SHOWN SHEET TITLE

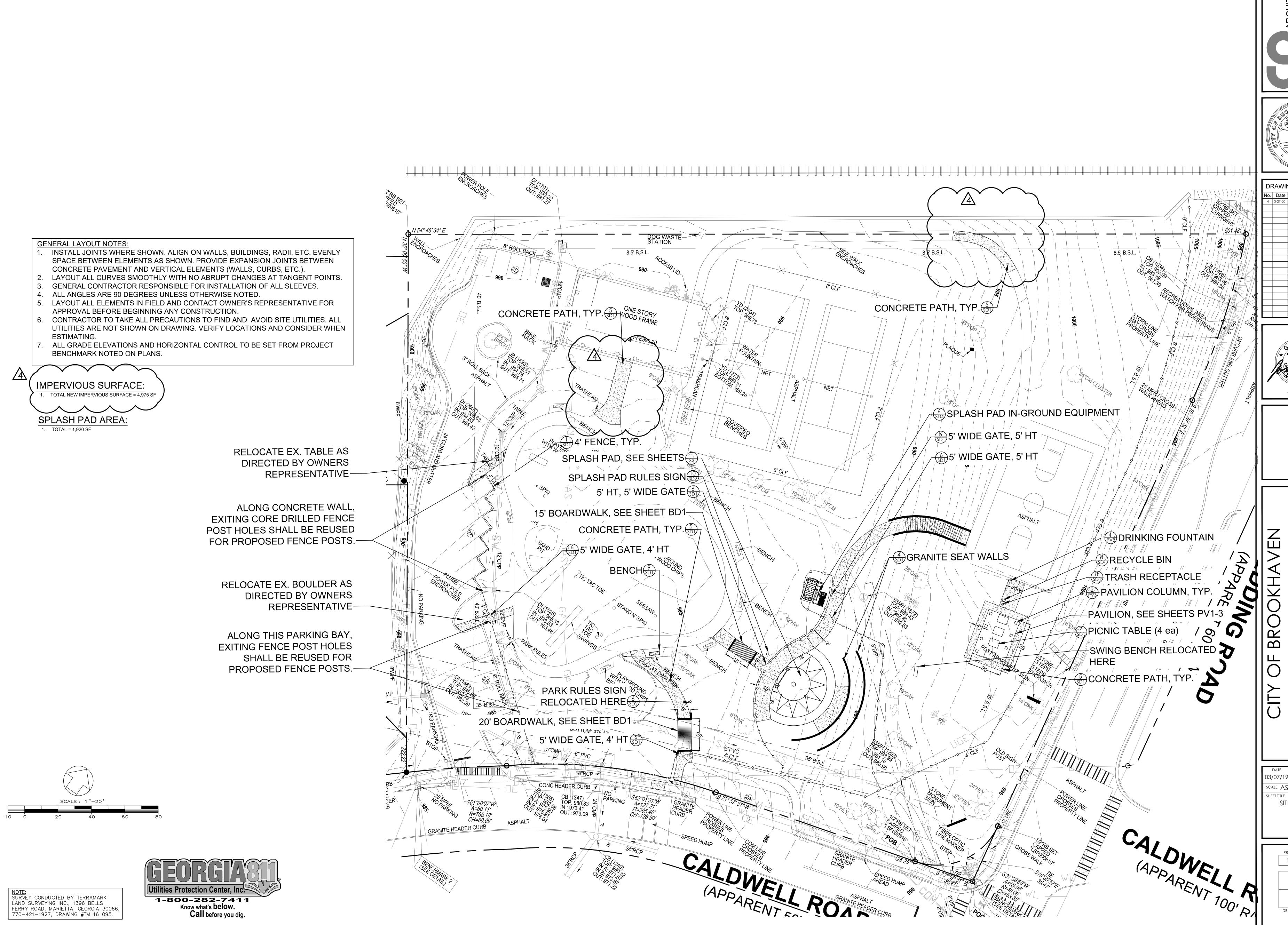
CONSTRUCTION ITEMS

BRO

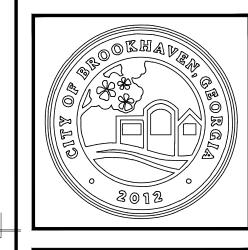
DRAWINGS SCHEDULE

No. Date Description

PROJECT NUMBER
15089.00



ARCHITECTUR ENGINEERING PLANNING CPLteam.com



No. Date Description

4 3-27-20 Building Permit Revision



A/17/2020

TY OF BROOKHAVEN

ORD PARK SPLASH PAL

DATE DRAWN CHECKED
03/07/19 JP JM

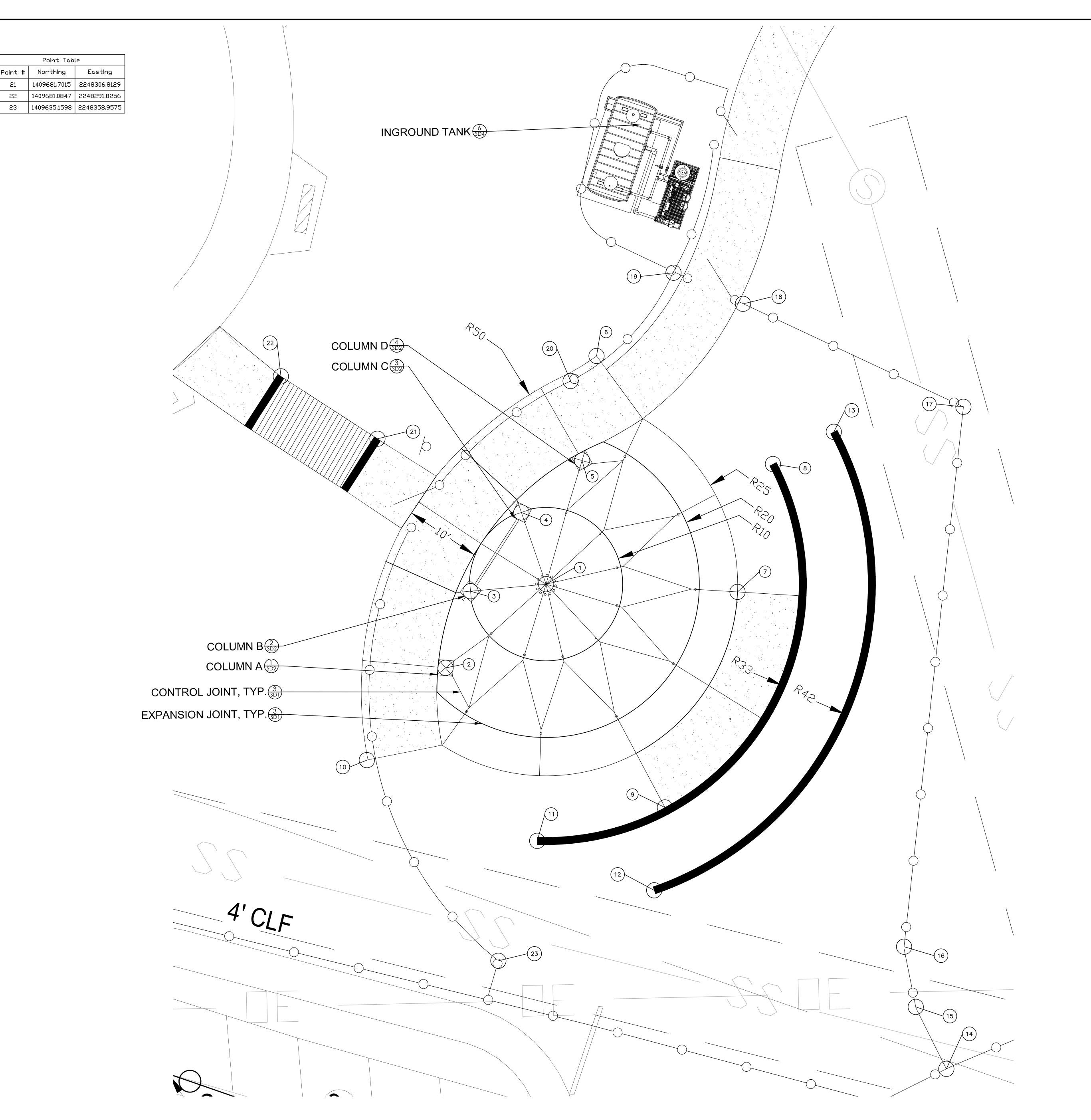
SCALE AS SHOWN

SHEET TITLE
SITE PLAN

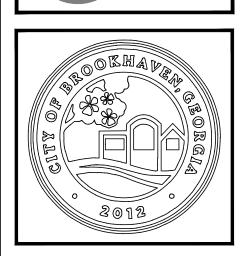
PROJECT NUMBER 15089.00

	Point Tabl	.e
Point #	Northing	Easting
1	1409678,8833	2248335,719
9	1409664.0254	2248365,181
2	1409662.4031	2248331.294
3	1409672.4531	2248328.189
4	1409684.6696	2248327.686
5	1409694.7672	2248330.253
6	1409706.9973	2248323,933
7	1409692.4574	2248356.705
8	1409708.7502	2248350.872
10	1409646.6559	2248329.844
11	1409650.8585	2248354.076
12	1409654.3875	2248370.267
13	1409716.7557	2248354.935
14	1409657.3353	2248414.837
15	1409661.6402	2248406.918
16	1409667.1758	2248401.142
17	1409729.1784	2248366.868
18	1409723.5684	2248335.628
19	1409721.6605	2248325.884
20	1409702.3821	2248323.057

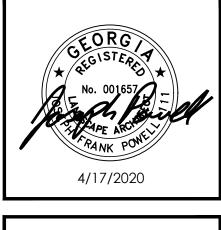
SPLASH PAD AREA: 1. TOTAL = 1,920 SF

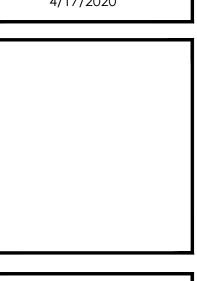






DF	DRAWINGS SCHEDULE		
No.	Date	Description	
 			







DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE SITE PLAN SPLASH PAD

PROJECT NUMBER

SITE / GRADING NOTES:

THE CONTRACTOR SHALL PRESERVE BENCHMARKS AND REFERENCE POINTS. 2. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF BROOKHAVEN REGULATIONS AND CODES AND O.S.H.A.

NOTIFY ALL CITY OF BROOKHAVEN INSPECTORS AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

4. IF THE CONTRACTOR IN THE COURSE OF WORK FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTORS RISK. 5. DUST AND DEBRIS FROM GRADING AND OPERATION OF EQUIPMENT MUST BE MONITORED AND MINIMIZED TO LEVELS ACCEPTABLE TO THE ENGINEER, OWNER AND CITY OF BROOKHAVEN.

6. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF BROOKHAVEN OF ANY LAND DISTURBING ACTIVITIES WHICH MAY RESULT IN THE TAKE OF ENDANGERED SPECIES. IT IS THE RESPONSIBILITY OF THE OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY DISTURBANCE WHICH MAY HAVE THIS EFFECT THE TRAFFIC CONTROL DEVICES MUST COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

AND SURROUNDING AREAS AFFECTED BY HIS WORK TO IT'S ORIGINAL CONDITION TO THE SATISFACTION OF AND AT NO

ADDITIONAL COST TO THE OWNER. 13. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS THAT ARE PERTINENT TO THIS WORK.

14. ALL CONCRETE, ASPHALT, WASTE EMBANKMENT, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

16. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES AS MAY BE NECESSARY

15. HANDICAP ACCESSIBLE RAMPS, AS PER THE AMERICAN NATIONAL STANDARDS INSTITUTE, SHALL BE INSTALLED AT THE

17. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN ENTERING MANHOLES, PIPES OR OTHER STRUCTURES SHOWN ON THE PLANS. AT A MINIMUM, THESE PIPES AND STRUCTURES SHALL BE PROPERLY VENTILATED.

18. ALL PAVEMENT MARKINGS SHALL BE PAINTED. 19. ALL UTILITIES SHALL BE PLACED UNDERGROUND. (UTILITIES SHALL NOT BE LOCATED IN ANY DRAINAGE EASEMENTS

20. ALL CONSTRUCTION CONTRACTORS MUST OBSERVE THE LIMITS OF CONSTRUCTION OR DISTURBANCE AS SHOWN. 21. IF USING HDPE:HDPE PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO MP7, TYPE S&D. CONNECTION SHALL USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-47. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATION CONSTRUCTION OF ROAD AND BRIDGES.

22. IF USING ALUMINUM COATED TYPE 2 STEEL PIPE OR ALUMINUM ALLOY PIPE, ALL ALUMINUM COATED TYPE 2 STEEL PIPE OR ALUMINUM ALLOY PIPE, WHICH WILL CARRY A LIFE STREAM, SHALL HAVE PAVED INVERTS IN ACCORDANCE WITH AASHTO M-190, TYPE C, EXCEPT THAT THE PIPE NEED NOT BE FULLY COATED. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATION CONSTRUCTION OF ROAD AND BRIDGES.

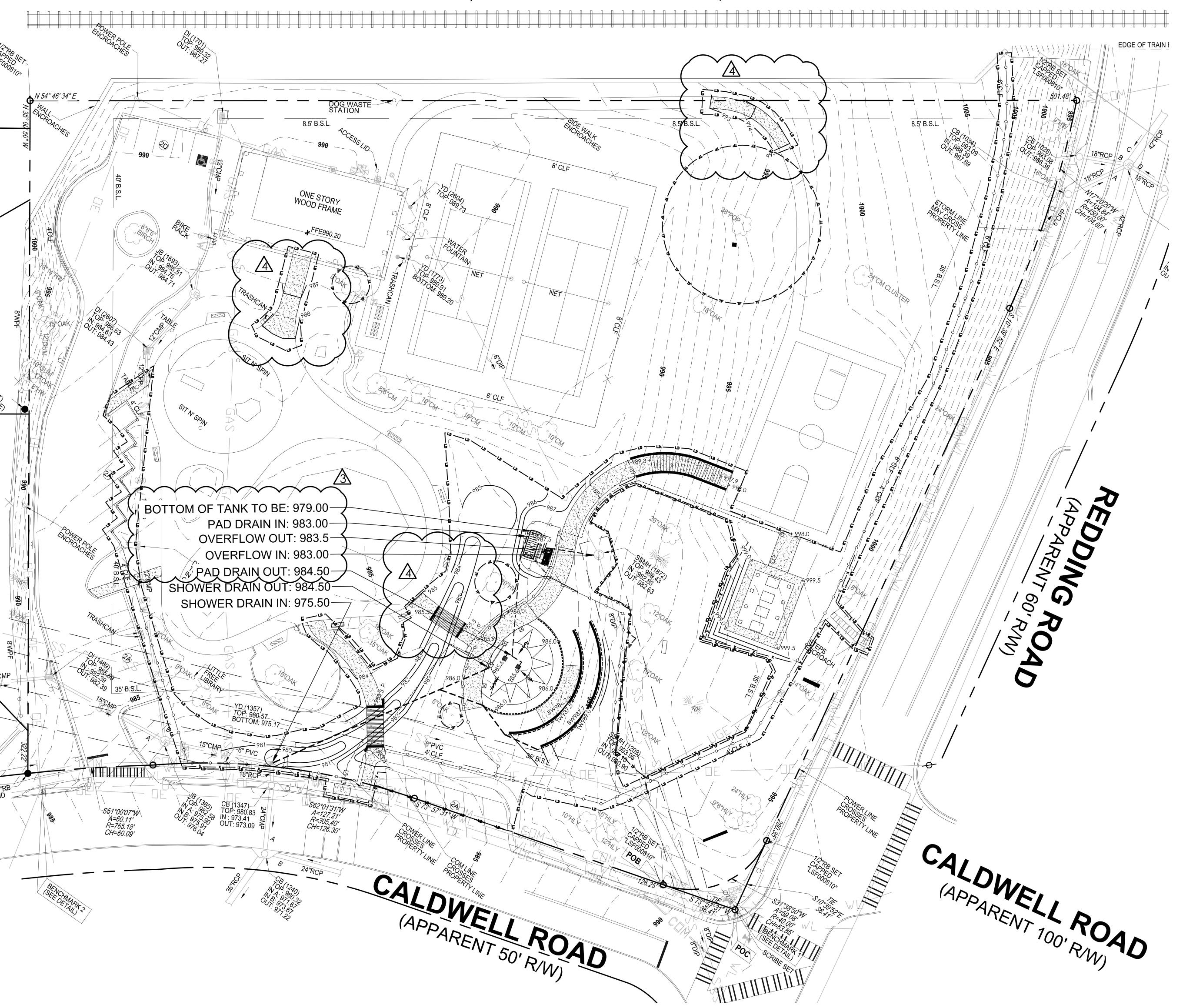
23. IF USING RCP PIPE: ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH RUBBER GASKET CONFORMING TO ASTM C-443. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GA. DOT SPECIFICATION, TABLE NO. 1. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS CONSTRUCTION OF ROAD AND BRIDGES. HEIGHT OR WHICH HAS A BACKFILL SLOPE GREATER THAN 1 FOOT RISE IN 3 FEET HORIZONTAL) AND FOR EACH DETENTION POND WALL (DAM) IN ACCORDANCE WITH CITY OF BROOKHAVEN CONSTRUCTION CODE. A CERTIFICATE OF COMPLETION SHALL BE ISSUED BY CITY OF BROOKHAVEN BUILDING INSPECTIONS SECTION FOR ALL WALLS PERTINENT TO THE PROJECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY USABLE STRUCTURE ON THE SITE OR PRIOR TO APPROVAL OF THE FINAL SUBDIVISION PLAT AS APPLICABLE. 25. ALL SLOPES TO HAVE POSITIVE DRAINAGE.

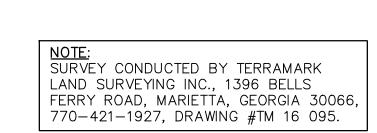


SPLASH PAD AREA: 1. TOTAL = 1,920 SF

SOUTHERN RAILWAY / MARTA

(APPARENT 200' R/W) (VALUATION MAP # V-12 S22B)

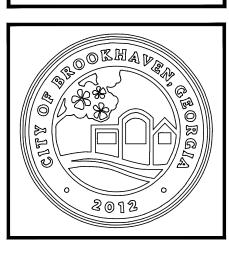


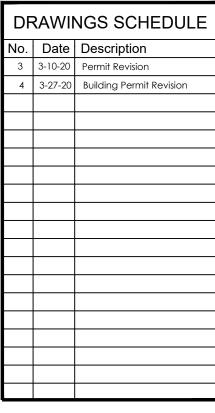


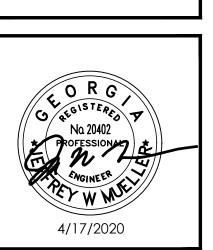
SCALE: 1"=20'

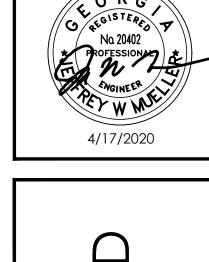




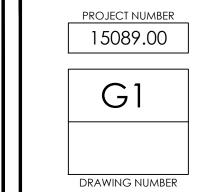








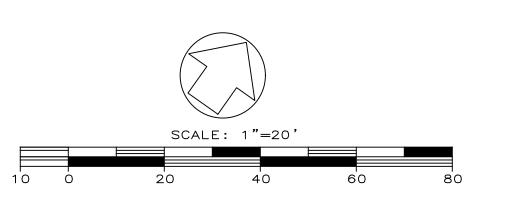
SCALE AS SHOWN SHEET TITLE GRADING AND DRAINAGE PLAN



DEKALB COUNTY DEPT OF WATER MANAGEMENT NOTES: COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS 2009 EDITION, VERSION 1.0. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE 2. DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EASEMENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS-BUILT PLANS. 3. PROJECTS INVOLVING CONSTRUCTION OF TOWNHOMES AND/OR CONDOMINIMUMS ARE REQUIRED TO HAVE INDIVIDUAL 4. FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY WATER AND SEWER ENGINEER BEFORE CHANGES AREA IMPLEMENTED. UTILITIES PRIOR TO APPROVAL OF AS-BUILT PLANS. 6. CONTRACTOR MUST CLEAN AND T.V. SANITARY SEWER LINES AFTER CONNECTIONS AREA MADE TO THE EXISTING SEWER TIE-IN POINTS. TRACER WIRE TO BE INSTALLED FOR PVC PIPES. THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).

- 5. FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTANCE BOND TO DEKALB COUNTY FOR WATERSHED
- WATER & SEWER DEPT. REQUIRES THAT A BACKFLOW PREVENTER DEVICE BE INSTALLED (IF CURRENTLY EXISTING) ON
- EACH DOMESTIC OR FIRE SERVICE LINE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION. 9. POTABLE WATER MAINS SHALL MAINTAIN A TEN FOOT HORIZONTAL AND EIGHTEEN INCH VERTICAL CLEARANCE FROM NON-POTABLE PIPELINES.
- 10. GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350). 11. PROVIDE EASEMENT PLAT AND DEED FOR REVIEW FOR ALL SANITARY SEWER AND WATER EASEMENTS (AFTER
- 12. WATER AND SEWER ACCESS FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES: NEW CONSTRUCTION RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC. THESE FEES ARE TO BE PAID AT 330 W. PONCE DE LEON AVE, 2ND FLOOR. FAILURE TO SETTLE THESE FEES WILL RESULT IN DELAYS FOR OBTAINING WATER AND SEWER PLAN APPROVAL, AS
- WELL AS CERTIFICATE OF OCCUPANCY/COMPLETION. 13. ONSITE WATER IS PRIVATE. EXISTING PUBLIC SEWER MAINS EXIST ONSITE. A PORTION OF THE NEW SEWER EXTENSION IS PUBLIC AND WILL BE LOCATED WITHIN AN EASEMENT. THE SEWER EXTENDING FROM THE LAST PUBLIC MANHOLE IS
- 14. ADD BLOCK FOR TOTAL PROPOSED WATER/SANITARY SEWER INFRASTRUCTURE.
- 15. CONTRACTOR MUST NOTIFY THE DWM CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- EDWIN SIMPSON: 770-621-7245 DANIEL TUCKER: 404-732-6411
- BRUCE MAYHEW: 678-516-8627 16. SAFETY PLATFORM REQUIRED ON MANHOLES DEEPER THAN 16 FEET IN HEIGHT.





NOTE: SURVEY CONDUCTED BY TERRAMARK

LAND SURVEYING INC., 1396 BELLS

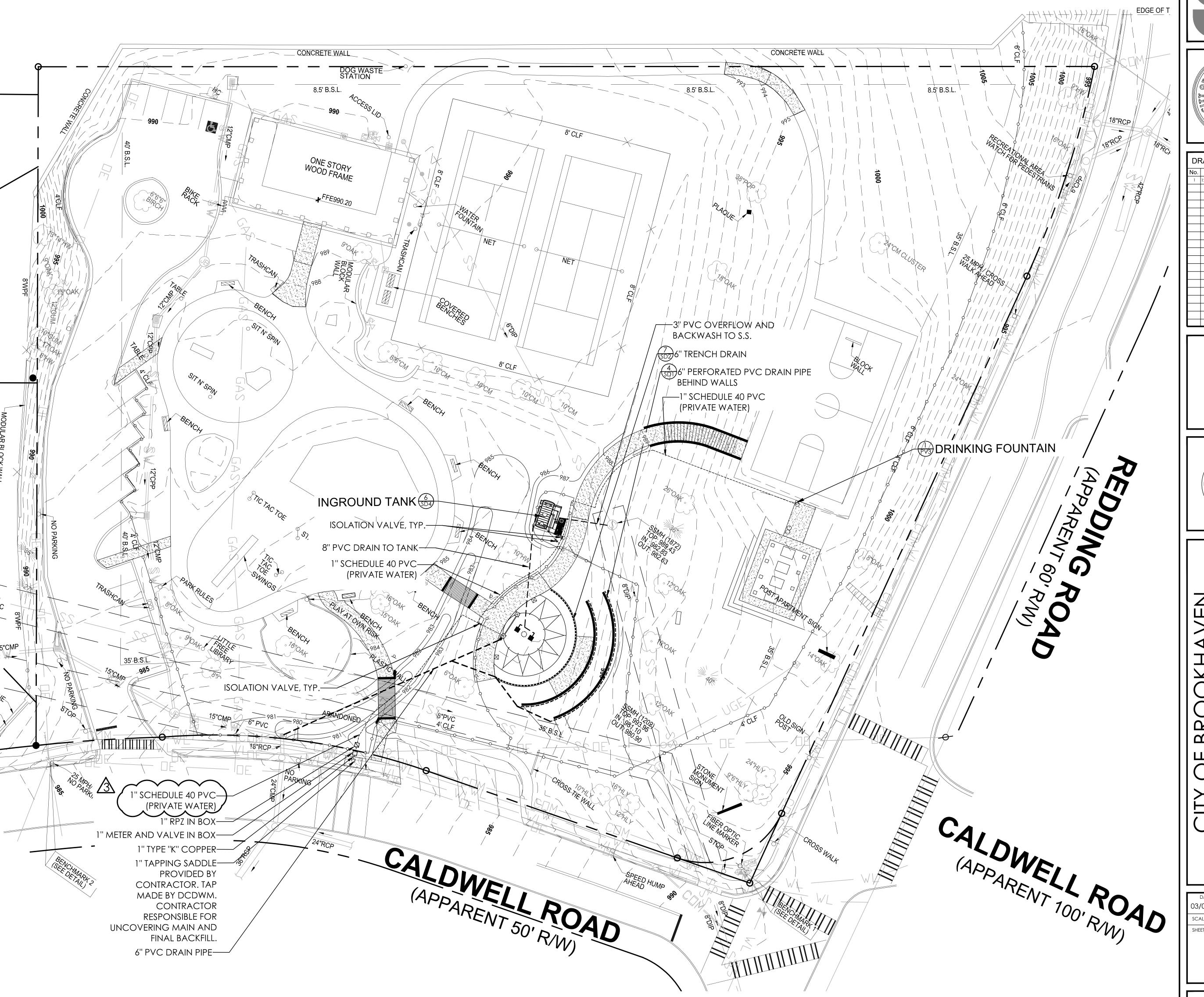
FERRY ROAD, MARIETTA, GEORGIA 30066

770-421-1927, DRAWING #TM 16 095.

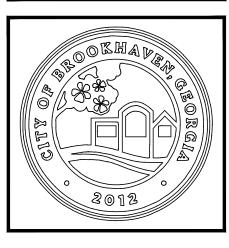


SOUTHERN RAILWAY / MARTA

(APPARENT 200' R/W) (VALUATION MAP # V-12 S22B)





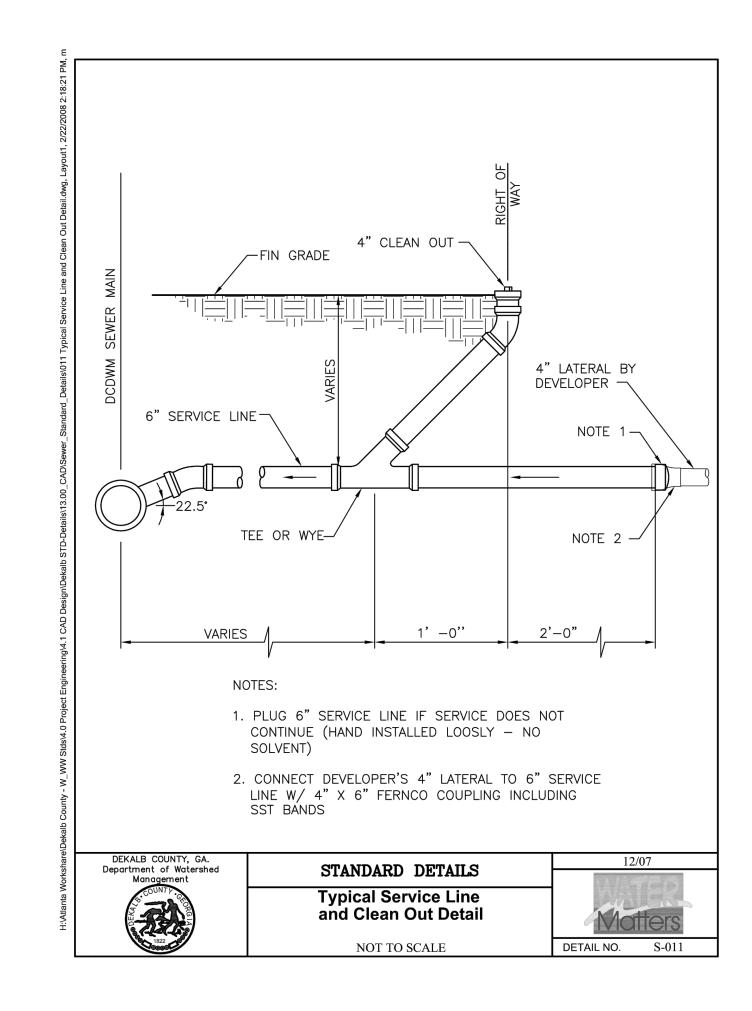


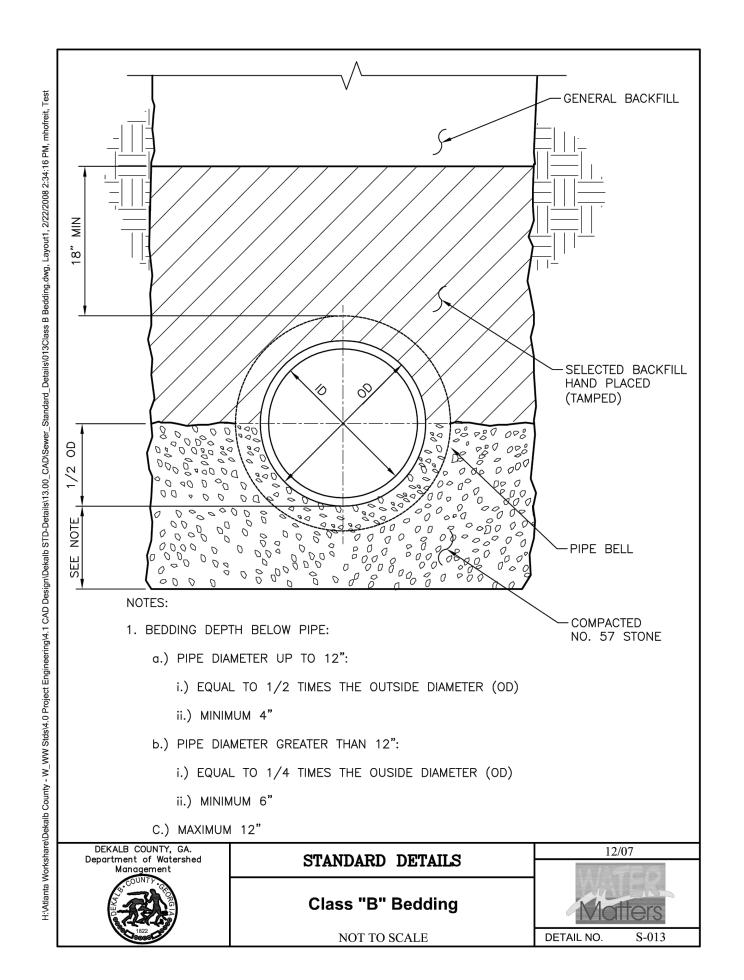
DRAWINGS SCHEDULE

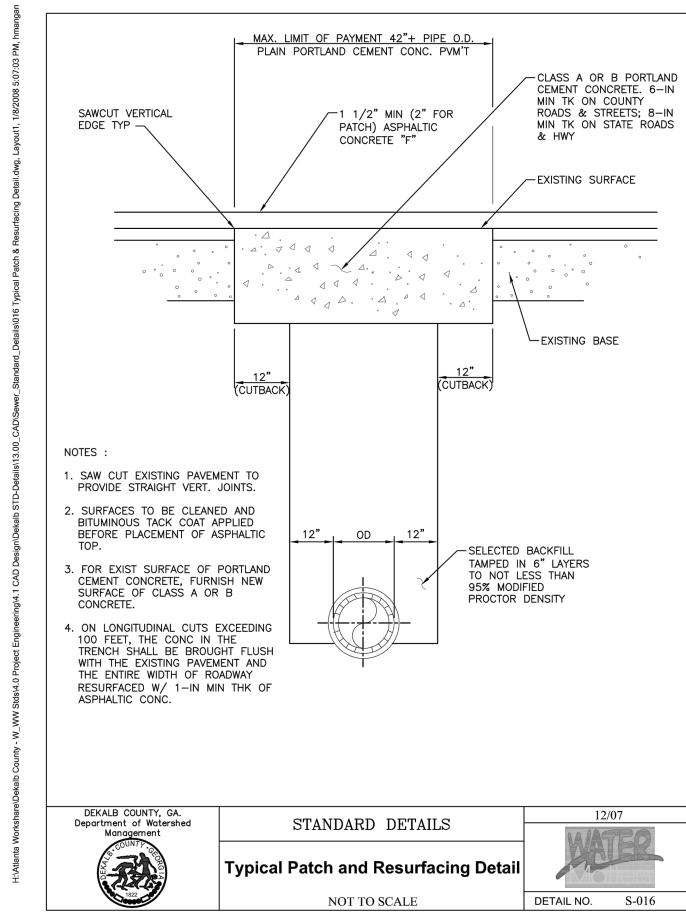


scale AS SHOWN UTILITY PLAN

15089.00







NEW CONSTRUCTION AND RETROFIT INSTALLATIONS SERVICE SIZE: 3/4" THROUGH 2" METER SIZE: THROUGH 2" REDUCED PRESSURE ZONE BACKFLOW PREVENTER (RPZ BFP) ASSEMBLY

SPECIFICATIONS: The CUSTOMER/OWNER shall furnish and install a REDUCED PRESSURE ZONE BACKFLOW PREVENTER (RPZ BFP) in a size to match that of the required service meter. The RPZ BFP assembly shall include a full port ball valve on the inlet and outlet sides with a union between the device and each valve. The device shall have three ball valve test cocks in an acceptable position fitted with brass or plastic plugs. A fourth test cock shall be provided on the upstream side of the inlet shutoff valve. A strainer shall be installed immediately upstream of the BFP, unless the BFP is directly downstream of the meter. All components of the assembly shall be equivalent to bronze or stainless steel construction and assembled with bolts that are resistant to electrolysis.

resistant to electrolysis.

NOTE: All components of the assembly shall be certified by a nationally recognized testing laboratory. The RPZ device shall have current approval from the University of Southern California, foundation for Cross Connection Control and Hydraulic Research (USC-FCCHR). Assembly to be individually factory tested, shipped and installed as a unit.

NSTALLATION INSTRUCTIONS: The RPZ BFP assembly shall not be installed below ground. If installed outdoors, an above ground enclosure must be provided for protection from freezing temperatures. Indoor installations shall be readily accessible for testing and maintenance and may not be installed any higher than 6 feet from the floor. Install an approved drain with an air gap where relief zone discharge could cause water damage. No connection will be allowed between the service meter and a BFP used for system containment unless this connection is protected by an approved BFP.

CAUTION: Section 607.3, Thermal Expansion Control, of the International Plubming Code, 2006, as adopted by

CAUTION: Section 607.3, Thermal Expansion Control, of the International Plubming Code, 2006, as adopted by the Georgia State Plumbing Code (combined 2007 and 2008 Amendments) should be incorporated in the design of installations and duly noted on all applicable drawings prior to the installation of any inline checking

DEVICE TESTING: All RPZ assemblies shall be tested at time of installation and at least ANNUALLY thereafter.

Cross-Connection Control Specialist, at 770-414-2354 for installation inspections and device tests.

APPROVED DEVICES: (or equivalent)

Conbraco 40-200Sebro 825Y 825YA3/4", 1", 1 1/2", 2"

REDUCED-PRESSURE-PRINCIPAL

WATER METER

DRAIN RECOMMENDED

STANDARD DETAILS

RPZ BFP Installation

3/4" to 2"

NOT TO SCALE

DEVICE

 APPROVED DEVICES:
 (or equivalent)

 Conbraco
 40-200 3

 Febco
 825Y, 825YA 3

 Hersey
 FRP2 Watts

 Wolts
 U-909-QT or U-009-QT

 Wilkens
 975XLU

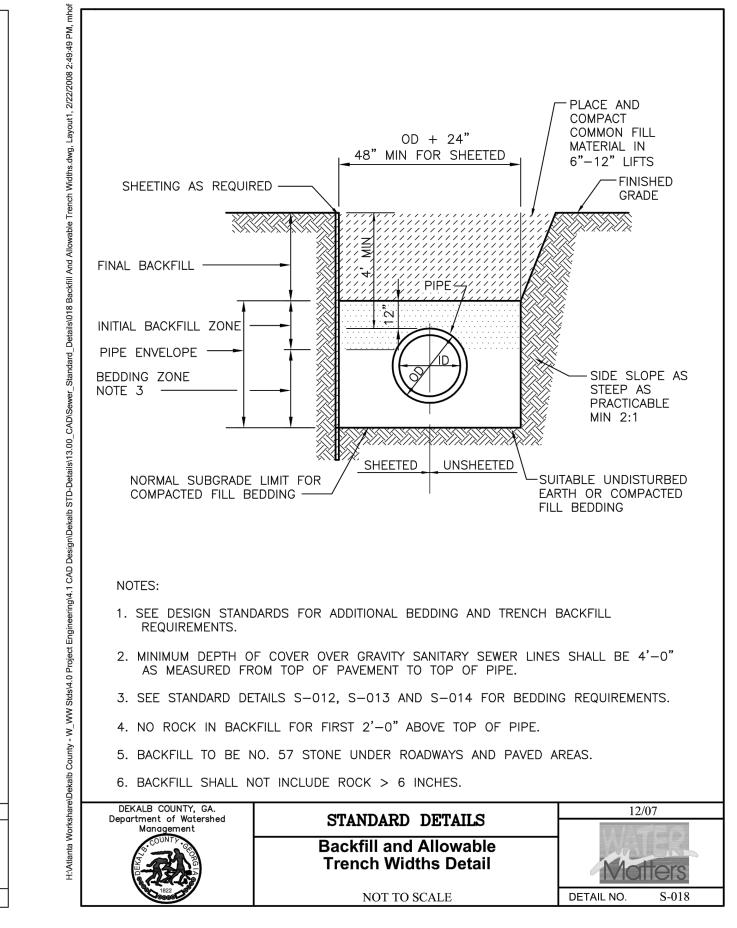
2. IN BUILDING

3. IN BASEMENT

DEKALB COUNTY, GA.
Department of Watershed

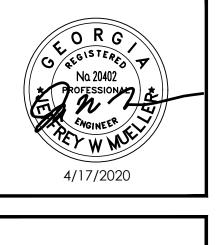
Management COUNTY 1822

4" MIN GRAVEL -



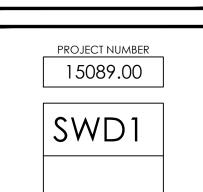


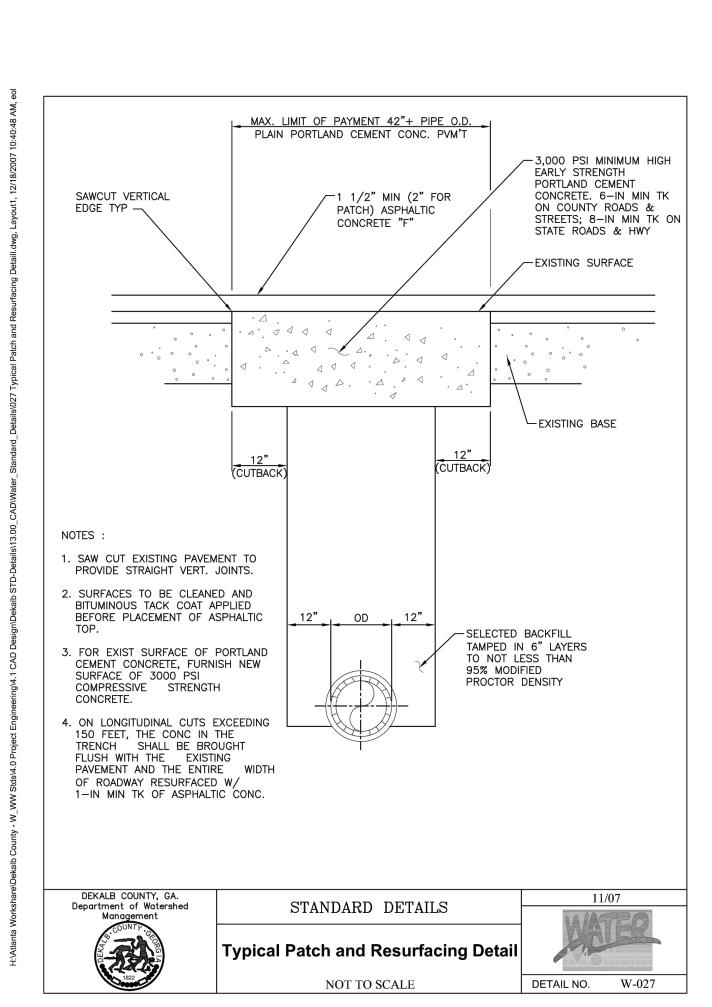
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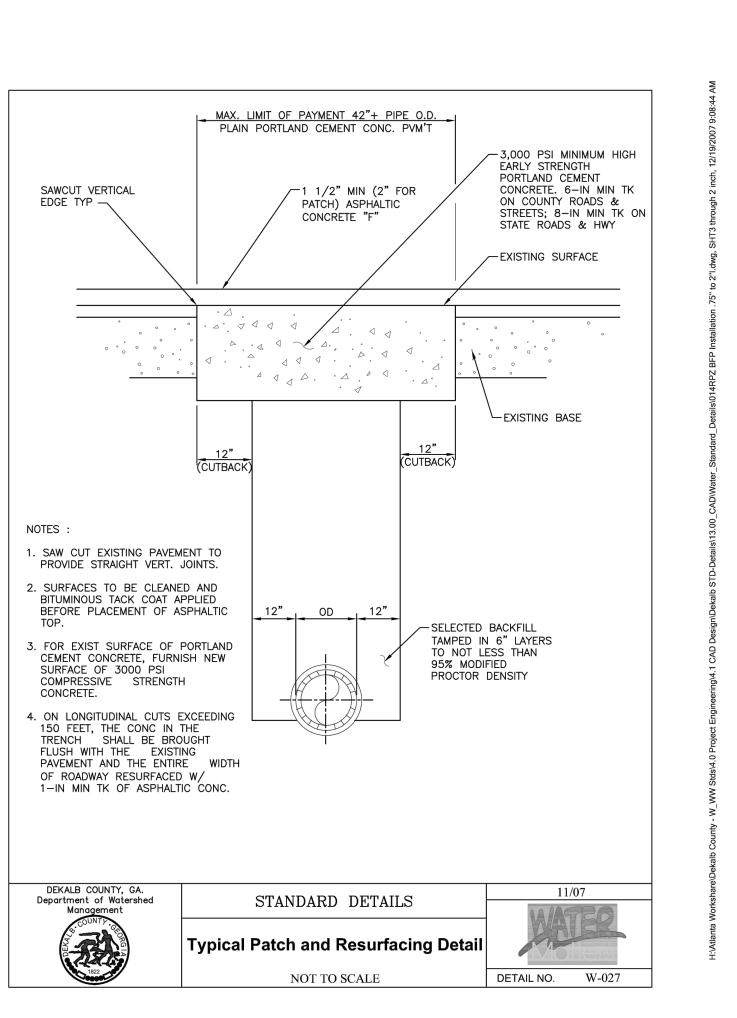


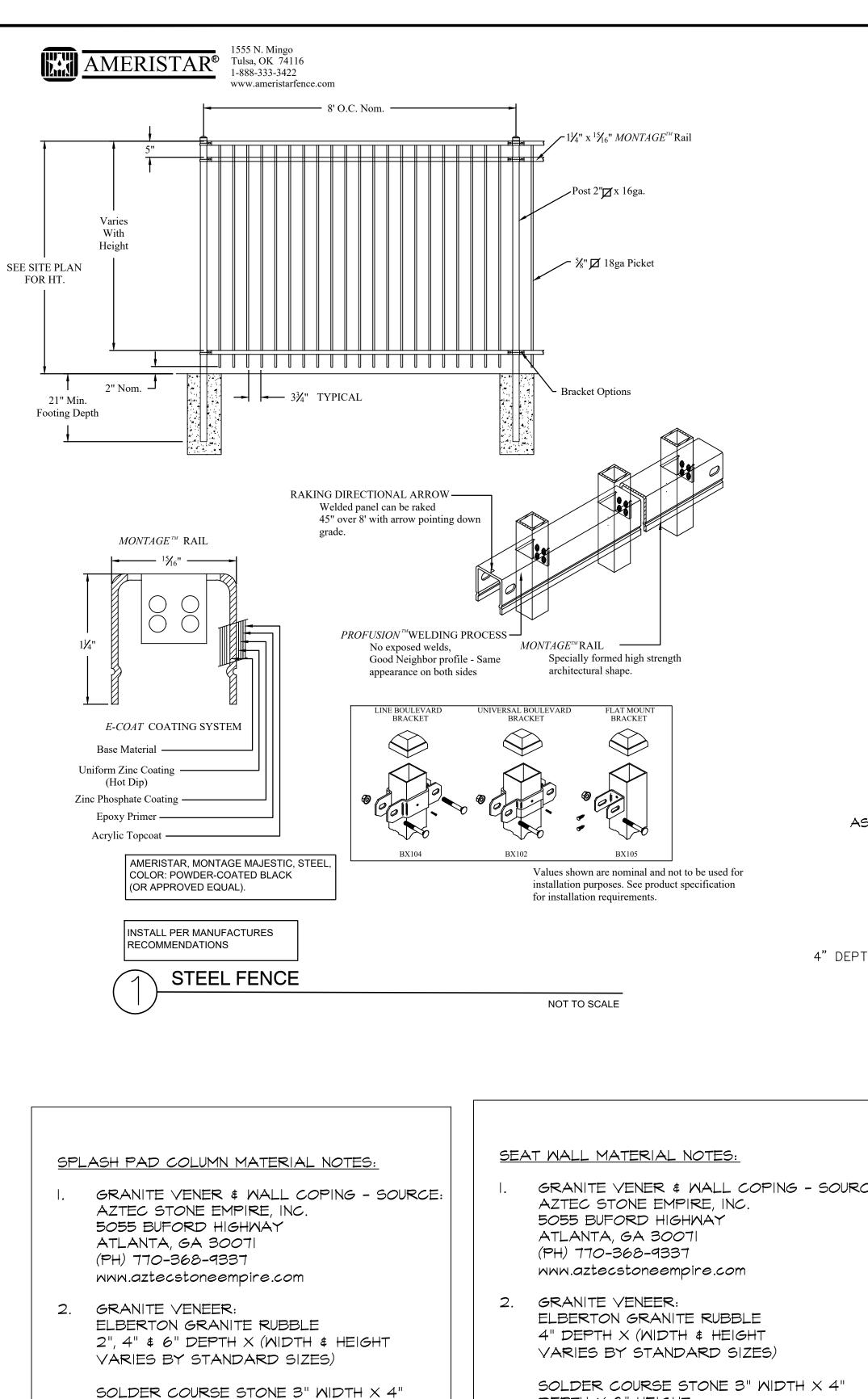
BR

DRAWN CHECKED scale AS SHOWN SANITARY SEWER AND WATER DETAILS





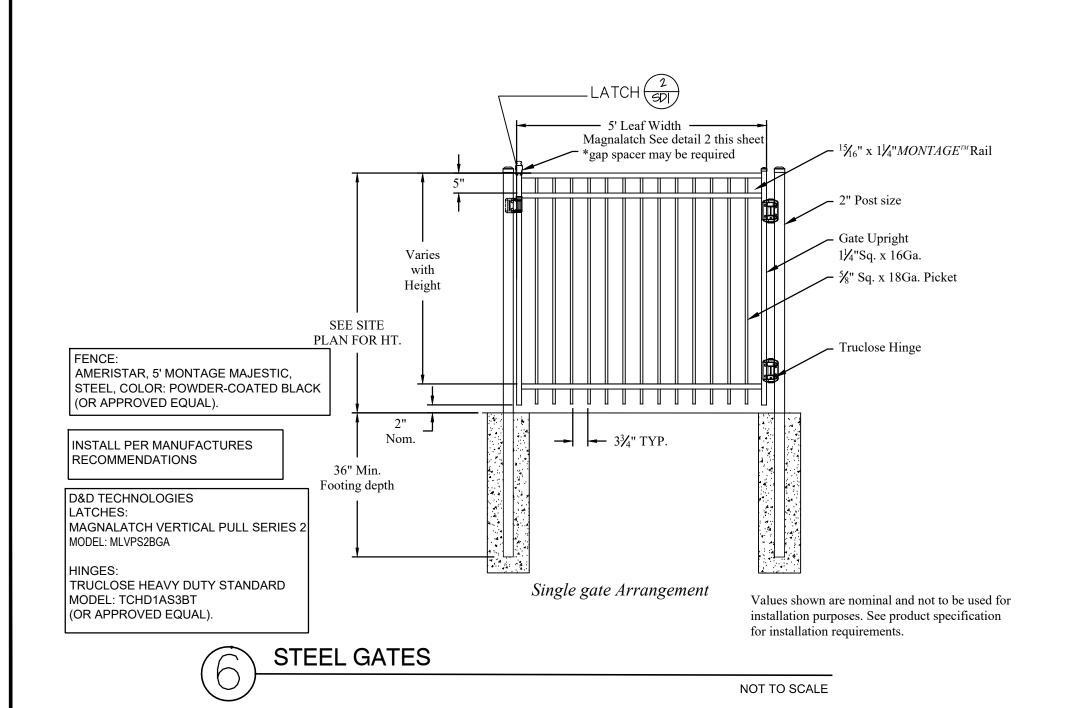






DEPTH X 8" HEIGHT

- COPING: 4000 PSI PRECAST CONCRETE.
- WALL VENEER & COPING TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION
- MORTAR COLOR TO MATCH GRANITE
- 6. MORTAR COLOR SELECTION TO BE APPROVED BY LANDSCAPE ARCHITECT /OWNER PRIOR TO CONSTRUCTION.



DEPTH X 8" HEIGHT

3. COPING: 4000 PSI PRECAST CONCRETE

APPROVED BY OWNER/LANDSCAPE

MORTAR COLOR TO MATCH GRANITE

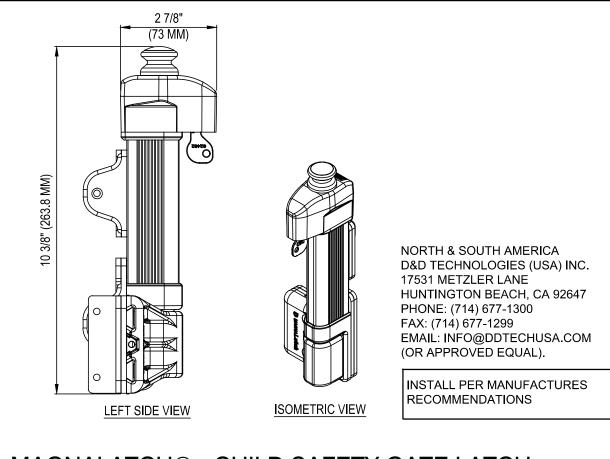
APPROVED BY LANDSCAPE ARCHITECT

MORTAR COLOR SELECTION TO BE

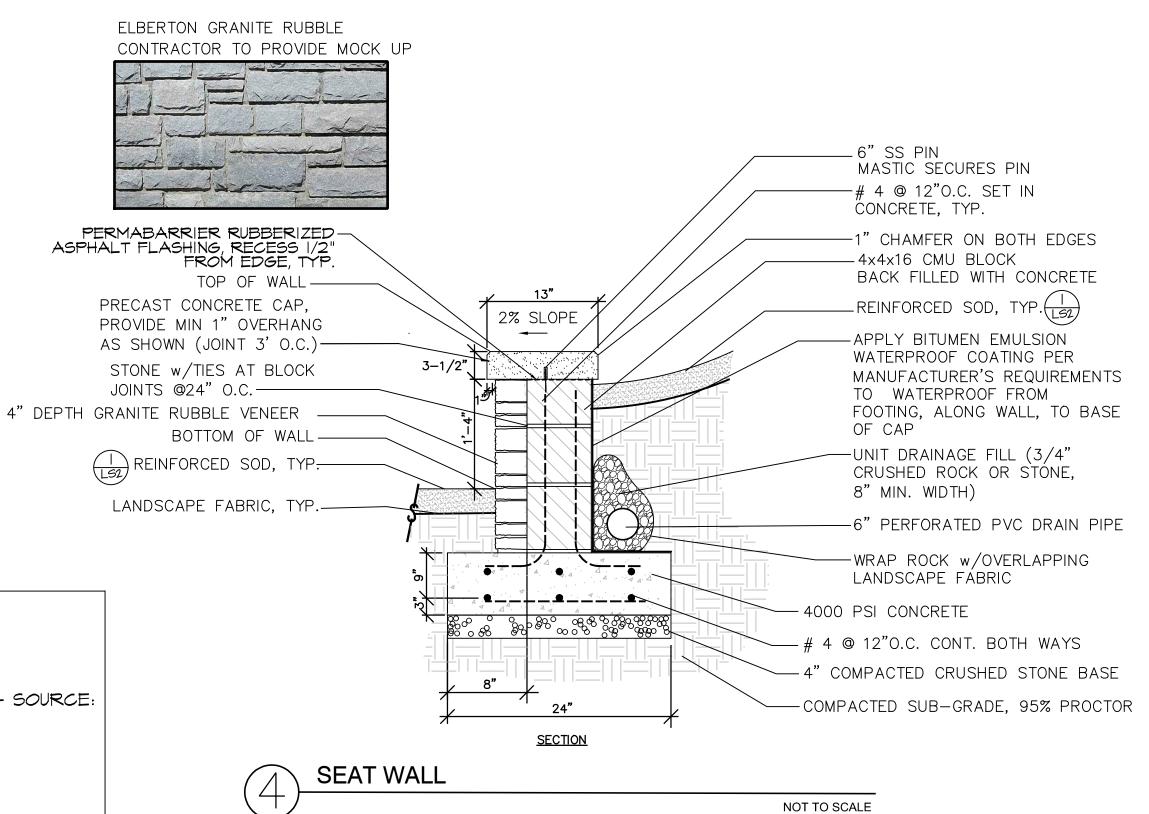
/OWNER PRIOR TO CONSTRUCTION.

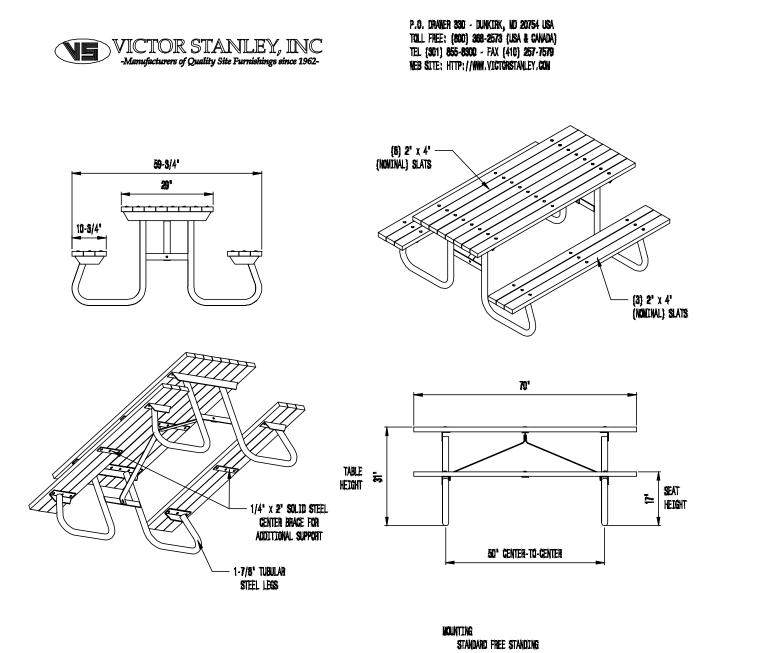
ARCHITECT PRIOR TO CONSTRUCTION

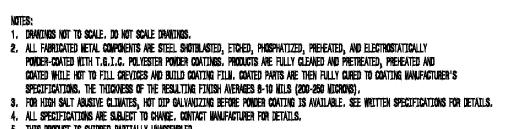
4. WALL VENEER & COPING TO BE



MAGNALATCH® - CHILD SAFETY GATE LATCH VERTICAL PULL MODEL MLVPS2BGA NOT TO SCALE

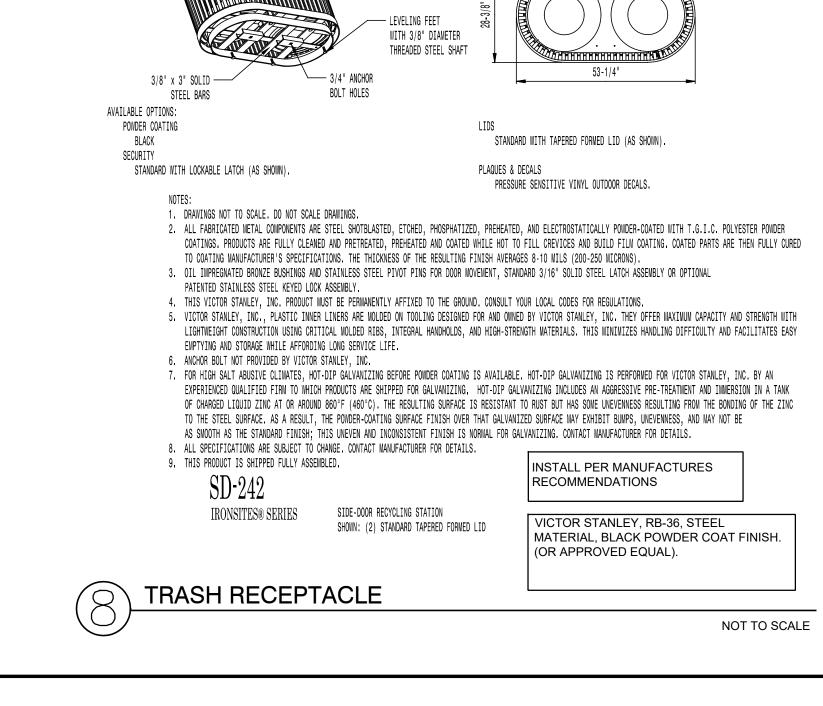






THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED. INSTALL PER MANUFACTURES RECOMMENDATIONS VICTOR STANLEY, ST-5 HOMESTEAD, HOMESTRAD SERIES PORTABLE TABLE WITH SEATS STEEL MATERIAL, BLACK POWDER COAT FINISH, GREY IPE SLATS. (OR APPROVED EQUAL). PICNIC TABLE

NOT TO SCALE



* ALL DIMENSIONS ARE IN INCHES *

TOP BAND VARIES BETWEEN PRODUCTS

STEEL TOP RING

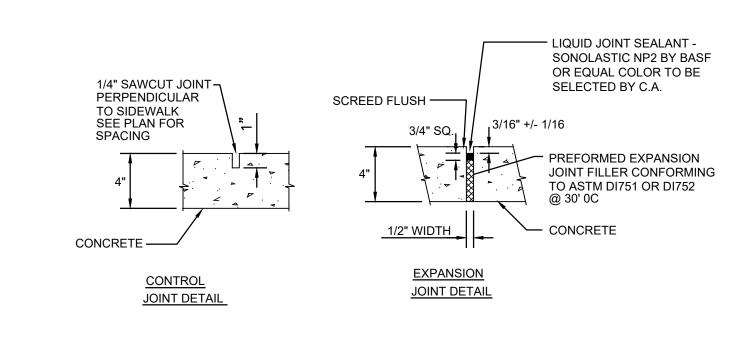
1/4" x 2-1/2" ——

HORIZONTAL SOLID

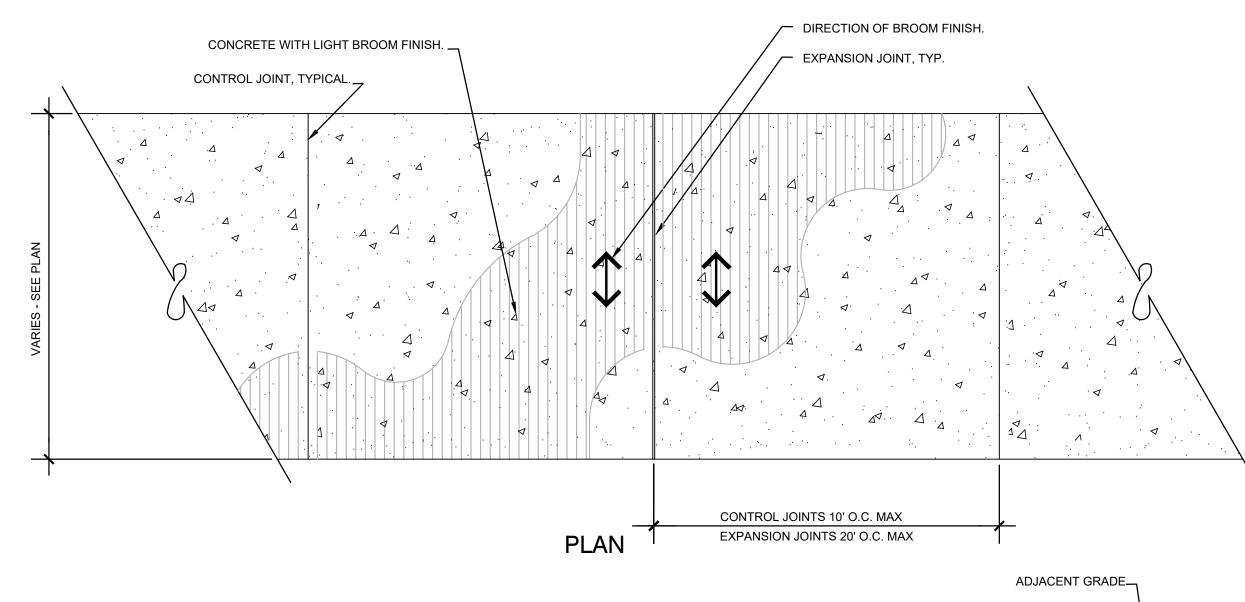
STEEL BANDS

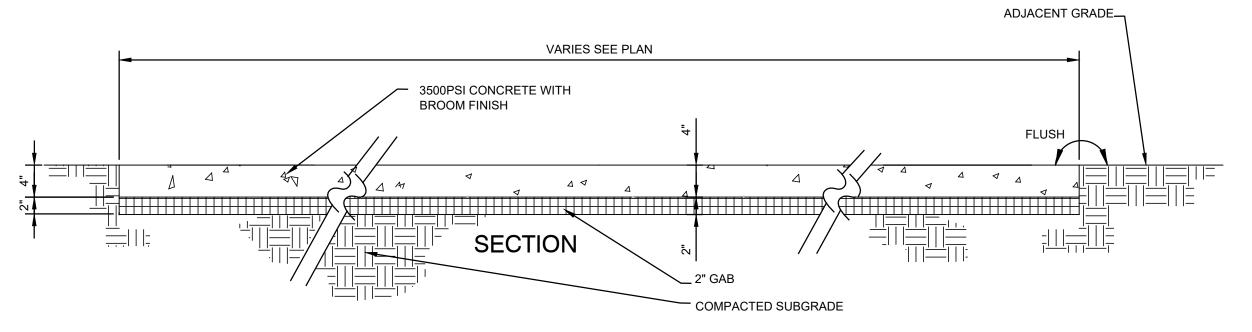
VICTOR STANLEY, INC.®
-Manufacturers of Quality Site Furnishings since 1962-

19-1/2"



TYPICAL CONCRETE JOINT DETAILS





4" CONCRETE SIDEWALK N.T.S.

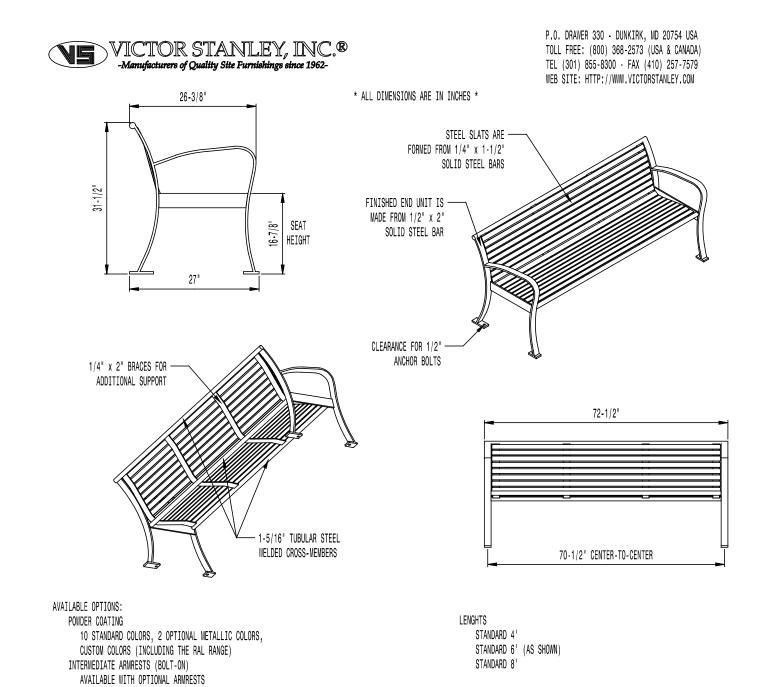
> — 36-GALLON CAPACITY HIGH DENSITY PLASTIC LINER (WEIGHT NOT TO EXCEED 6 LBS.) SITS ON 1/4" x 2" SUPPORT BARS

P.O. DRAWER 330 - DUNKIRK, MD 20754 USA

TOLL FREE: (800) 368-2573 (USA & CANADA)

TEL (301) 855-8300 - FAX (410) 257-7579

WEB SITE: HTTP://WWW.VICTORSTANLEY.COM



1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALL POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).

3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS. 4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC. 5. FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK

OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS. 6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

7. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

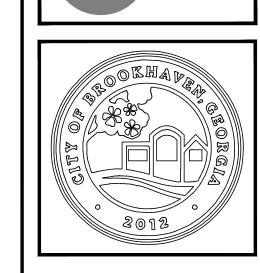
STEELSITESTM RB SERIES SHOWN: STANDARD 6-FOOT LENGTH

ALL STEEL BENCH

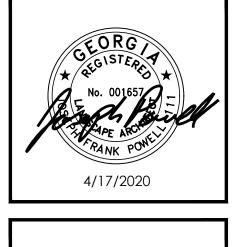
INSTALL PER MANUFACTURES RECOMMENDATIONS VICTOR STANLEY, RBF-28, STEEL

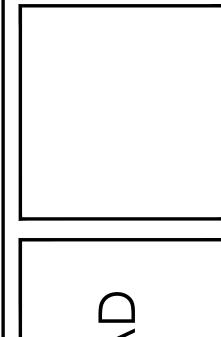
MATERIAL, BLACK POWDER COAT FINISH. (OR APPROVED EQUAL).

N.T.S.



DRAWINGS SCHEDULE No. Date Description

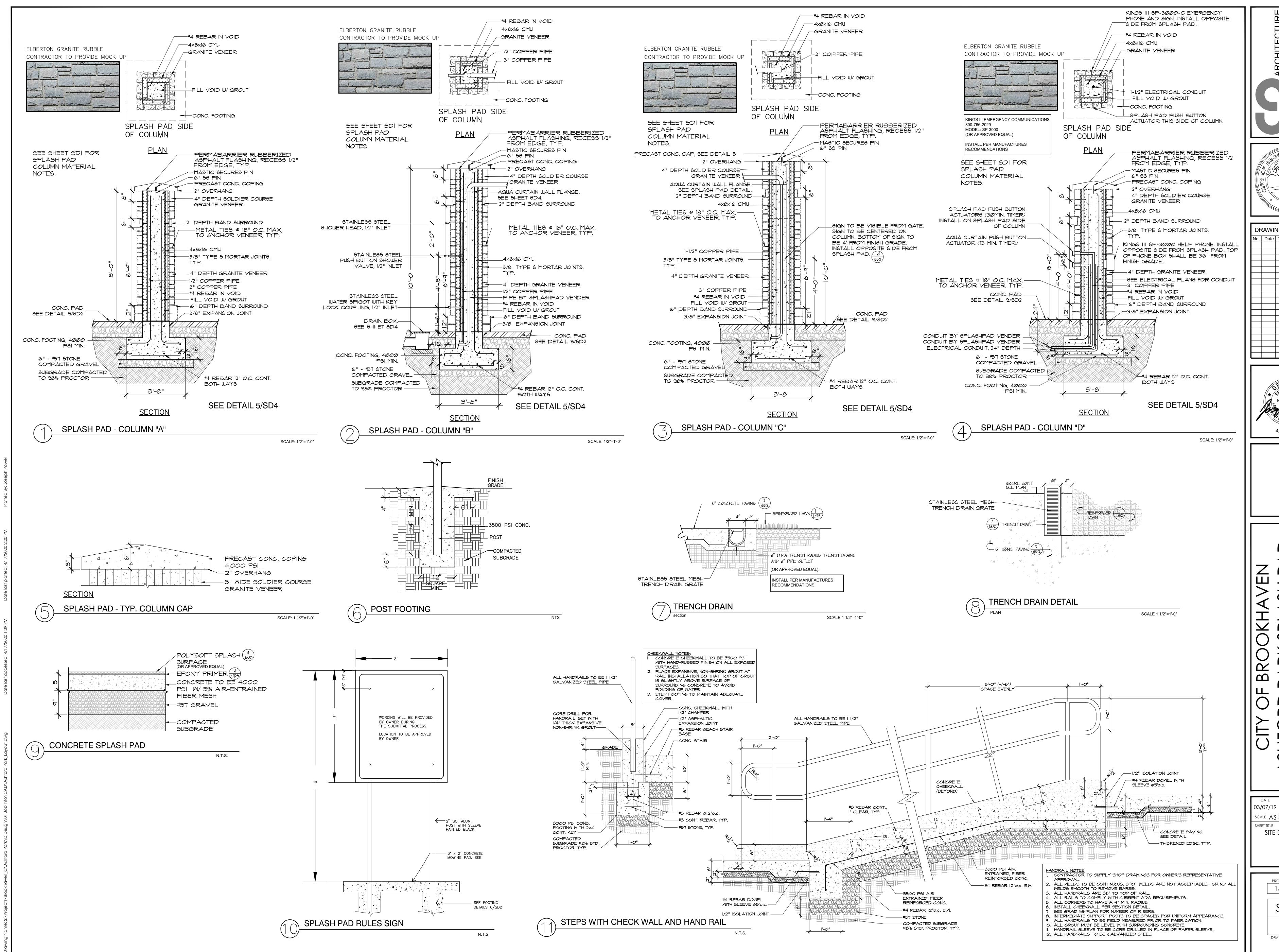




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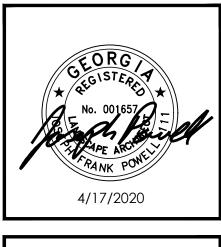
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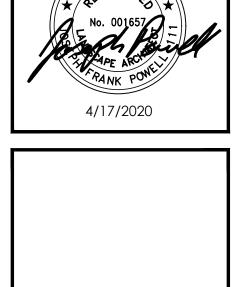
> PROJECT NUMBER 15089.00 DRAWING NUMBER

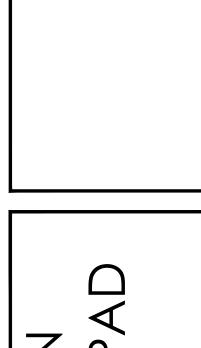




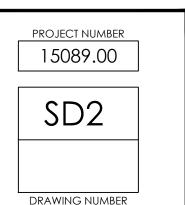
DRAWINGS SCHEDULE No. | Date | Description

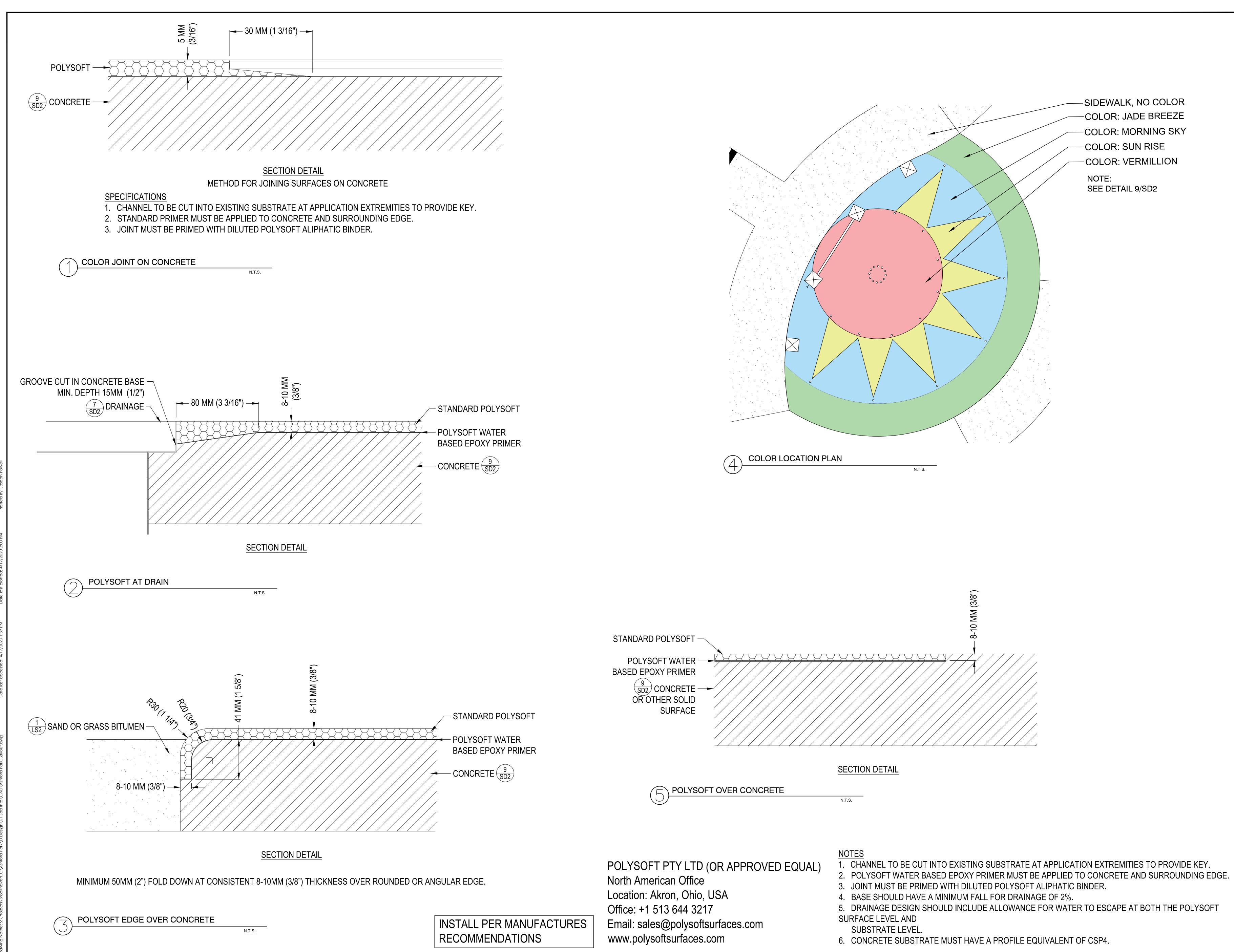




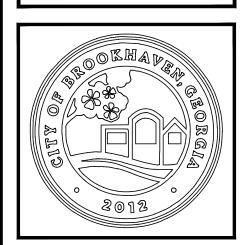


SCALE AS SHOWN SITE DETAILS



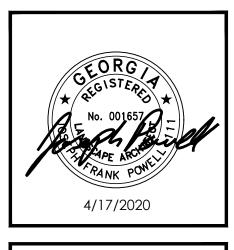


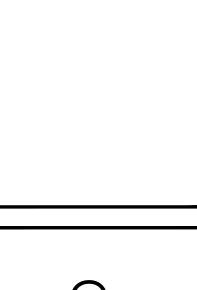
ARCHITECTU ENGINEERIN PLANNING CPLteam.com



DRAWINGS SCHEDULE

No. Date Description





ASHFORD PARK SPLASH PAD

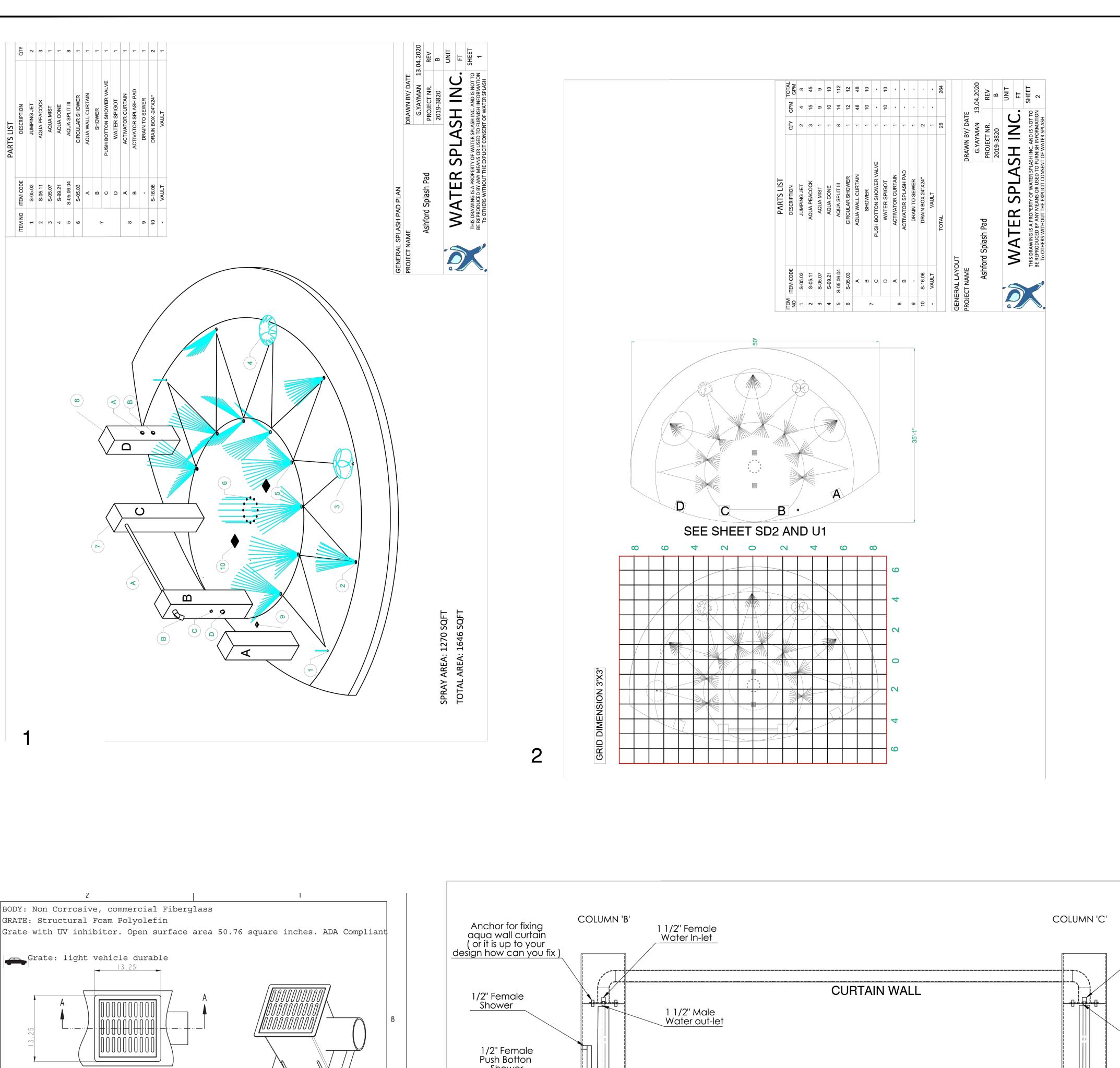
2980 REDDING ROAD

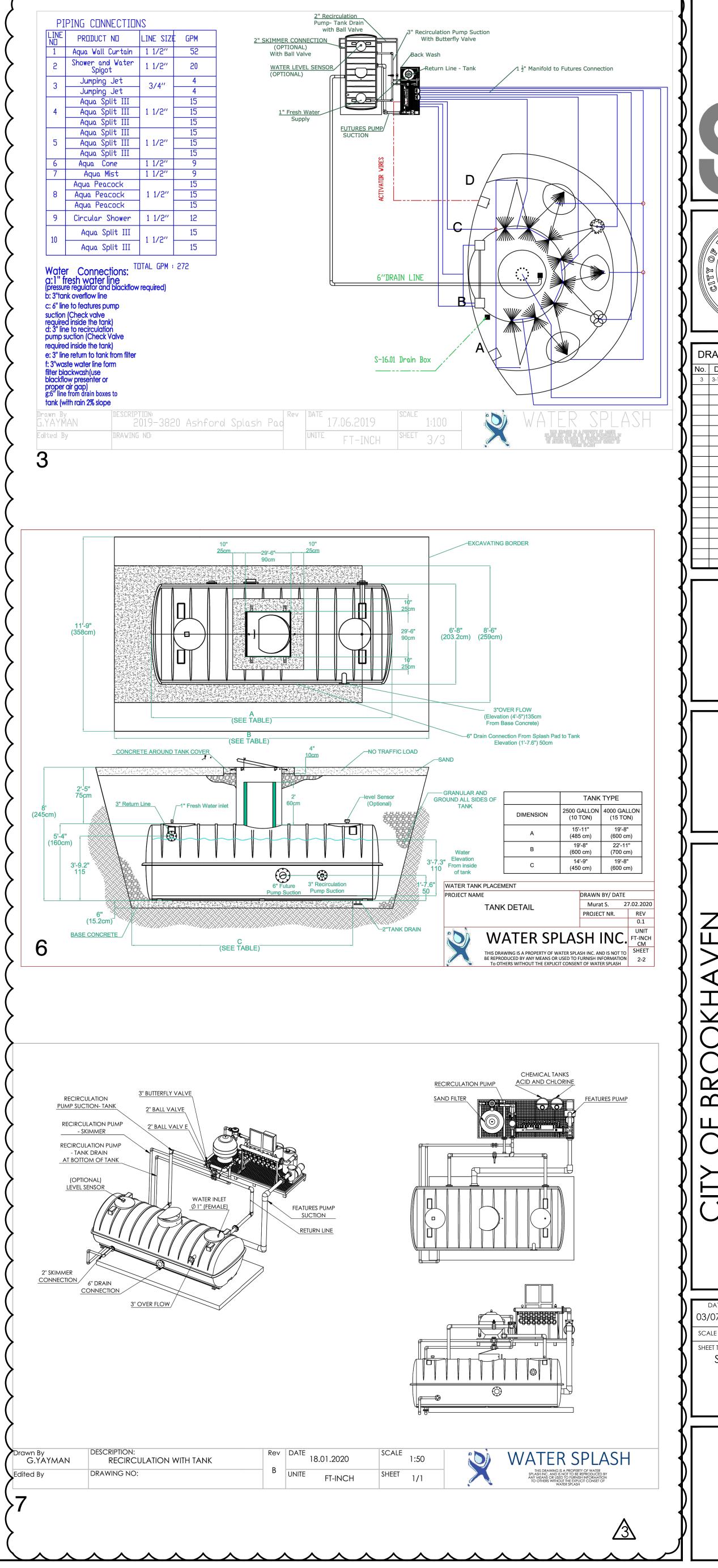
DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE
SPLASH PAD SURFACE
DETAILS

15089.00





DF BROOKHAVEN
DPARK SPLASH PAD
80 REDDING ROAD
OKHAVEN, GEORGIA 30319

DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE
SITE DETAILS

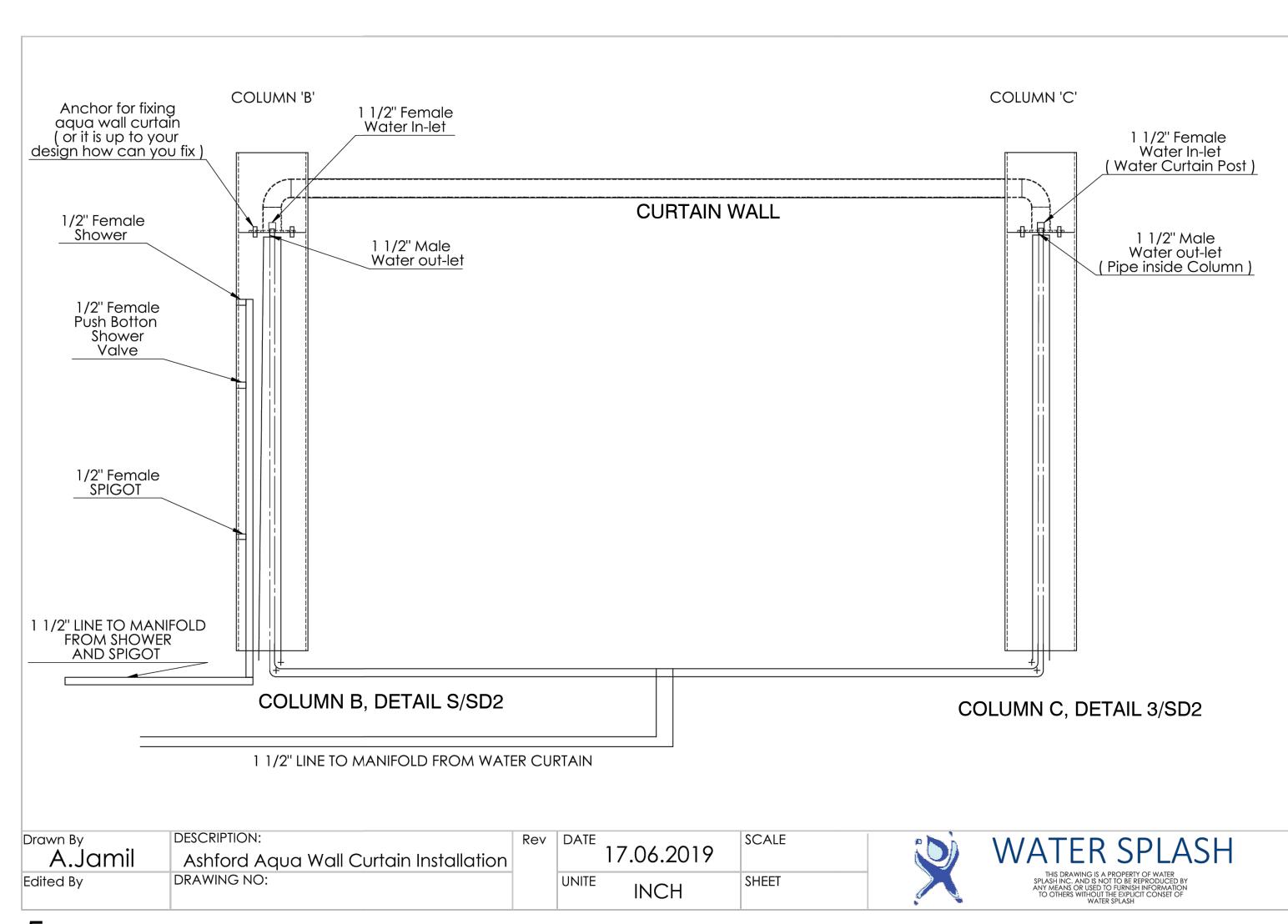
PROJECT NUMBER
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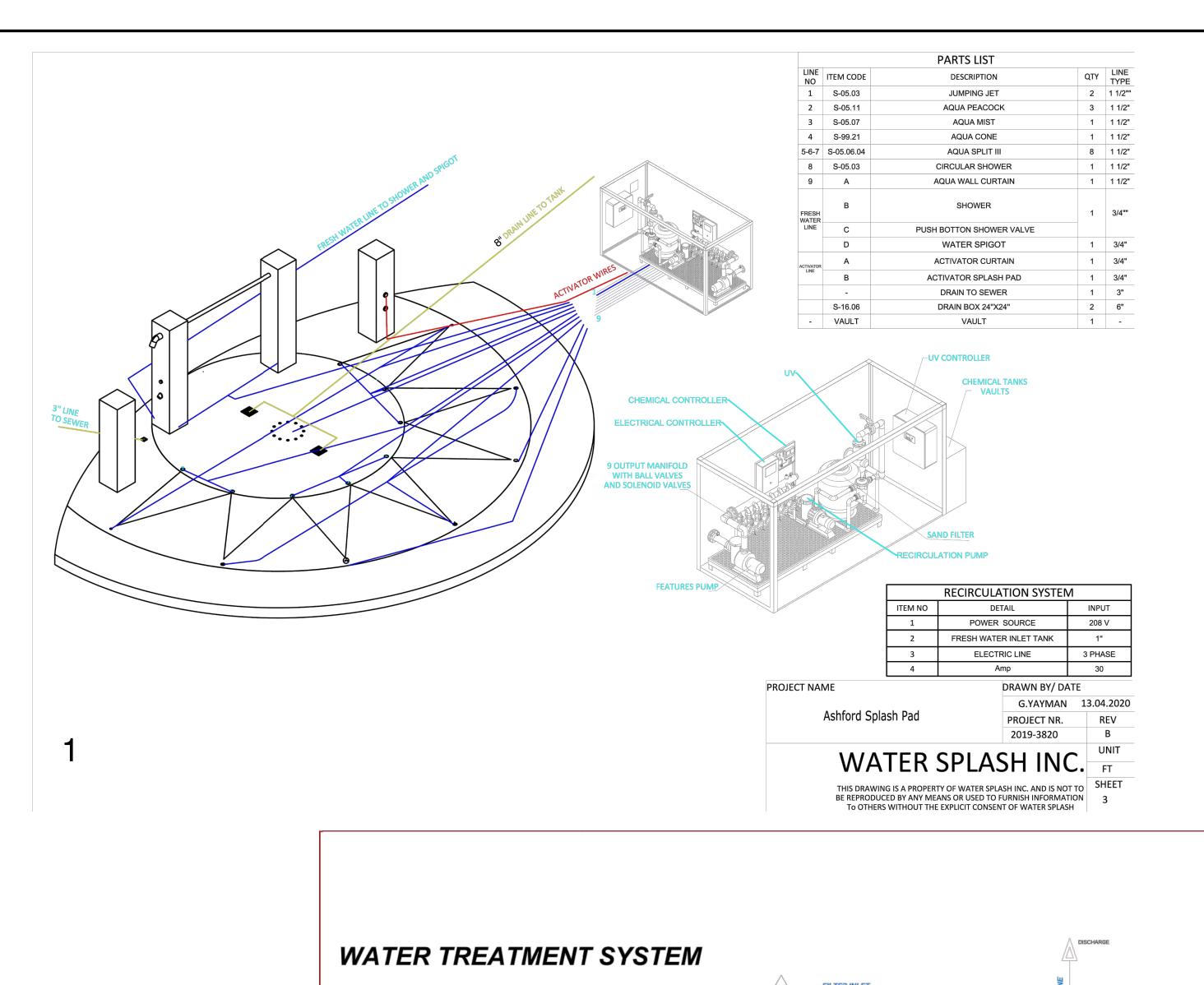
SD4

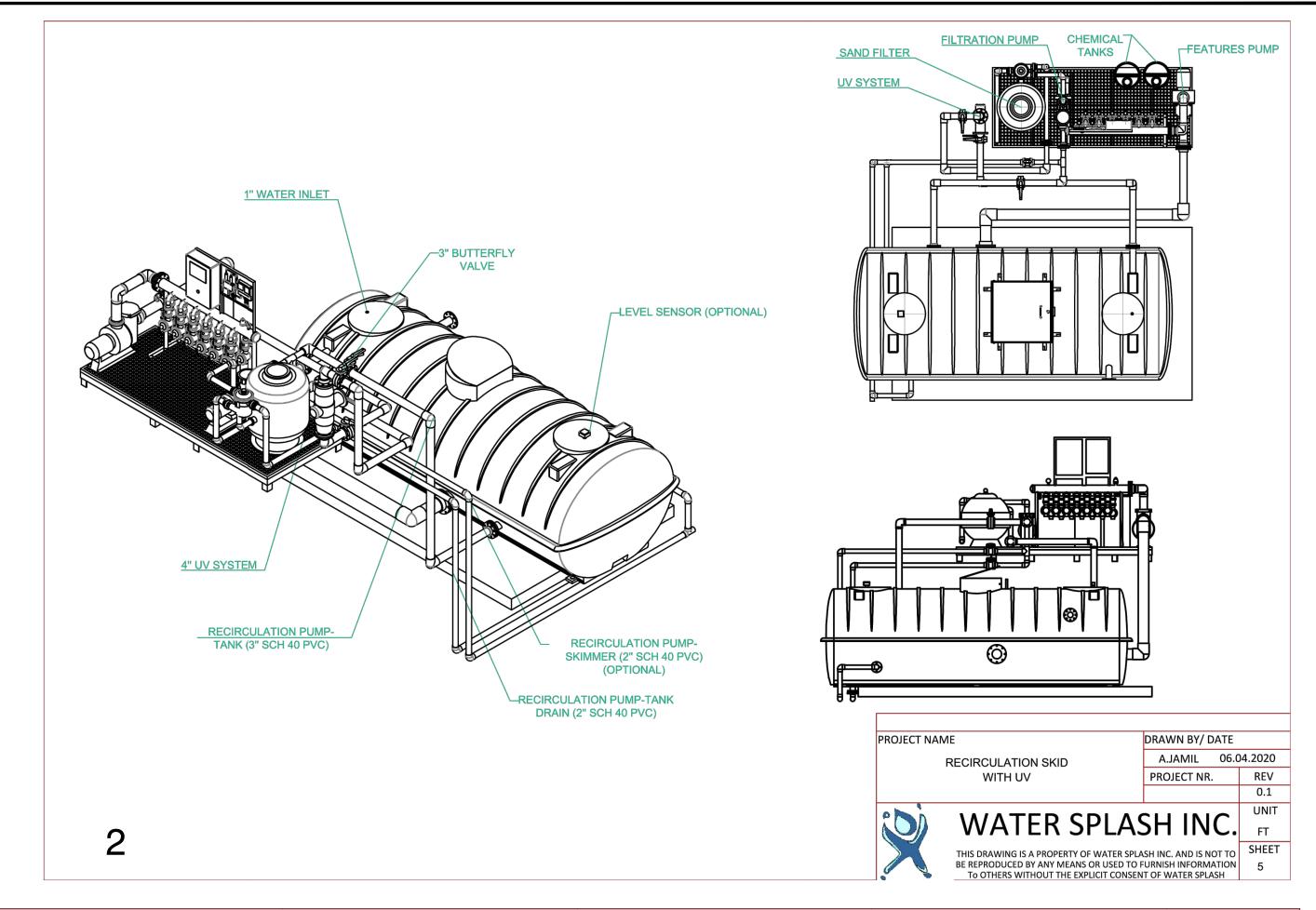
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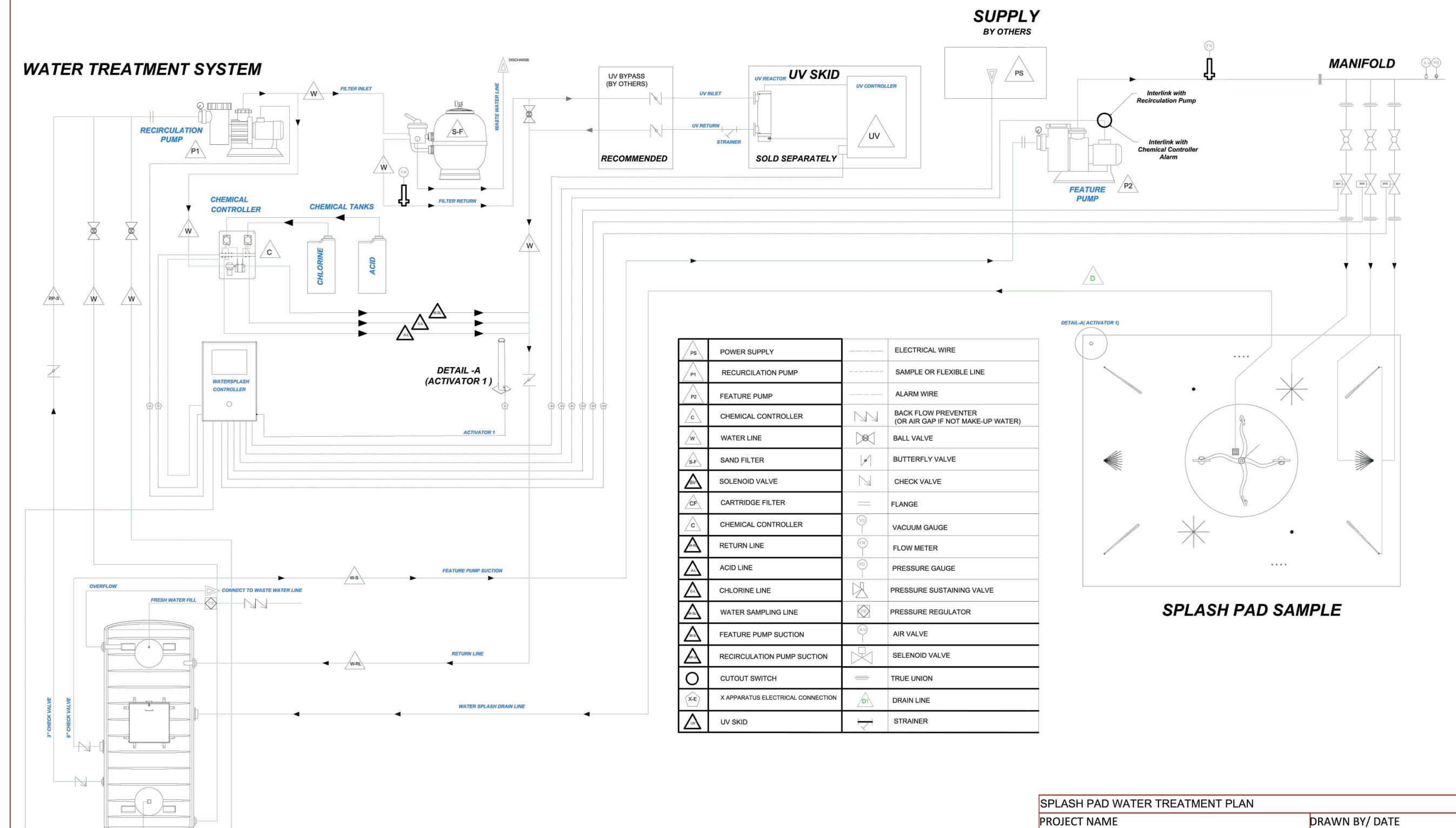
CONCRETE SURFACE ∕-8" PVC PIPE COMPACTED GRANULAP-Sand for covering PVC Pipe 9.5 -CONCRETE BASE SECTION A-A GRATE COLOR SELECTION: GREEN ____ BLACK ___ WATER SPLASH THIS DRAWING IS THE PROPERTY OF WATER SPLASH INC. AND IS NOT TO BE REPRODUCED BY ANY MEANS 2010.01 DRAIN BOX 2010.01.21 UNIT SH INSTALLATION OR USED TO FURNISH INFORMATION TO OTHERS WITHOUT THE EXPLICIT CONSENT OF WATER SPLASH INC.

INCH | I / I | W060404-00-XX

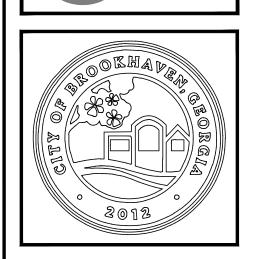




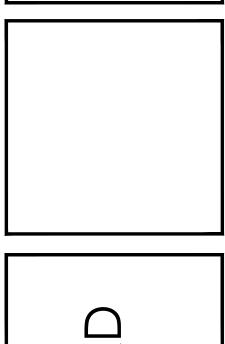




ARCHITECTUR
ENGINEERING
PLANNING
CPLteam.com
3011 SUTTON GATE DRIVE SUITE 130 SUWANEE GEORGIA 30024 1800 274-9000



DF	DRAWINGS SCHEDULE				
No.	Date	Description			
3	3-10-20	Permit Revision			



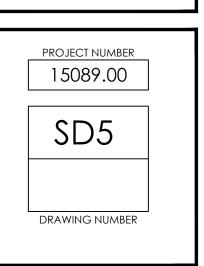
ASHFORD PARK SPLASH PA

2980 REDDING ROAD

DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE
SITE DETAILS



M.MOUSAVI 03.04.2020

PROJECT NR.

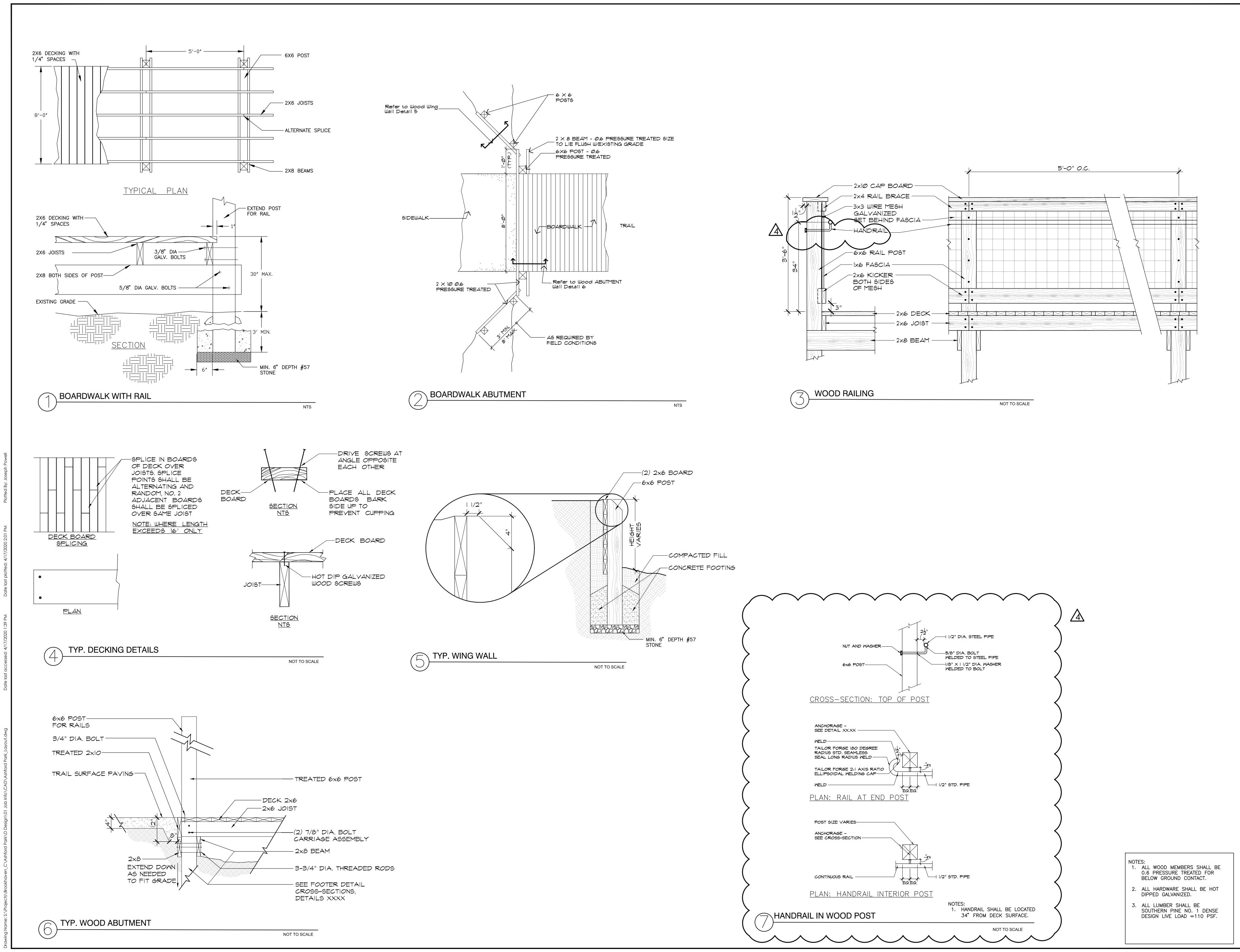
WATER SPLASH INC.

THIS DRAWING IS A PROPERTY OF WATER SPLASH INC. AND IS NOT TO BE REPRODUCED BY ANY MEANS OR USED TO FURNISH INFORMATION TO OTHERS WITHOUT THE EXPLICIT CONSENT OF WATER SPLASH

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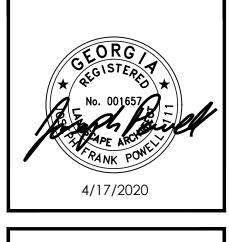
RECIRCULATION SYSTEM WITH UV

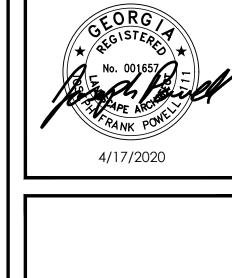


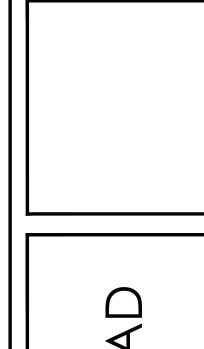




DRAWINGS SCHEDULE







BRC

scale AS SHOWN BOARDWALK DETAILS

> PROJECT NUMBER 15089.00

3. EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY THE CONTRACTOR AS NECESSARY.4. ALL DISTURBED AREAS ARE TO BE GRASSED AS SOON AS CONSTRUCTION PHASE PERMITS. TEMPORARY MULCHING SHALL BE

UTILIZED DURING THE PERIOD OF GERMINATION OF GRASS SEEDINGS USING STRAW OR HAY MULCH, JUTE MATTING OR SYNTHETIC FIBERS.

5. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL CONFORM TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND ANY APPLICABLE LOCAL REGULATIONS.6. EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE, MAINTAINED IN GOOD WORKING

CONDITION UNTIL COMPLETION OF PROJECT, AND REPLACED WHEN EFFECTIVENESS IS REDUCED TO 50%.

7. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SUITABLE PERENNIAL VEGETATION, ACCORDING TO SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY FOLLOWING THE COMPLETION OF GRADING.

8. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED TO CONTROL SEDIMENT AND SILT FROM LEAVING THE SITE AS

DETERMINED NECESSARY BY THE REGULATING GOVERNING AUTHORITY.

9. STRIPPING OF VEGETATION, GRADING OR OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. .

10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.

11. ALL SEDIMENT COLLECTED DURING MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE OR SPREAD IN LANDSCAPED OR NATURALLY VEGETATED AREAS, SEEDED AND COVERED WITH STRAW.

12. DETENTION FACILITIES AND EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE DEVICES SHALL BE MOVED AND ADJUSTED AS NEEDED TO KEEP A FUNCTIONING SYSTEM THROUGHOUT CONSTRUCTION.

13. EROSION CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO CONSTRUCTION EXITS, SILT FENCE, STORM INLET/OUTLET PROTECTION, DIVERSION DIKE OR DOWNDRAINS ON LONG STEEP SLOPES AND TEMPORARY GRASSING. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

14. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.

15. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR

PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.

16. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.

17. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

18. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

19. EROSION CONTROL DEVICES SHALL BE CLEANED WHEN THE SILT EXCEEDS 6" IN DEPTH.

20. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REFLECT GENERALLY ACCEPTED PRACTICES, THE PLANS
DO NOT GUARANTEE THAT THESE MEASURES WILL INSURE COMPLIANCE WITH THE WATER QUALITY REGULATIONS IN THE RECEIVING
STREAM IMMEDIATELY DOWNSTREAM OF THE PROJECT.

21. TEMPORARY SEDIMENT BASIN(S) ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

22. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.

23. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
24. PERMANENT VEGETATION SHALL BE PLANTED IF AREA IS LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.
25. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
26. CONCRETE WASHDOWN NOT ALLOWED ON SITE.

27. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.

28. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.

29. STATE WATERS ARE WITHIN 200 FEET OF THE SITE.

30. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE.

31. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMANDS, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

32. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

33. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE

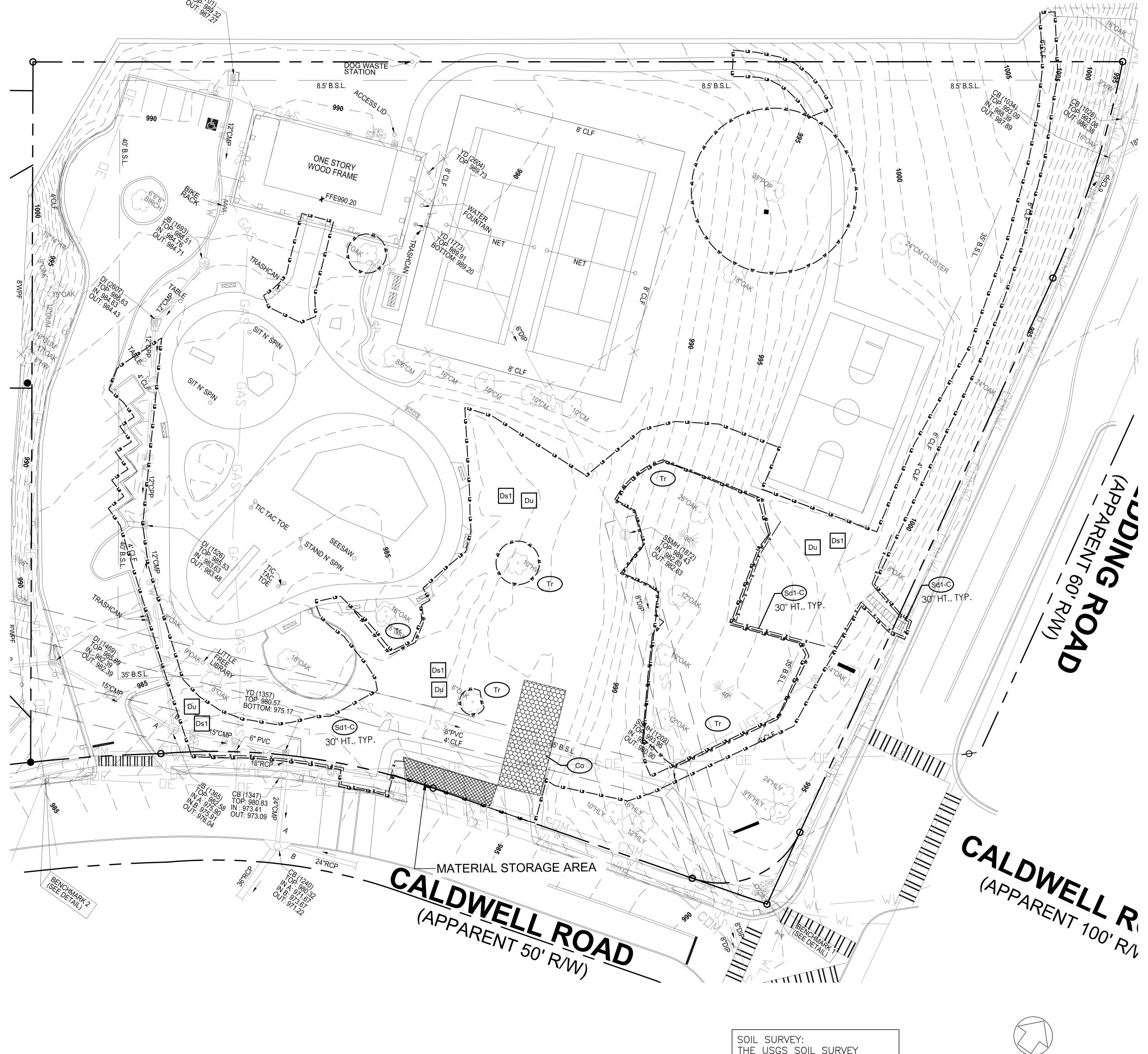
34. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

PROPOSED CONSTRUCTION SHALL COMPLY WITH 2010 ADA FOR ACCESSIBLE DESIGN AND THE FOLLOWING SECTIONS:

1. AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO COMPLY WITH SECTION 206 FROM THE PARKING SPACE TO THE SPLASH PAD TO INCLUDE SECTION 206.2.17, PLAY AREAS

ACCESSIBLE PARKING SHALL BE PROVIDED TO COMPLY WITH SECTION 208
 AND CHAPTER 5
 PLAY AREAS SHALL COMPLY WITH SECTION 240

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
Co	CONSTRUCTION EXIT		(LABEL)	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1)	SEDIMENT BARRIER		(INDICATE TYPE)	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP	**************************************		An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Tr	TREE PROTECTION		(DENOTE TREE CENTERS)	To protect desirable trees from injury during construction activity.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodable or critically eroded lands.



DISTURBANCE LIMITS:
INITIAL PHASE = 0.85 ACRES
INTERMEDIATE = 0.85 ACRES

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF

EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED

ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS

INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND

STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE

RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO

DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND

BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.

NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN

FINAL PHASE = 0.85 ACRES

EROSION CONTROL INSTALLATION/REMOVAL

EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE EROSION AND SEDIMENT CONTROL MEASURES CAN ONLY BE REMOVED AFTER FINAL SITE STABILIZATION.

DESCRIPTION OF CONTROLS AND MEASURES

FIRST, EROSION AND SEDIMENT CONTROL MEASURES WILL BE
INSTALLED PRIOR TO LAND DISTURBANCE. AFTER SILT FENCE IS
INSTALLED, CLEARING WILL BE DONE AS NEEDED TO PERFORM
THE MINOR GRADING. THE EROSION AND SEDIMENT CONTROL
MEASURES MUST BE MAINTAINED CONTINUOUSLY AND CAN ONLY
BE REMOVED AFTER FINAL SITE STABILIZATION.

SOIL SURVEY:
THE USGS SOIL SURVEY
CATEGORIZES ALL SOILS WITHIN
THE PROJECT AREA TO BE:

Ud—URBAN LAND
Map Unit Composition
Urban land: 100 percent



CERTIFICATION NUMBER ______0000015136

ISSUED: 08/18/2018 EXPIRES: 08/18/2021



SCALE: 1"=20'

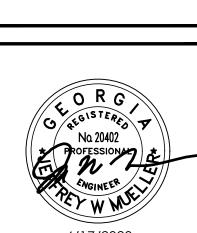
NOTE:
SURVEY CONDUCTED BY TERRAMARK
LAND SURVEYING INC., 1396 BELLS
FERRY ROAD, MARIETTA, GEORGIA 30066,
770-421-1927, DRAWING #TM 16 095.

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No. Date Description

1 11-26-19 City Permit Revision
2 1-2-20 City Permit Revision
3 3-10-20 Permit Revision





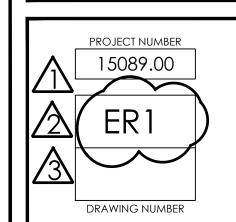
ASHFORD PARK SPLAS
2980 REDDING ROAD

DATE DRAWN CHECKED 03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE

INITIAL EROSION CONTROL PLAN



AS NECESSARY.

4. ALL DISTURBED AREAS ARE TO BE GRASSED AS SOON AS CONSTRUCTION PHASE PERMITS. TEMPORARY MULCHING SHALL BE

UTILIZED DURING THE PERIOD OF GERMINATION OF GRASS SEEDINGS USING STRAW OR HAY MULCH, JUTE MATTING OR SYNTHETIC FIBERS.

5. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL CONFORM TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN

GEORGIA AND ANY APPLICABLE LOCAL REGULATIONS.

6. EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE, MAINTAINED IN GOOD WORKING
CONDITION UNTIL COMPLETION OF PROJECT, AND REPLACED WHEN EFFECTIVENESS IS REDUCED TO 50%.

7. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SUITABLE PERENNIAL VEGETATION, ACCORDING TO SOIL CONSERVATION

SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY FOLLOWING THE COMPLETION OF GRADING.

8. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED TO CONTROL SEDIMENT AND SILT FROM LEAVING THE SITE AS DETERMINED NECESSARY BY THE REGULATING GOVERNING AUTHORITY.

9. STRIPPING OF VECETATION, CRADING OR OTHER PEYEL ORMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO

9. STRIPPING OF VEGETATION, GRADING OR OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. .

10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.

11. ALL SEDIMENT COLLECTED DURING MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE OR SPREAD IN LANDSCAPED OR NATURALLY VEGETATED AREAS, SEEDED AND COVERED WITH STRAW.

12. DETENTION FACILITIES AND EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER

CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE DEVICES SHALL BE MOVED AND ADJUSTED

AS NEEDED TO KEEP A FUNCTIONING SYSTEM THROUGHOUT CONSTRUCTION.

13. EROSION CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO CONSTRUCTION EXITS, SILT FENCE, STORM INLET/OUTLET PROTECTION, DIVERSION DIKE OR DOWNDRAINS ON LONG STEEP SLOPES AND TEMPORARY GRASSING. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND

PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

14. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3

FULL VOLUME.

15. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR

16. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.

17. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

18. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

19. EROSION CONTROL DEVICES SHALL BE CLEANED WHEN THE SILT EXCEEDS 6" IN DEPTH.

PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.

20. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REFLECT GENERALLY ACCEPTED PRACTICES, THE PLANS DO NOT GUARANTEE THAT THESE MEASURES WILL INSURE COMPLIANCE WITH THE WATER QUALITY REGULATIONS IN THE RECEIVING STREAM IMMEDIATELY DOWNSTREAM OF THE PROJECT.

21. TEMPORARY SEDIMENT BASIN(S) ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

22. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.

23. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
24. PERMANENT VEGETATION SHALL BE PLANTED IF AREA IS LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.
25. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

27. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.

28. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.

29. STATE WATERS ARE WITHIN 200 FEET OF THE SITE.
30. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR

26. CONCRETE WASHDOWN NOT ALLOWED ON SITE.

31. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMANDS, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES

AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

32. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE

33. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE

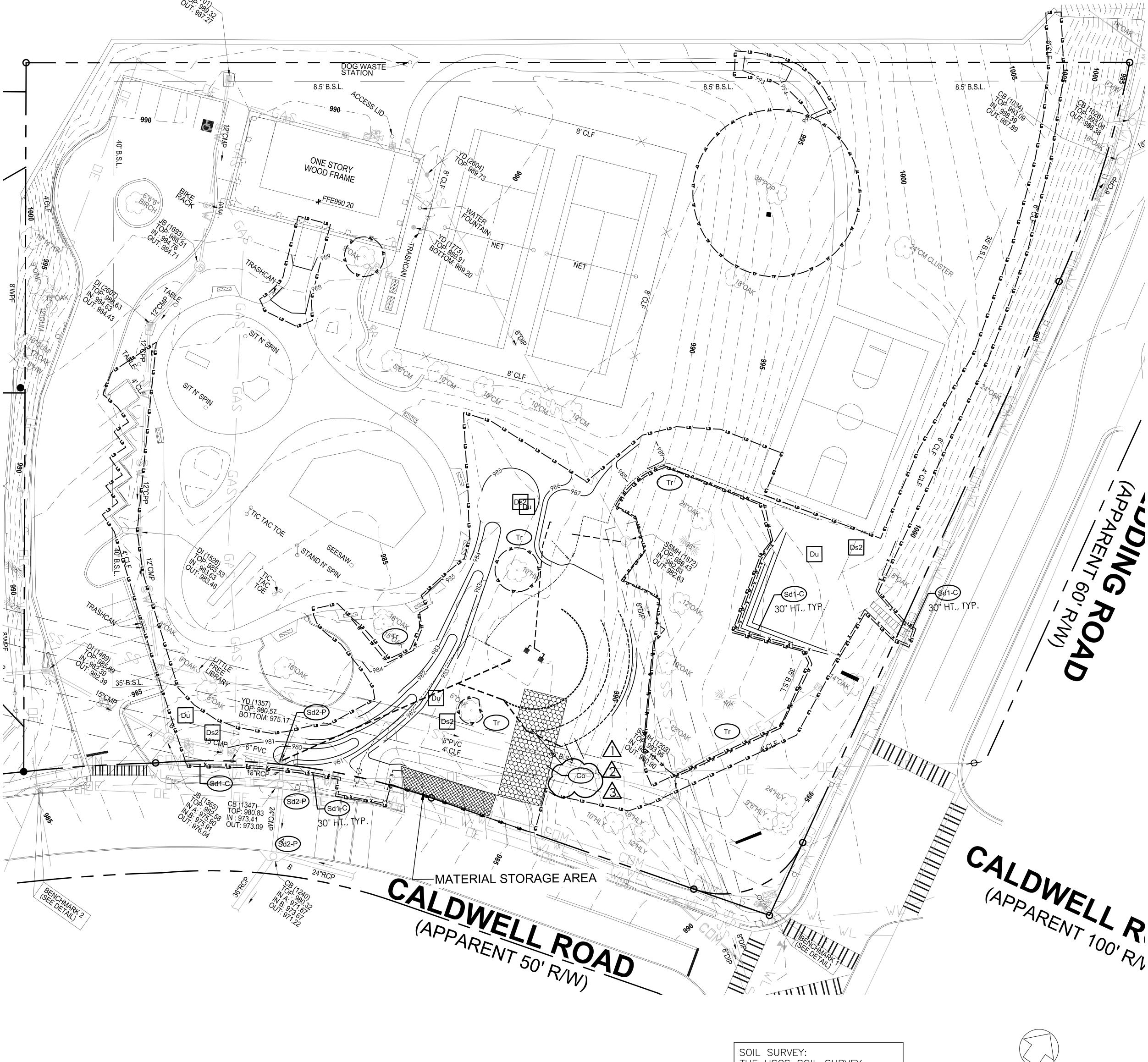
34. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

PROPOSED CONSTRUCTION SHALL COMPLY WITH 2010 ADA FOR ACCESSIBLE DESIGN AND THE FOLLOWING SECTIONS:

1. AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO COMPLY WITH SECTION 20

	FROM THE PARKING SPACE TO THE SPLASH PAD TO INCLUDE SECTION
	206.2.17, PLAY AREAS
2.	ACCESSIBLE PARKING SHALL BE PROVIDED TO COMPLY WITH SECTION 208
	AND CHAPTER 5
3.	PLAY AREAS SHALL COMPLY WITH SECTION 240

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
Co	CONSTRUCTION EXIT		Co (LABEL)	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1)	SEDIMENT BARRIER		(INDICATE TYPE)	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2)	INLET SEDIMENT TRAP	**************************************		An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Tr	TREE PROTECTION		(DENOTE TREE CENTERS)	To protect desirable trees from injury during construction activity.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodable or critically eroded lands.



DISTURBANCE LIMITS:
INITIAL PHASE = 0.85 ACRES
INTERMEDIATE = 0.85 ACRES

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF

EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED

ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS

INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND

STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE

RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO

DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND

BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.

NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN

FINAL PHASE = 0.85 ACRES

EROSION CONTROL INSTALLATION/REMOVAL

EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE EROSION AND SEDIMENT CONTROL MEASURES CAN ONLY BE REMOVED AFTER FINAL SITE STABILIZATION.

DESCRIPTION OF CONTROLS AND MEASURES

FIRST, EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. AFTER SILT FENCE IS

INSTALLED, CLEARING WILL BE DONE AS NEEDED TO PERFORM THE MINOR GRADING. THE EROSION AND SEDIMENT CONTROL

MEASURES MUST BE MAINTAINED CONTINUOUSLY AND CAN ONLY BE REMOVED AFTER FINAL SITE STABILIZATION.

THE USGS SOIL SURVEY
CATEGORIZES ALL SOILS WITHIN
THE PROJECT AREA TO BE:

Ud—URBAN LAND

Ud—URBAN LAND Map Unit Composition Urban land: 100 percent



CERTIFICATION NUMBER ______0000015136

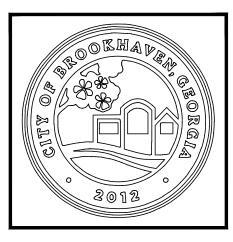
ISSUED: 08/18/2018 EXPIRES: 08/18/2021



NOTE:
SURVEY CONDUCTED BY TERRAMARK
LAND SURVEYING INC., 1396 BELLS
FERRY ROAD, MARIETTA, GEORGIA 30066,
770-421-1927, DRAWING #TM 16 095.

SCALE: 1"=20'

ARCH ENGI



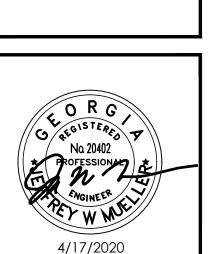
DRAWINGS SCHEDULE

No. Date Description

1 11-26-19 City Permit Revision

2 1-2-20 City Permit Revision

3 3-10-20 Permit Revision



D PARK SPLASH PAD 980 REDDING ROAD

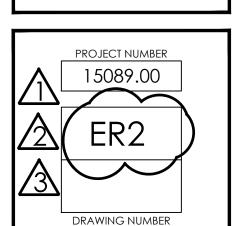
DATE DRAWN CHECKER
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE

INTERMEDIATE
EROSION CONTROL

PLAN



3. EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY THE CONTRACTOR
AS NECESSARY.

4. ALL DISTURBED AREAS ARE TO BE GRASSED AS SOON AS CONSTRUCTION PHASE PERMITS. TEMPORARY MULCHING SHALL BE

UTILIZED DURING THE PERIOD OF GERMINATION OF GRASS SEEDINGS USING STRAW OR HAY MULCH, JUTE MATTING OR SYNTHETIC FIBERS.

5 ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL CONFORM TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN

5. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL CONFORM TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND ANY APPLICABLE LOCAL REGULATIONS.

6. EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE, MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF PROJECT, AND REPLACED WHEN EFFECTIVENESS IS REDUCED TO 50%.

7. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SUITABLE PERENNIAL VEGETATION, ACCORDING TO SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY FOLLOWING THE COMPLETION OF GRADING.

8. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED TO CONTROL SEDIMENT AND SILT FROM LEAVING THE SITE AS DETERMINED NECESSARY BY THE REGULATING GOVERNING AUTHORITY.

9. STRIPPING OF VEGETATION, GRADING OR OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. .

10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.

11. ALL SEDIMENT COLLECTED DURING MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE OR SPREAD IN LANDSCAPED OR NATURALLY VEGETATED AREAS, SEEDED AND COVERED WITH STRAW.

12. DETENTION FACILITIES AND EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER

CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE DEVICES SHALL BE MOVED AND ADJUSTED

AS NEEDED TO KEEP A FUNCTIONING SYSTEM THROUGHOUT CONSTRUCTION.

13. EROSION CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO CONSTRUCTION EXITS, SILT FENCE, STORM INLET/OUTLET PROTECTION, DIVERSION DIKE OR DOWNDRAINS ON LONG STEEP SLOPES AND TEMPORARY GRASSING. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND

14. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.

15. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT. SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.

16. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.

17. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

18. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

19. EROSION CONTROL DEVICES SHALL BE CLEANED WHEN THE SILT EXCEEDS 6" IN DEPTH.

PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.

20. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REFLECT GENERALLY ACCEPTED PRACTICES, THE PLANS DO NOT GUARANTEE THAT THESE MEASURES WILL INSURE COMPLIANCE WITH THE WATER QUALITY REGULATIONS IN THE RECEIVING STREAM IMMEDIATELY DOWNSTREAM OF THE PROJECT.

21. TEMPORARY SEDIMENT BASIN(S) ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

GRADING.
22. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.

23. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.24. PERMANENT VEGETATION SHALL BE PLANTED IF AREA IS LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.25. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY

DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

26. CONCRETE WASHDOWN NOT ALLOWED ON SITE.

27. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.

28. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.

29. STATE WATERS ARE WITHIN 200 FEET OF THE SITE.

30. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE.

31. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC

RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMANDS, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

32. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

33. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.

34. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

PROPOSED CONSTRUCTION SHALL COMPLY WITH 2010 ADA FOR ACCESSIBLE DESIGN AND THE FOLLOWING SECTIONS:

DESIGN AND THE FOLLOWING SECTIONS:

1. AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO COMPLY WITH SECTION 206
FROM THE PARKING SPACE TO THE SPLASH PAD TO INCLUDE SECTION

206.2.17, PLAY AREAS
2. ACCESSIBLE PARKING SHALL BE PROVIDED TO COMPLY WITH SECTION 208

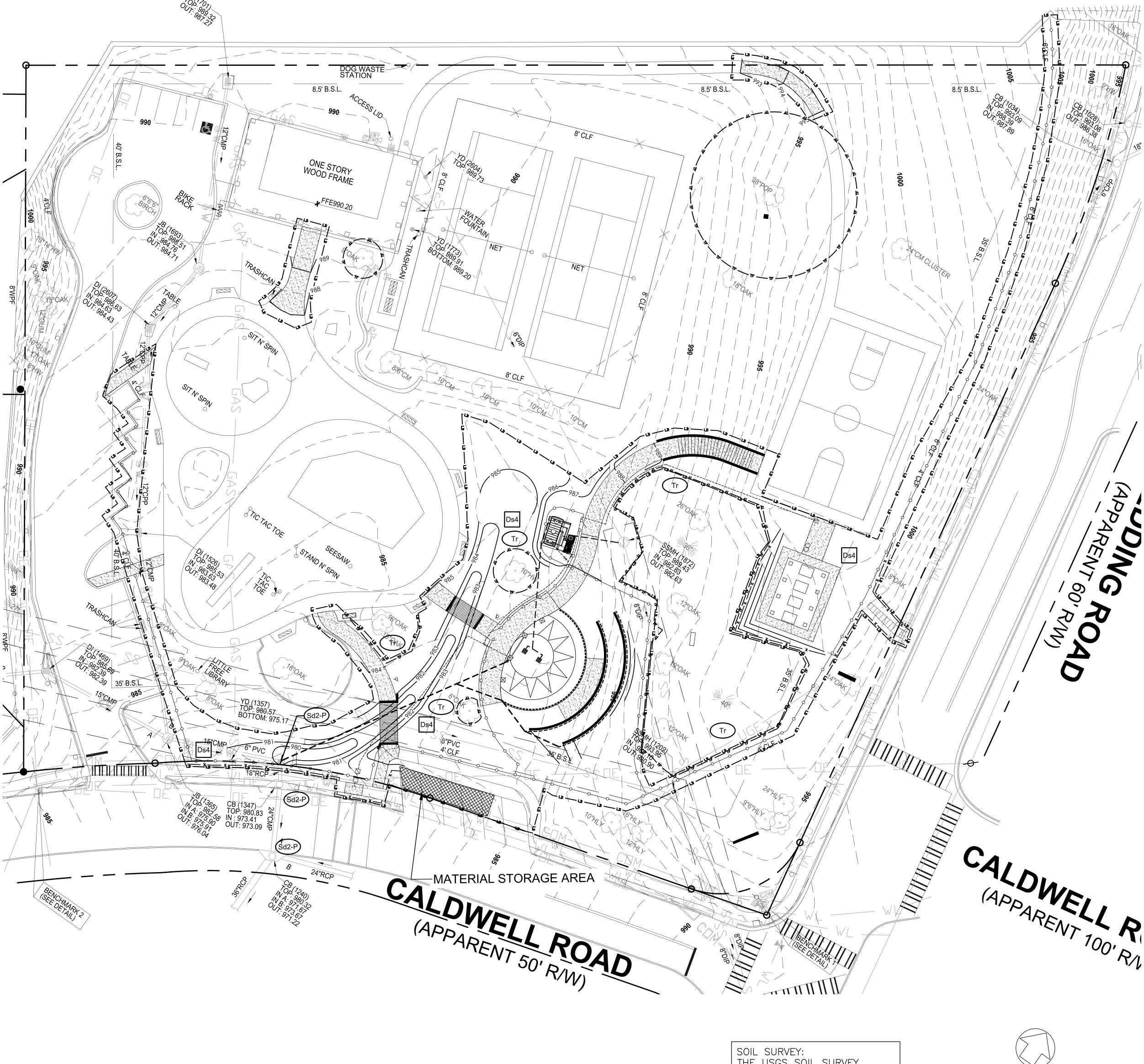
AND CHAPTER 5

3. PLAY AREAS SHALL COMPLY WITH SECTION 240

<u>MPERVIOUS SURFAC</u>

1. TOTAL NEW IMPERVIOUS SURFACE = 4,325 SF

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
Co	CONSTRUCTION EXIT		(LABEL)	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1)	SEDIMENT BARRIER		(INDICATE TYPE)	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP	-Z -Z Z		An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Tr	TREE PROTECTION		(DENOTE TREE CENTERS)	To protect desirable trees from injury during construction activity.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodable or critically eroded lands.



DISTURBANCE LIMITS:

INITIAL PHASE = 0.85 ACRES

INTERMEDIATE = 0.85 ACRES

FINAL PHASE = 0.85 ACRES

STABILIZATION.

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF

EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED

ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS

INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND

STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE

RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO

DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND

BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.

NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN

FINAL PHASE = 0.85 ACRES

EROSION CONTROL INSTALLATION/REMOVAL

EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE EROSION AND SEDIMENT CONTROL MEASURES CAN ONLY BE REMOVED AFTER FINAL SITE

DESCRIPTION OF CONTROLS AND MEASURES

FIRST, EROSION AND SEDIMENT CONTROL MEASURES WILL BE
INSTALLED PRIOR TO LAND DISTURBANCE. AFTER SILT FENCE IS
INSTALLED, CLEARING WILL BE DONE AS NEEDED TO PERFORM
THE MINOR GRADING. THE EROSION AND SEDIMENT CONTROL
MEASURES MUST BE MAINTAINED CONTINUOUSLY AND CAN ONLY
BE REMOVED AFTER FINAL SITE STABILIZATION.

THE USGS SOIL SURVEY
CATEGORIZES ALL SOILS WITHIN
THE PROJECT AREA TO BE:

Ud—URBAN LAND Map Unit Composition Urban land: 100 percent



Level II Certified Design Professional

CERTIFICATION NUMBER ______0000015136

ISSUED: 08/18/2018 EXPIRES: 08/18/2021



SCALE: 1"=20'

NOTE:
SURVEY CONDUCTED BY TERRAMARK
LAND SURVEYING INC., 1396 BELLS
FERRY ROAD, MARIETTA, GEORGIA 30066,
770-421-1927, DRAWING #TM 16 095.

DRAWINGS SCHEDULE

No. Date Description

1 11-26-19 City Permit Revision

2 1-2-20 City Permit Revision

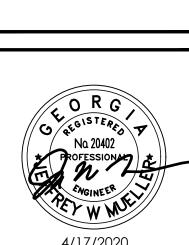
3 3-10-20 Permit Revision

o. Date Description

1 11-26-19 City Permit Revision

2 1-2-20 City Permit Revision

3 3-10-20 Permit Revision



No. 20402
PROFESSIONUP

WMNE

4/17/2020

SHFORD PARK SPLASH
2980 REDDING ROAD

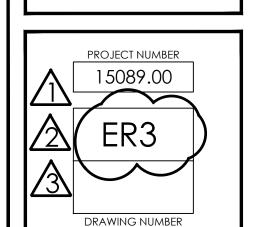
DATE DRAWN CHECKER
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE

FINAL

EROSION CONTROL
PLAN



Construction Exit (Co)

ment trap or sediment basin.

DEFINITION A stone stabilized pad located at any point where traffic will be leaving a construction site to a public right-of-way, street, alley, sidewalk or parking area or any other area where there is a transition from bare soil to a paved area.

PURPOSE To reduce or eliminate the transport of mud from the construction area onto public rights-ofway by motor vehicles or by runoff.

CONDITIONS This practice is applied at appropriate points of construction egress. Geotextile underliners are required to stabilize and support the pad aggre-

DESIGN CRITERIA Formal design is not required. The following

standards shall be used:

Pad Width

6-89

Aggregate Size Stone will be in accordance with National Stone Association R-2 (1.5 to 3.5 inch stone).

Pad Thickness The gravel pad shall have a minimum thickness of 6 inches.

At a minimum, the width should equal full width of all points of vehicular egress, but not less than 20 feet wide. Pad Length

The gravel pad shall have a minimum length

DEFINITION

soil surface.

PURPOSE

COMPLIANCE

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Disturbed Area Stabilization

(With Mulching Only) Ds1

Applying plant residues or other suitable

To reduce runoff and erosion

•To conserve moisture

materials, produced on the site if possible, to the

•To prevent surface compaction or crusting

•To increase biological activity in the soil

to all exposed areas within 14 days of distur-

bance. Mulch can be used as a singular erosion

applied at the appropriate depth, depending on

Maintenance shall be required to maintain

vegetation may be employed instead of mulch if

the area will remain undisturbed for less than six

If any area will remain undisturbed for greater

appropriate depth and 90% cover. Temporary

than six months, permanent vegetative tech-

niques shall be employed. Refer to Ds2 -Dis-

ous 90% cover or greater of the soil surface.

the material used, anchored and have a continu-

control device for up to six months, but it shall be

Mulch or temporary grassing shall be applied

To control undesirable vegetation

REQUIREMENT FOR REGULATORY

To modify soil temperature

of 50 feet. When the construction is less than 50' from the paved access, the length shall be from the edge of existing pavement to the permitted building being constructed.

If the action of the vehicle traveling over the gravel pad does not sufficiently remove the mud, the tires should be washed prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with crushed stone and provisions that intercept the sedimentladen runoff and direct it into an approved sedi-

The exit shall be located or protected to prevent sediment from leaving the site. **CONSTRUCTION SPECIFICATIONS** It is recommended that the egress area be excavated to a depth of 3 inches and be cleared

of all vegetation and roots. **Diversion Ridge** On sites where the grade toward the paved area is greater than 2%, a diversion ridge 6 to 8 inches high with 3:1 side slopes shall be constructed across the foundation approximately 15 feet above the road.

Geotextile The geotextile underliner must be placed the full length and width of the entrance. Geotextile selection shall be based on AASHTO M288-06 specification:

1. For subgrades with a CBR greater than or equal to 3 or shear strength greater than 90 kPa, geotextile must meet requirements of section AASHTO M288-06 Section 7.3, Separation Requirements.

2. For subgrades with a CBR between 1 and 3 or sheer strength between 30 and 90 kPa, geotextile must meet requirements of section AASHTO M288-06 Section 8, Geotextile Property Requirements for Subsurface Drainage, Separation, Stabilization, and Permanent Erosion Control (Geotextile Property Requirements)..

turbed Area Stabilization (With Temporary

(With Permanent Seeding), and Ds4 - Dis-

turbed Area Stabilization (With Sodding).

SPECIFICATIONS

Site Preparation

Mulching Materials

apply at the depth indicated:

application.

vaged and re-used.

mechanical equipment.

Applying Mulch

exposed area.

Mulching Without Seeding

Seeding), Ds3 - Disturbed Area Stabilization

This standard applies to graded or cleared

areas where seedings may not have a suitable growing season to produce an erosion retardant

cover, but can be stabilized with a mulch cover.

applying and anchoring mulch.

terraces and sediment barriers.

1. Grade to permit the use of equipment for

2. Install needed erosion control measures as

3. Loosen compact soil to a minimum depth of

Select one of the following materials and

1. Dry straw or hay shall be applied at a depth of

2. Wood waste (chips, sawdust or bark) shall be

2 to 4 inches providing complete soil cover-

age. One advantage of this material is easy

applied at a depth of 2 to 3 inches. Organic

material from the clearing stage of develop-

ment should remain on site, be chipped, and

applied as mulch. This method of mulching

banks or stockpiled soil material for tem-

porary protection. This material can be sal-

can greatly reduce erosion control costs.

3. Polyethylene film shall be secured over

When mulch is used without seeding, mulch

1. Dry straw or hay mulch and wood chips

shall be applied uniformly by hand or by

shall be applied to provide full coverage of the

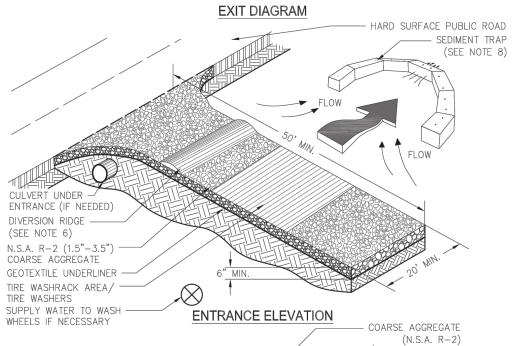
required such as dikes, diversions, berms,

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MAINTENANCE The exit shall be maintained in a condition that will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled,

dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE. 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE). 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6". 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.. 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES. 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE). 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC

Figure 6-14.1

RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES

USED TO TRAP SEDIMENT.

2. If the area will eventually be covered with

perennial vegetation, 20-30 pounds of ni-

trogen per acre in addition to the normal

amount shall be applied to offset the uptake

of nitrogen caused by the decomposition of

3. Apply polyethylene film on exposed areas.

1. Straw or hav mulch can be pressed into

set straight or with a special "packer

and should be 20 inches or more in

the soil with a disk harrow with the disk

disk." Disks may be smooth or serrated

diameter and 8 to 12 inches apart. The edges of the disk should be dull enough

not to cut the mulch but to press it into the

soil leaving much of it in an erect position.

Straw or hay mulch spread with special

blower-type equipment may be anchored.

Tackifers, binders and hydraulic mulch with

tackifier specifically desgined for tacking

straw can be substituted for emulsified

asphalt. Please refer to specification Tac-

Tackifers. Plastic mesh or netting with mesh

installed according to manufacturer's speci-

no larger than one inch by one inch shall be

2. Netting of the appropriate size shall be used

to anchor wood waste. Openings of the net-

3. Polyethylene film shall be anchor trenched

at the top as well as incrementally as

of the wood waste chips.

necessary.

after installation.

ting shall not be larger than the average size

Straw or hay mulch shall be anchored

immediately after application.

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the organic mulches.

Anchoring Mulch

Disturbed Area Stabilization (With Temporary

Dust Control on

Disturbed Areas

Controlling surface and air movement of dust

To prevent surface and air movement of dust

injurious to human health, welfare, or safety,

This practice is applicable to areas subject to

Mulches. See standard Ds1 - Disturbed Area

Stabilization (With Mulching Only). Synthetic

resins may be used instead of asphalt to bind mulch

material. Refer to specification Tac - Tackifiers.

Resins should be used according to manufacturer's

Vegetative Cover. See specification Ds2 -

Spray-on Adhesives. These are used on miner-

Tillage. This practice is designed to roughen

and bring clods to the surface. It is an emergency

al soils (not effective on muck soils). Keep traffic off

these areas. Refer to specification **Tac - Tackifiers**.

Disturbed Area Stabilization (With Temporary

surface and air movement of dust where on and

off-site damage may occur without treatment.

from exposed soil surfaces.

or to animals or plant life.

METHOD AND MATERIALS

A. Temporary Methods

recommendations.

Seeding).

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•To reduce the presence of airborne

substances that may be harmful or

on construction sites, roads, and demolition sites.

DEFINITION

PURPOSE

CONDITIONS



DEFINITION The establishment of temporary vegetative

cover with fast growing seedings for seasonal protection on disturbed or denuded areas. PURPOSE

 To reduce runoff and sediment damage of down stream resources

To protect the soil surface from erosion

 To improve wildlife habitat To improve aesthetics

•To improve tilth, infiltration and aeration as well as organic matter for permanent plantings

REQUIREMENT FOR REGULATORY COMPLIANCE

Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. If an area is expected to be undisturbed for longer than six months, permanent perennial vegetation shall be used. If optimum planting conditions for temporary grassing is lacking, mulch can be used as a singular erosion control device for up to six months but it shall be applied at the appropriate depth, anchored, and have a continuous 90% cover or greater of the soil surface. Refer to specification **Ds1-Disturbed Area Stabilization**

(With Temporary Seeding).

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shall be applied uniformly by hand, cyclone assure economical and effective stabilization. Most types of temporary vegetation are ideal seeder, drill, culti-packer-seeder, or hydraulic seeder (slurry including seed and fertilizer). to use as companion crops until the permanent vegetation is established. Note: Some species Drill or cultipacker seeders should normally of temporary vegetation are not appropriate for place seed one-quarter to one-half inch deep. companion crop plantings because of their po-Appropriate depth of planting is ten times the tential to out-compete the desired species (e.g. seed diameter. Soil should be "raked" lightly

Select a grass or grass-legume mixture suit-

able to the area and season of the year. Seed

use of mulch can often accelerate and enhance

without seeding should be considered for short

term protection. Refer to Ds1 - Disturbed Area

During times of drought, water shall be

erosion. The soil shall be thoroughly wetted to

a depth that will insure germination of the seed.

Subsequent applications should be made when

applied at a rate not causing runoff and

Stabilization (With Mulching Only).

germination and vegetation establishment. Mulch

annual ryegrass). Contact NRCS or the local to cover seed with soil if seeded by hand. SWCD for more information. See Table 6-4.1 SPECIFICATIONS **Grading and Shaping** Temporary vegetation can, in most cases, be Excessive water run-off shall be reduced by established without the use of mulch, provided properly designed and installed erosion control there is little to no erosion potential. However, the

practices such as closed drains, ditches, dikes, diversions, sediment barriers and others. No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hy-

measure that should be used before wind ero-

sion starts. Begin plowing on windward side of

site. Chisel-type plows spaced about 12 inches

apart, spring-toothed harrows, and similar plows

are examples of equipment that may produce the

Irrigation. This is generally done as an emer-

Barriers. Solid board fences, snowfences,

burlap fences, crate walls, bales of hay and similar

material can be used to control air currents and

soil blowing. Barriers placed at right angles to

prevailing currents at intervals of about 15 times

their height are effective in controlling wind erosion.

Calcium Chloride. Apply at rate that will keep

Permanent Vegetation. See specification Ds3

-Disturbed Area Stabilization (With Permanent

Vegetation). Existing trees and large shrubs may

Topsoiling. This entails covering the surface

with less erosive soil material. See specification

Stone. Cover surface with crushed stone or

coarse gravel. See specification Cr-Construction

gency treatment. Site is sprinkled with water until

the surface is wet. Repeat as needed.

surface moist. May need retreatment.

afford valuable protection if left in place.

B. Permanent Methods

Tp - Topsoiling.

Road Stabilization.

CONDITIONS

desired effect.

Seedbed Preparation When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or hand-seeding, seedbed preparation is not required if the soil material is loose and not

draulic seeding equipment is to be used.

Temporary vegetative measures should

be coordinated with permanent measures to

sealed by rainfall. When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place

for seed to lodge and germinate. Lime and Fertilizer Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a the germination period. Bio stimulants should

rate determined by soil test for pH. Quick acting lime should be incorporated to modify pH during also be considered when there is less than 3% organic matter in the soil. Graded areas require lime application. Soils must be tested to determine required amounts of fertilizer and amendments. Fertilizer should be applied before land preparation and incorporated with a disk, ripper, or chisel. On slopes too steep for, or inaccessible to equipment, fertilizer shall be hydraulically applied, preferably in the first pass with seed and some hydraulic mulch, then topped with the remaining required application rate.

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DISTURBED AREA STABILIZATION (WITH SODDING)



A permanent vegetative cover using sods on highly erodible or critically eroded lands.

• Establish immediate ground cover.

• Reduce runoff and erosion. •Improve aesthetics and land value.

 Reduce dust and sediments. Stabilize waterways, critical areas.

• Filter sediments, nutrients and bugs. •Reduce downstream complaints.

•Reduce likelihood of legal action. Reduce likelihood of work stoppage due to legal action.

• Increase "good neighbor" benefits. CONDITIONS This application is appropriate for areas which require immediate vegetative covers, drop inlets,

PLANNING CONSIDERATIONS Sodding can initially be more costly than seeding, but the advantages justify the increased

grass swales, and waterways with intermittent

1. Immediate erosion control, green surface, and quick use.

2. Reduced failure as compared to seed as well as the lack of weeds.

3. Can be established nearly year-round. Sodding is preferable to seed in waterways and swales because of the immediate protection of the channel after application. Sodding must be staked

in concentrated flow areas (See Figure 6-6.1). Consider using sod framed around drop inlets to reduce sediments and maintaining the grade. CONSTRUCTION SPECIFICATIONS

Soil Preparation Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not

frozen surfaces, or gravel type soils. Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with her-

bicides or soil sterilants. Mix fertilizer into soil surface. Fertilize based on soil tests or Table 6-6.1.

Table 6-6.1. Fertilizer Requirements for Soil Surface Application | Fertilizer | Fertilizer | Rate Rate Season (lbs/acre) (lbs/sq ft)

.025

Agricultural lime should be applied based on soil tests or at a rate of 1 to 2 tons per acre.

1000

10-10-10

Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod (See Figure 6-6.2) On slopes steeper than 3:1, sod should be

anchored with pins or other approved methods.

Installed sod should be rolled or tamped to provide

good contact between sod and soil.

Sod should not be cut or spread in extremely wet or dry weather. Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.

Irrigate sod and soil to a depth of 4" immediately

MATERIALS Sod selected should be certified. Sod grown in the general area of the project is desirable.

1. Sod should be machine cut and contain 3/4" (+ or -1/4") of soil, not including shoots or

2. Sod should be cut to the desired size within + or -5%. Torn or uneven pads should be 3. Sod should be cut and installed within 36

hours of digging. 4. Avoid planting when subject to frost heave

or hot weather, if irrigation is not available. 5. The sod type should be shown on the plans or installed according to Table 6-6.2. See Figure 6-4.1 for your Resource Area.

MAINTENANCE Re-sod areas where an adequate stand of sod is not obtained. New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified (See Figure 6-6.2). Apply one ton of agricultural lime as indicate by soil test or every 4-6 years. Fertilize grasses accordance with soil tests or Table 6-6.3.

	Grass	varieties	Area	Season
E	Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L,P,C P,C P,C P,C	warm weather
	Bahiagrass	Pensacola	P,C	warm weather
	Centipede	-	P,C	warm weather
;	St. Augustine	Common Bitterblue Raleigh	С	warm weather
	Zoysia	Emerald Myer	P,C	warm weather
	Tall Fescue	Kentucky	M-L,P	cool weather

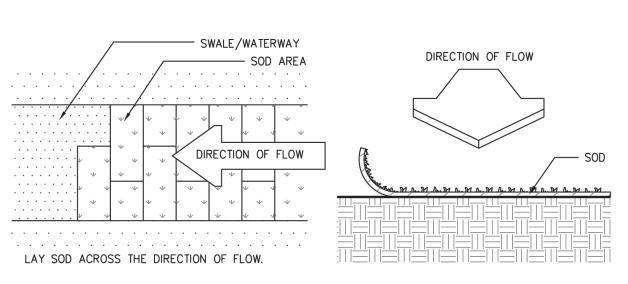
Table 6-6.2 Sod Planting Requirements

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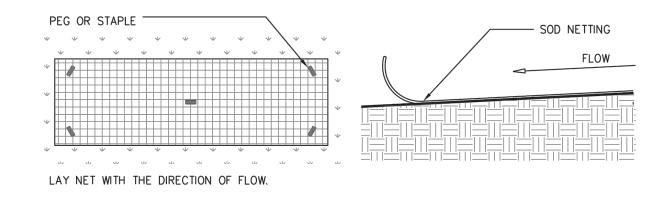
ed		Table 6-6.3 Fertilizer Requirements for Sod				
ated es in	Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)	
	cool season grasses	first second maintenance	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 - 30	
	warm season	first second	6-12-12 6-12-12	1500 800 400	50-100 50-100 30	

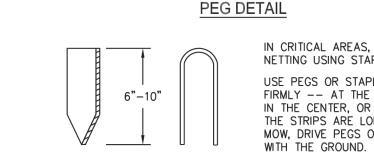
SODDED WATERWAYS

SOD DIRECTIONS



NETTING DIRECTIONS





IN CRITICAL AREAS, SECURE SOD WITH NETTING USING STAPLES. USE PEGS OR STAPLES TO FASTEN SOD FIRMLY -- AT THE ENDS OF STRIPS AND IN THE CENTER, OR EVERY 3-4 FEET IF THE STRIPS ARE LONG, WHEN READY TO MOW, DRIVE PEGS OR STAPLES FLUSH

Source: Va. DSWC

DRAWING NUMBER

 $\mathbf{\Omega}$

SOD MAINTENANCE AND INSTALLATION

SOD LAYOUT AND PREPARATION LAY SOD IN A STAGGERED PATTERN. BUTT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES. INCORRECT <u>BUTTING</u>: ANGLED ENDS CAUSED BY THE AUTOMATIC SOD CUTTER MUST BE MATCHED CORRECTLY.

DIRECTIONS FOR INITIAL MAINTENANCE

ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD

7 MOW WHEN THE SOD IS ESTABLISHED -- IN 2-3 WEEKS. SET THE MOWER

APPEARANCE OF GOOD SOD

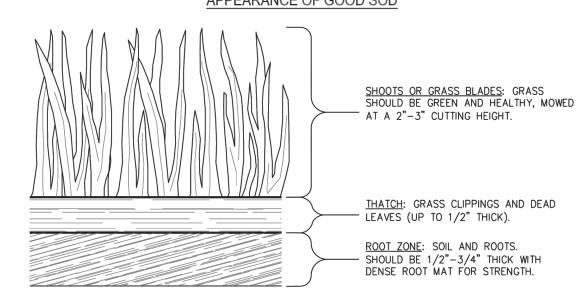


Figure 6-6.2

GSWCC (Amended - 2013)

GSWCC (Amended - 2013)

initial costs:

6-104

GSWCC (Amended - 2013)

Source: Va. DSWC

GSWCC (Amended - 2013)

Figure 6-6

6-105 6-106

15089.00

DRAWINGS SCHEDULE

11-26-19 City Permit Revision

4/17/2020

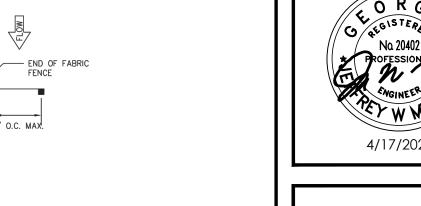
2 1-2-20 City Permit Revision

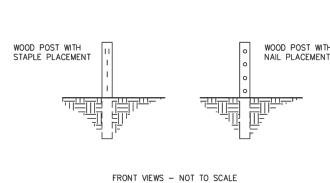
3-10-20 Permit Revision

No. Date Description

scale AS SHOWN SHEET TITLE EROSION CONTROL DETAILS

	DRAWINGS SCHEDULE					
	No.	Date	Description			
	1	11-26-19	City Permit Revision			
	2	1-2-20	City Permit Revision			
	3	3-10-20	Permit Revision			
ı		ı	I			





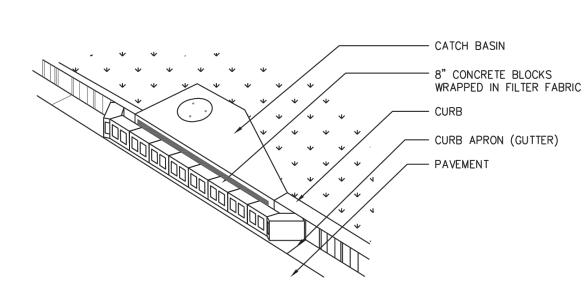
FASTENERS FOR SILT FENCES

OVERLAP AT FABRIC ENDS

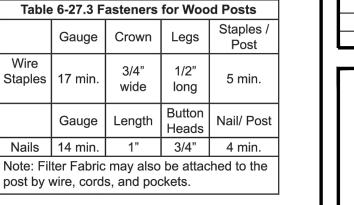
NOTES:

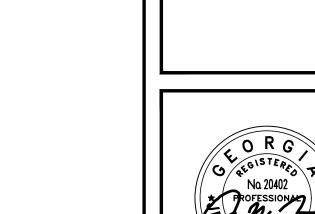
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER. Figure 6-27.5

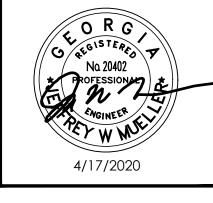
GSWCC 2016 Edition

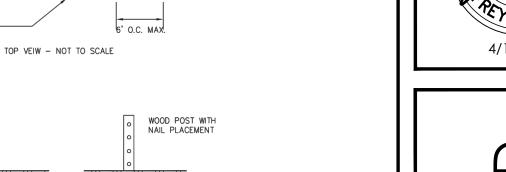


	2012				
DF	RAWII	NGS SCHEDULE			
No.	Date	Description			
1	11-26-19	City Permit Revision			
2	1-2-20	City Permit Revision			
3	3-10-20	Permit Revision			

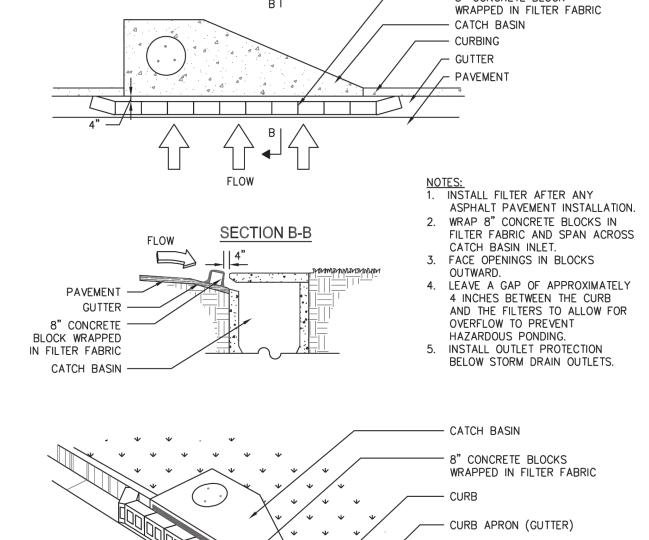




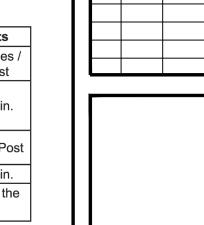


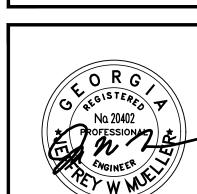


CURB INLET FILTER "PIGS IN BLANKET"



	2012				
DF	DRAWINGS SCHEDULE				
No.	Date	Description			
1	11-26-19	City Permit Revision			
2	1-2-20	City Permit Revision			
3	3-10-20	Permit Revision			





FRONT VIEWS - NOT TO SCALE

Table 6-27.2 Post Size

Soft wood

Oak

Steel

Steel

Size of Post

3"dia or 2x4

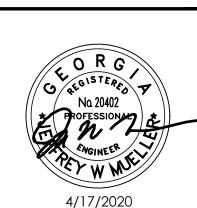
1.15lb./ft. min

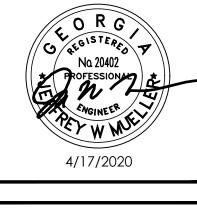
1.15-1.25 lb./

ft. min

1.5" x1.5"

- 8" CONCRETE BLOCK





 $\mathbf{\Omega}$

Figure 6-28.6 Curb Inlet Filter "Pigs in Blanket" GSWCC 2016 Edition



DEFINITION Sediment Barriers are temporary structures made up of a porous material typically supported by steel or wood posts. Types of sediment barriers may include silt fence, brush piles, mulch

berms, compost filter socks or other filtering material. To minimize and prevent sediment carried by sheet flow from leaving the site and entering natural drainage ways or storm drainage systems by slowing storm water runoff and causing the deposition and/or filtration of sediment at the structure. The barriers retain the soil on the dis-

turbed land until the activities disturbing the land are completed and vegetation is established. **CONDITIONS** Barriers should be installed where runoff can

be stored behind the barrier without damaging the submerged area behind the barrier or the other concentrated flow areas. **DESIGN CRITERIA**

structure itself. Sediment barriers shall not be installed across streams, ditches, waterways, or

Inlet Sediment Trap (Sd2

A temporary protective device formed at or

To prevent sediment from entering a storm

of the disturbed area draining to the inlet.

CONDITIONS

from disturbed areas.

DESIGN CRITERIA

BMP is preferred.

GSWCC 2016 Edition

around an inlet to a storm drain to trap sediment.

drainage systems prior to permanent stabilization

All storm drain drop inlets that receive runoff

Through testing there are two different

supported. In areas where BMPs are being used

potentially negative effects of ponding should be

taken into account. In such cases, a high flow

On unpaved areas where ponding will not

taken into account. If high retention is not used

plan and an unpaved application should apply.

they are otherwise protected in an approved

shall be no greater than one acre.

in this situation a rationale shall be given on the

Sediment traps must be self-draining unless

fashion that will not present a safety hazard. The

drainage area entering the inlet sediment trap

If runoff may bypass the protected inlet, a

down slope side of the structure. Also, a stone

temporary dike should be constructed on the

cause a safety hazard, high retention shall be

on paved surfaces, or safety is a concern, the

categories (high retention and high flow)

Sediment barriers are designed to retain sediment transported by sheet flow from disturbed areas. It is important for the design professional to take into account the profile of the product for

use on the site.

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Where all runoff is to be stored behind the sediment barrier (where no storm water disposal system is present), maximum continuous slope length behind a sediment barrier shall not exceed those shown in Table 6-27.1. For longer slope lengths, slope interrupters must be used.

Sediment Barriers should also provide a riprap

splash pad or other outlet protection device for

any point where flow may overtop the sediment

barrier. Ensure that the maximum height of the

barrier at a protected, reinforced outlet does not

exceed 1 foot and that the support spacing does

The drainage area shall not exceed 1/4 acre for every 100 feet of sediment barrier.

not exceed 4 feet.

sensitive.

Table 6-27.1 Criteria for Sediment Barrier Maximum Slope Land Slope Length Above Fence Percent Feet 2 to 5 5 to 10 10 to 20

Non-sensitive Areas * (Sd1-NS

a minimum of 18 inches.

Sediment barriers being used as Type NS shall

filter ring may be used on the up slope side of

the inlet to slow runoff and filter larger soil par-

An excavation may be created around the

minimum storage capacity calculated at the rate

of 67 cubic yards per acre of drainage area. A

minimum depth of 1.5 feet for sediment storage

Sediment traps may be constructed on natu-

ral ground surface, on an excavated surface, or

on machine compacted fill, provided they have a

This method of inlet protection is applicable

where the inlet drains a relatively flat area (slope

no greater than 5%) and shall not apply to inlets

or highway medians. As shown in Figure 6-28.1,

receiving concentrated flows, such as in street

be used. The stakes shall be spaced evenly

around the perimeter of the inlet a maximum of

3 feet apart, and securely driven into the ground,

approximately 18 inches deep. The fabric shall

be 36 inches tall and entrenched 12 inches and

backfilled with crushed stone or compacted soil.

Fabric and wire shall be securely fastened to

the posts, and fabric ends must be overlapped

around a post to provide a continuous fabric bar-

For inlets receiving runoff with a higher vol-

should be used. As shown in Figure 6-28.2, the

baffle box shall be constructed of 2" x 4" boards

spaced a maximum of 1 inch apart or of plywood

with weep holes 2 inches in diameter. The weep

holes shall be placed approximately 6 inches on

center vertically and horizontally. Gravel shall be

placed outside the box, all around the inlet, to a

ume or velocity, a baffle box inlet sediment trap

a minimum of 18 inches or wrapped together

should be provided. Side slopes shall not be

storage. The trap shall be sized to provide a

inlet sediment trap to provide additional sediment

ticles. Refer to Fr-Stone Filter Ring.

CONSTRUCTION SPECIFICATIONS

Excavated Inlet Sediment Trap

steeper than 2:1.

non-erodible outlet.

Filter Fabric with

Supporting Frame

rier around the inlet.

Baffle Box

have a support spacing of no greater than 6 feet

on center, with each being driven into the ground

most taller sediment barriers do. *In areas where the slope is greater than 20%, Post installation shall start at the center of a a flat area length of 10 feet between the toe of slope to the barrier should be provided. low point (if applicable) with the remaining posts spaced no greater than 6 feet apart for Type NS sediment barriers and no greater than 4 feet apart for Type C sediment barriers. For post size The type of sediment barrier depends on requirements, see Table 6-27.2. Fasteners for whether the area is sensitive or nonsensitive.

wood posts are listed in Table 6-27.3. Sensitive areas can be defined as any area that needs additional protection, these areas include Static Slicing Method but are not limited to, state waters, wetlands, or The static slicing machine pulls a narrow any area the design professional designates as When using multiple types of sediment barriers on a site in a single run, the barriers must be overlapped 18 inches or as specified by design professional. See Figure 6-27.5 **CONSTRUCTION SPECIFICATIONS**

Block and Gravel

blade through the ground to create a slit 12" deep, and simultaneously inserts the silt fence fabric into this slit behind the blade. The blade is designed to slightly disrupt soil upward next to the slit and to minimize horizontal compaction, thereby creating an optimum condition for compacting the soil vertically on both sides of the fabric. Compaction is achieved by rolling a tractor wheel along both sides of the slit in the ground 2 to 4 times to achieve nearly the same or greater compaction as the original undisturbed

A brush barrier is a good tool to use in develop-

ing pasture in an agricultural situation to prevent

sediment from leaving the site until the pasture is

If greater filtering capacity is required, a com-

placed on the side of the brush barrier receiving

the sediment-laden runoff. The lower edge of the

fabric must be buried in a 6-inch deep trench im-

mediately uphill from the barrier. The upper edge

the brush barrier. Edges of adjacent fabric pieces

Sediment barriers should be installed along

Temporary sediment barriers shall be installed

must be stapled, tied or otherwise fastened to

must overlap each other. See Figure 6-27.5.

according to the following specifications as

shown on the plans or as directed by the design

For installation of the barriers, See Figures

It is important to remember that not all sediment

barriers need to be trenched into the ground but

6-27.1, 6-27.2, 6-27.3 and 6-27.4, respectively.

mercially available sediment barrier may be

stabilized.

the contour.

Temporary sediment barriers shall remain in posed of before the barrier is removed.

a distance of 4 feet from each side of the inlet

structure. Sod strips shall be staggered so that

Once pavement has been installed, a curb

runoff from disturbed areas. This method of inlet

protection shall be removed if a safety hazard is

One method of curb inlet protection uses

wrapped in filter fabric. See Figure 6-28.6. An-

other method uses gravel bags constructed by

wrapping DOT #57 stone with filter fabric, wire,

A gap of approximately 4 inches shall be left

between the inlet filter and the inlet to allow for

overflow and prevent hazardous ponding in the

roadway. Proper installation and maintenance

are crucial due to possible ponding in the road-

Several other methods are available to prevent

way, resulting in a hazardous condition.

the entry of sediment into storm drain in-

"pigs-in-a-blanket"- 8-inch concrete blocks

plastic mesh, or equivalent material.

inlet filter shall be installed on inlets receiving

adjacent strip ends are not aligned.

Curb Inlet Protection

place until disturbed areas have been permanently stabilized. All sediment accumulated at the barrier shall be removed and properly dis-

soil. This vertical compaction reduces the air

spaces between soil particles, which minimizes

infiltration. Without this compaction infiltration

can saturate the soil, and water may find a path-

way under the fence. When a silt fence is hold-

ing back several tons of accumulated water and

sediment, it needs to be supported by posts that

are driven 18 inches into the soil. Driving in the

posts and attaching the fabric to them completes

Trenching machines have been used for

over twenty-five years to dig a trench for burying

part of the filter fabric underground. Usually the

Post setting and fabric installation often precede

more difficult to achieve. EPA supported an inde-

which compared three progressively better varia-

tions of the trenching method with static slicing

method. The static slicing method performed

better than two lower performance levels of the

trenching method, and was as good as or better

than the trenching method's highest performance

quired nearly triple the time and effort to achieve

Along all state waters and other sensitive

shall be used. The two rows of Type S should

Sediment shall be removed once it has

they have deteriorated to such an extent that the

effectiveness of the product is reduced (approxi-

mately six months) or the height of the product

is not maintaining 80% of its properly installed

accumulated to one-half the original height of

Sediment barriers shall be replaced whenever

areas, two rows of Type S sediment barriers

be placed a minimum of 36 inches apart.

results comparable to the static slicing method.

level. The best trenching method typically re-

trench is about 2-"6" wide with a 6" excavation.

compaction, which make effective compaction

pendent technology evaluation (ASCE 2001),

Trenching Method

the barrier.

TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN When a SEDIMENT BARRIER is used, show the product height in inches for each barrier being used on site. GSWCC 2016 Edition

in Type C filter fabric that shall be entrenched 12

inches and backfilled. Drop Inlet Protection

This method of inlet protection is applicable where heavy flows are expected and where an overflow capacity is necessary to prevent excessive ponding around the structure. As shown in Figure 6-28.3, one block is placed on each side of the structure on its side in the bottom row to allow pool drainage. The foundation should be excavated at least 2 inches below the crest of the storm drain. The bottom row of blocks is placed against the edge of the storm drain for lateral support and to avoid washouts when overflow occurs. If needed, lateral support may be given to subsequent rows by placing 2" x 4" wood studs through block openings. Hardware cloth or comparable wire mesh with 1/2 inch openings shall be fitted over all block openings to hold gravel in place. Clean gravel should be placed 2 inches below the top of the block on a 2:1 slope

or flatter and smoothed to an even grade. DOT #57 washed stone is recommended.

This method of inlet protection is applicable where heavy concentrated flows are expected. As shown in Figure 6-28.4, stone and gravel are used to trap sediment. The slope toward the inlet shall be no steeper than 3:1. A minimum 1 foot wide level stone area shall be left between the structure and around the inlet to prevent gravel from entering the inlet. On the slope toward the inlet, stone 3 inches in diameter and larger should be used. On the slope away from the inlet, 1/2 to 3/4 inch gravel (#57 washed stone) should be used at a minimum thickness of 1 foot.

This method of inlet protection is applicable only at the time of permanent seeding, to protect the inlet from sediment and mulch material until permanent vegetation has become established. As shown in Figure 6-28.5, the sod shall be placed to form a turf mat covering the soil for

Figure 6-28.7 shows one of these alternative **MAINTENANCE** The trap shall be inspected daily and after each rain, and repairs made as needed. Sedi-

ment shall be removed when the sediment has accumulated to one-half the height of the trap. Sediment shall be removed from curb inlet protection immediately. For excavated inlet sediment traps, sediment shall be removed when one-half of the sediment storage capacity has been lost to sediment accumulation. Sod inlet protection shall be maintained as specified in **Ds4 - Dis**turbed Area Stabilization (With Sodding). Sediment shall not be washed into the inlet. It

posed of and stabilized so that it will not enter the inlet again. When the contributing drainage area has been permanently stabilized, all materials and

shall be removed from the sediment trap, dis-

Sod Inlet Protection (Sd2-S)

any sediment shall be removed, and either

6-148

depth of 2 to 4 inches. The entire box is wrapped

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*FABRIC ENTRENCHED AT

WITH CRUSHED STONE OR

COMPACTED SOIL.

LEAST 12" AND BACKFILLED

SILT FENCE - TYPE C

SIDE VIEW

FRONT VIEW

FABRIC

(WOVEN WIRE FENCE OR

ALTERNATIVE BACKING)

NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION,

2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION

Figure 6-27.2

FABRIC AND SUPPORTING FRAME FOR

INLET PROTECTION

STEEL FRAME AND TYPE C SILT FENCE INSTALLATION

. DESIGN IS FOR SLOPES NO GREATER THAN 5%

2. THE STEEL POSTS SUPPORTING THE SILT FÉNCE

(NOT DESIGNED FOR CONCENTRATED FLOWS).

MATERIAL SHOULD BE SPACED EVENLY AROUND

THE PERIMETER OF THE INLET (MAXIMUM OF 3'

12" AND THEN BACKFILLED WITH CRUSHED STONE

3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN

4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST

AT LEAST 18" DEEP.

OR COMPACTED SOIL.

- DROP INLET WITH GRATE

CRUSHED STONE OR COMPACTED SOIL

- FABRIC WITH WIRE-BACKING SUPPORT

--- BURIED FABRIC

WIRE-BACKING

—— GATHER EXCESS AT CORNERS

AND POLLUTION CONTROL PLAN.

GSWCC 2016 Edition

Figure 6-28.1 - Fabric and Supporting Frame For Inlet Projection 6-150

6-154

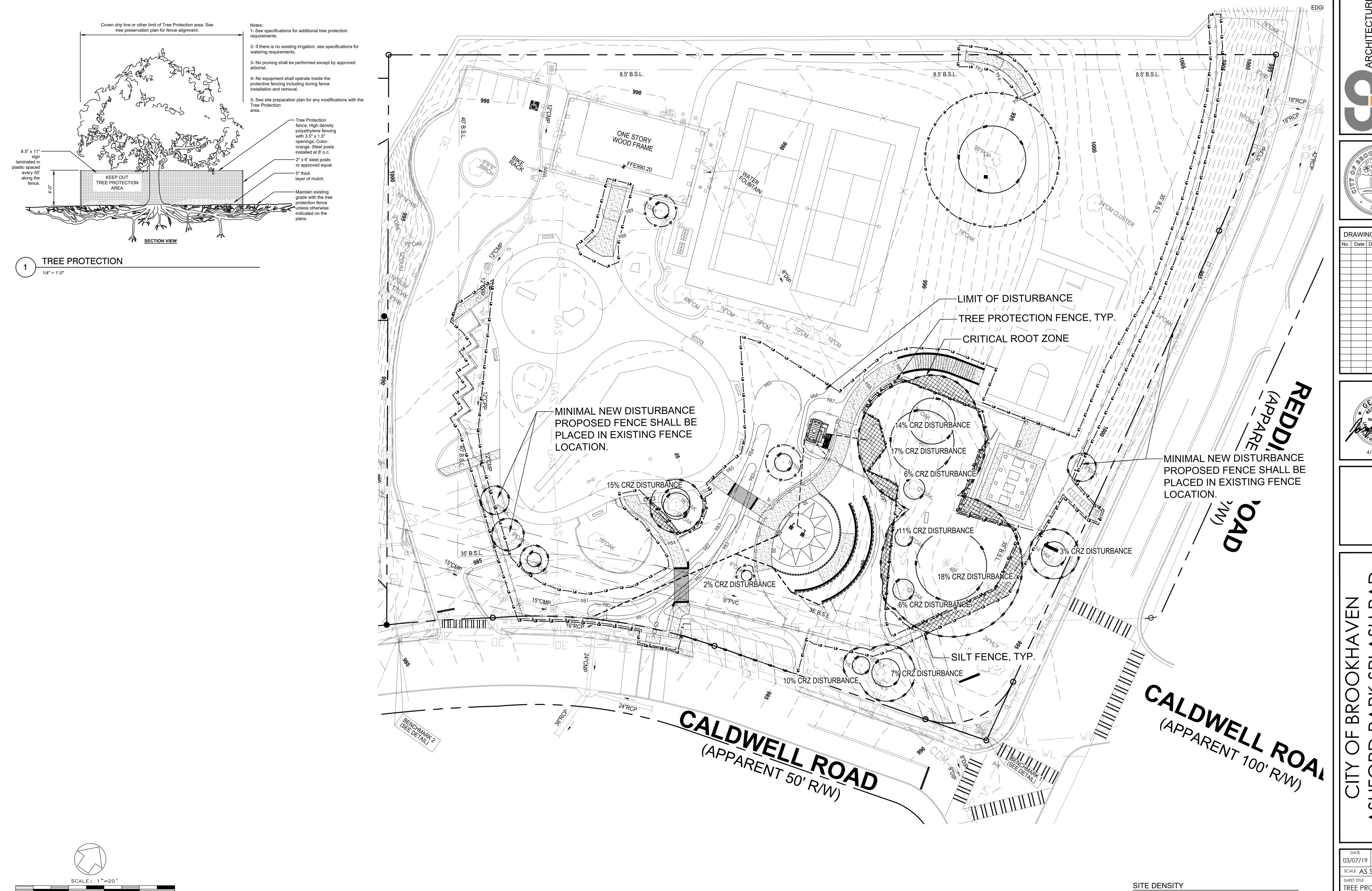
15089.00 DRAWING NUMBER

scale AS SHOWN

EROSION CONTROL

DETAILS

SHEET TITLE



NOTE: SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #TM 16 095.



SITE AREA = 3.4 AC.
REQUIRED = 3.4 X 120 INCHES = 408"
EXISTING SITE DENSITY = 662"
NO TREES REMOVED OR DESTROYED.
EXISTING SITE DENSITY EXCEEDS SATISFIES DENSITY
REQUIREMENT

SPECIMEN TREES NO SPECIMEN TREES REMOVED PROJECT NUMBER 15089.00

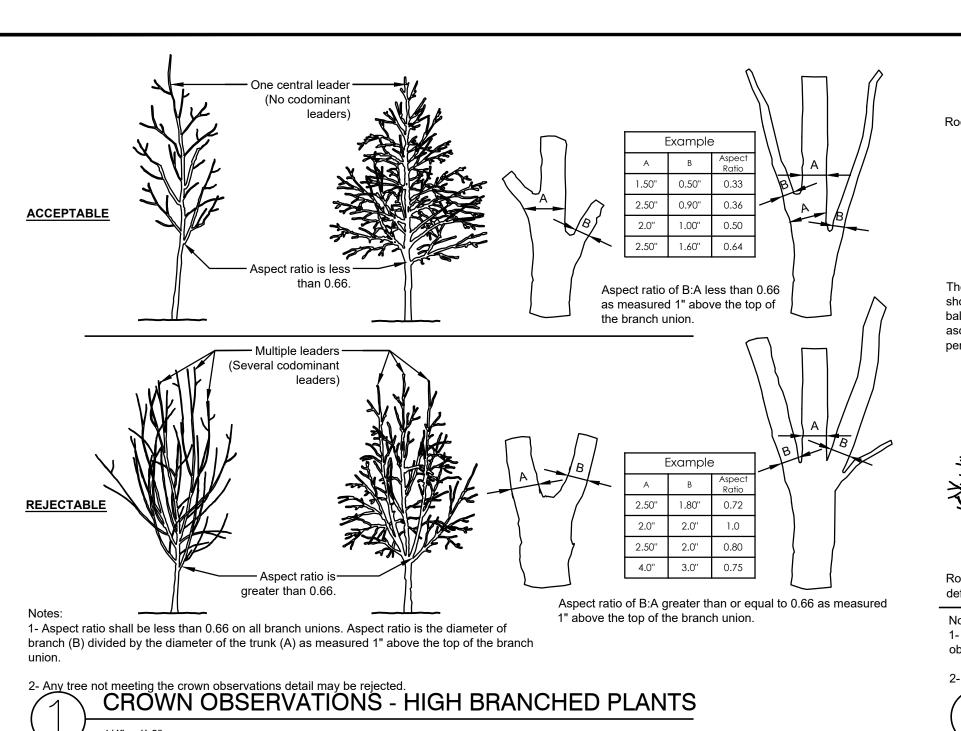
DRAWING NUMBER

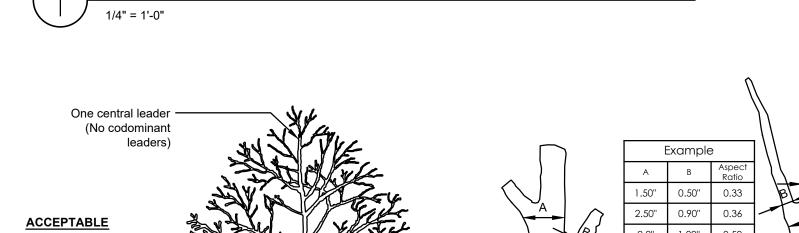
scale AS SHOWN

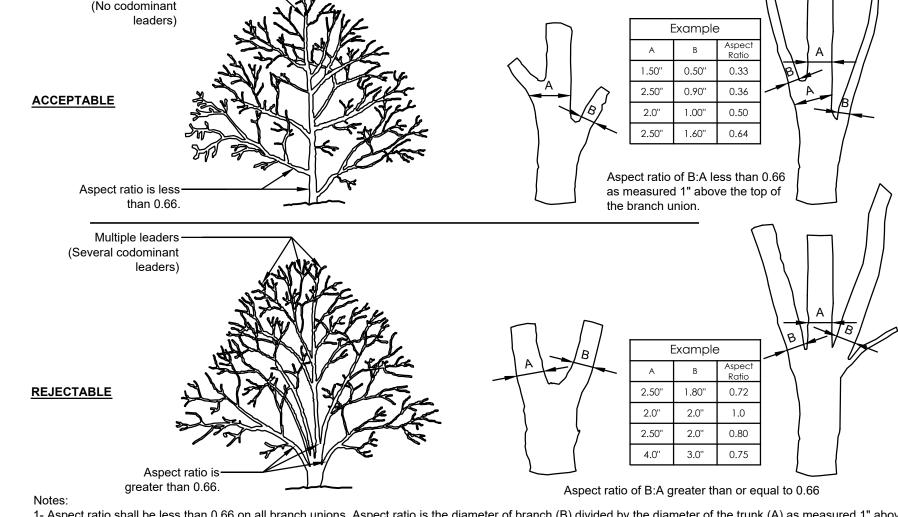
TREE PROECTION AND REPLACEMENT PLAN

SHEET TITLE

DRAWINGS SCHEDULE



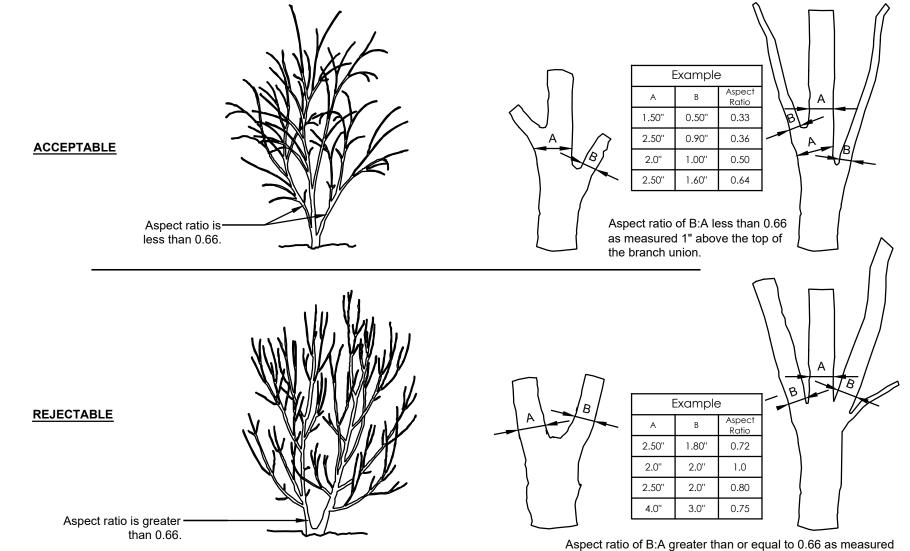




1- Aspect ratio shall be less than 0.66 on all branch unions. Aspect ratio is the diameter of branch (B) divided by the diameter of the trunk (A) as measured 1" above the top of the branch union.

2- Any tree not meeting the crown observations detail may be rejected.

CROWN OBSERVATIONS - LOW BRANCHED PLANTS



1" above the top of the branch union. 1- Aspect ratio shall be less than 0.66 on all branch unions. Aspect ratio is the diameter of branch

(B) divided by the diameter of the trunk (A) as measured 1" above the top of the branch union.

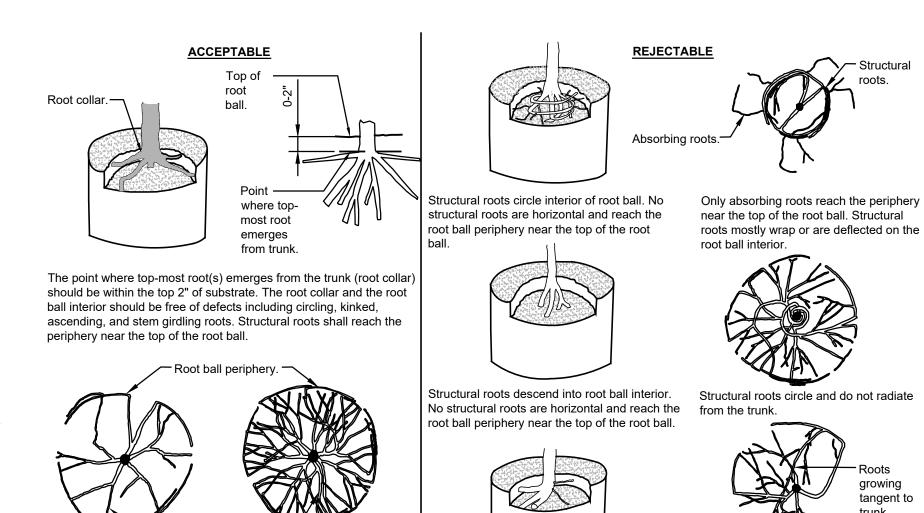
2- Any tree not meeting the crown observations detail may be rejected.

CROWN OBSERVATION - MULTI BRANCHED PLANTS 1/4" = 1'-0"

ructural roots circle interior of root ball. No Only absorbing roots reach the periphery structural roots are horizontal and reach the near the top of the root ball. Structural most root root ball periphery near the top of the root roots mostly wrap or are deflected on the emerges root ball interior. The point where top-most root(s) emerges from the trunk (root collar) should be within the top 2" of substrate. The root collar and the root ball interior should be free of defects including circling, kinked, ascending, and stem girdling roots. Structural roots shall reach the periphery near the top of the root ball. Structural roots descend into root ball interior. Structural roots circle and do not radiate No structural roots are horizontal and reach the from the trunk. root ball periphery near the top of the root ball. growing tangent Roots radiate from trunk and reach side of root ball without Structural roots missing from one side, defecting down or around. Structural roots primarily grow to one side. and/or grow tangent to trunk.

1- Observations of roots shall occur prior to acceptance. Roots and soil may be removed during the observation process; substrate/soil shall be replaced after the observations have been completed.

2- See specifications for observation process and requirements. ROOT OBSERVATIONS - BALLED AND BURLAPPED PLANTS



and/or grow tangent to trunk. Structural roots primarily grow to one side. 1- Observations of roots shall occur prior to acceptance. Roots and substrate may be removed during the observation process; substrate/soil shall be replaced 2- Small roots (¼" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periperhy can be removed at the time of planting. (See root ball shaving container detail). 3- See specifications for observation process and requirements.

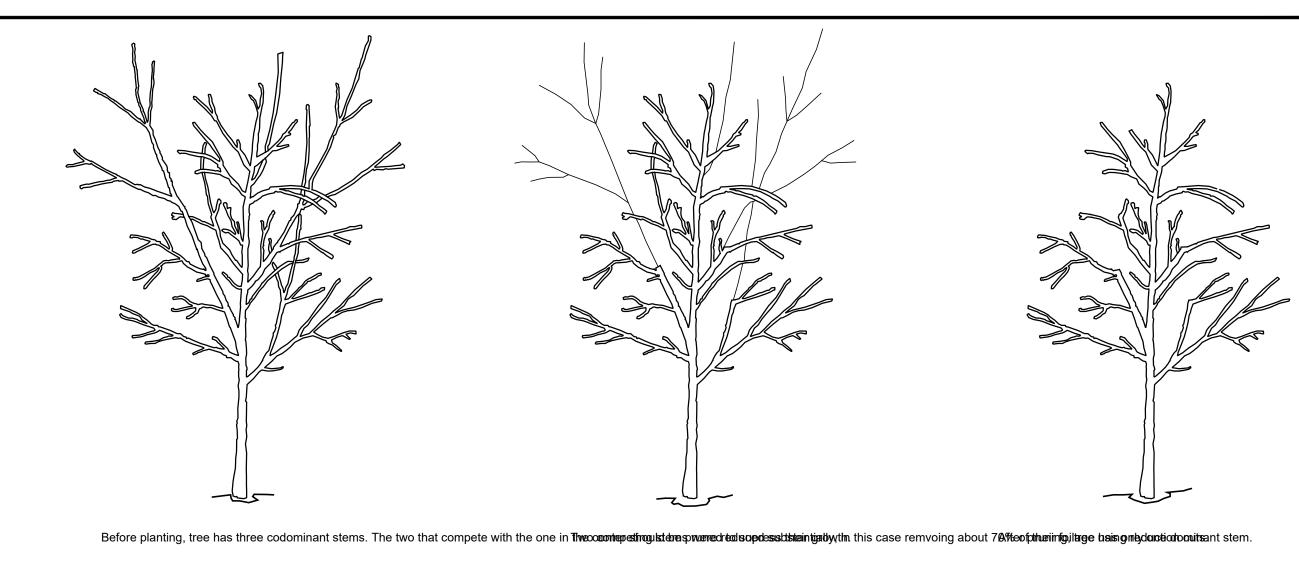
ROOT OBSERVATIONS - CONTAINER PLANTS

Roots radiate from trunk and reach side of root ball without

deflecting down or around.

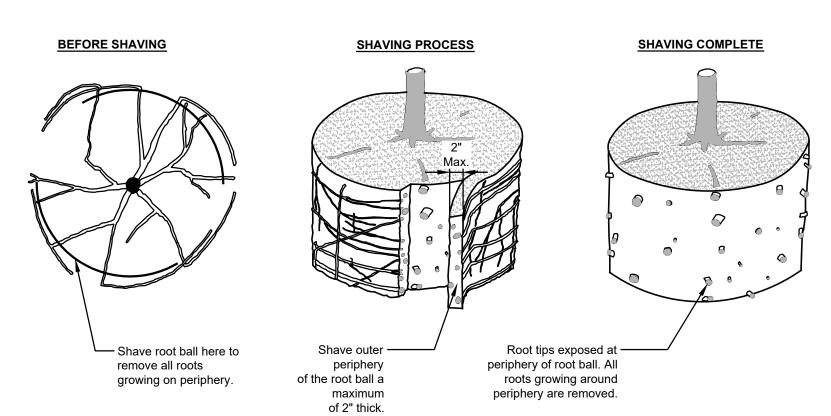
SEE LANDSCAPE NOTES SHEET

LANDSCAPE SELECTION DETAILS



1- All trees shown are rejectable unless they undergo recommended treatment. 2- Tree shall meet crown observation detail following correction.

CROWN CORRECTION DETAIL

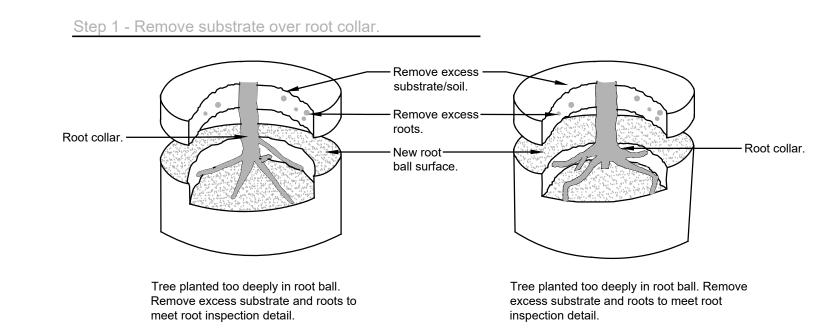


1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball. 2- Shaving can be performed just prior to planting or after placing in the hole.

ROOT BALL SHAVING - CONTAINER PLANTS

SEE LANDSCAPE NOTES SHEET

DETAILS



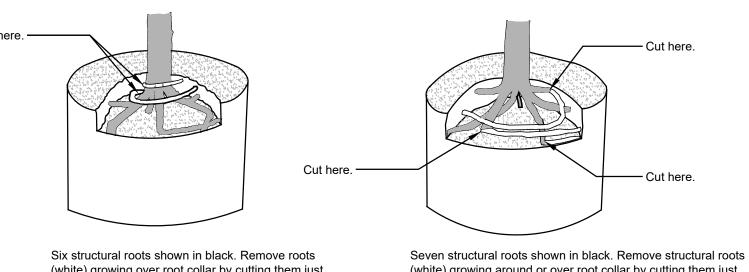
Five structural (large) roots shown in black.

Remove structural root (white) wrapping

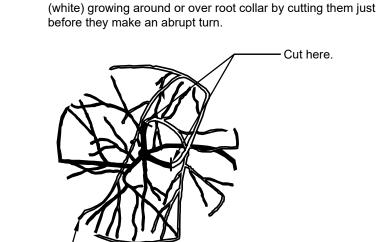
Step 2 - Remove defects

root collar.

Four structural roots shown in black. Remove root (white) growing over structural roots.

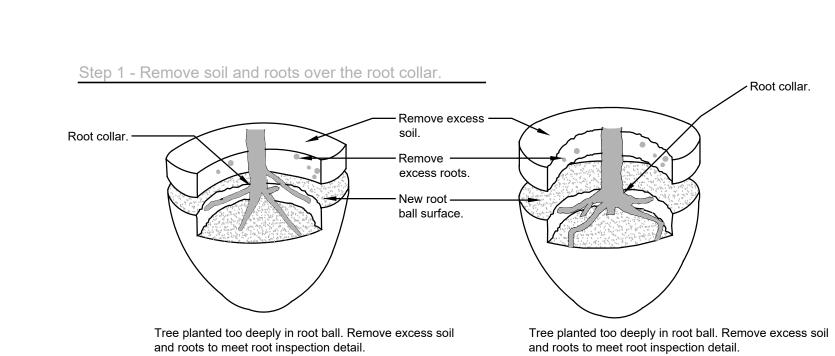


(white) growing over root collar by cutting them just before they make an abrupt turn.



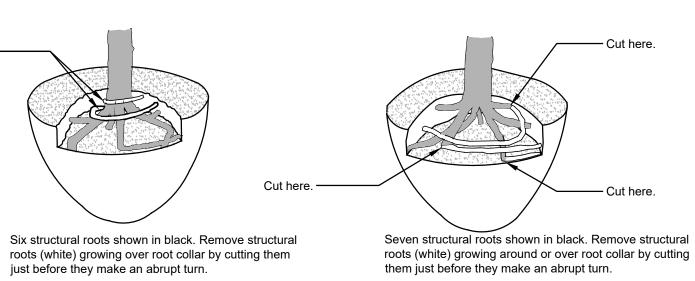
Cut structural root just before it makes abrupt Cut structural roots just before they make abrupt turn. Pruning cut should be made tangent turn by cutting tangent (parallel) to the trunk (parallel) to the trunk.

(two cuts shown). 1- All trees shown are rejectable unless they undergo recommended correction.



Step 2 - Remove defects. Five structural (large) roots shown in black. Remove

Four structural roots shown in black. Remove root (white) growing over structural roots. structural (white) root wrapping root collar.



Remove structural roots (4 shown in black) deflected on root ball periphery. Small roots (1/4" or less) at the periphery of the root ball are not defined as defects and do not need to be removed.

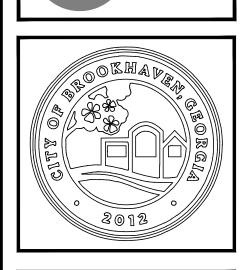
1- All trees shown are rejectable unless they undergo recommended correction. 2- First step 1, then step 2. Adjust hole depth to allow for the removal of excess soil and roots over the root collar. 3- Roots and soil may be removed during the correction process; substrate/soil shall be replaced after the correction has been completed. 4- Trees shall pass root observations detail following correction.

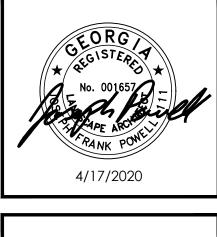
Remove structural roots (4 shown in

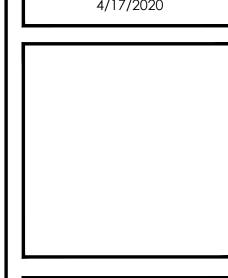
black) extending from root ball.

ROOT CORRECTION - BALLED AND BURLAPPED PLANTS









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SCALE AS SHOWN LANDSCAPE SELECTION AND CORRECTION DETAILS

> PROJECT NUMBER 15089.00

DRAWING NUMBER

2- First Step 1, then Step 2. Roots and soil may be removed during the correction process; substrate/soil shall be replaced after correction has been completed. 3- Trees shall meet root observations detail following correction. 4- Small roots (1/4" or less) on the periphery of the root ball are common with container plant production. These small roots are not defined as "defects" and can be addressed at the time of installation (See root ball shaving container detail). 1-800-282-7411 **ROOT CORRECTION - CONTAINER PLANTS** Know what's below. Call before you dig.

2. THE CONTRACTOR'S PRICE SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, INCLUDING BUT NOT LIMITED TO, MULCH, PLANTING MATERIAL, SOIL MIX, STAKING MATERIAL, WATERING, MAINTENANCE DURING CONSTRUCTION, GROUND CULTIVATION TO A MINIMUM DEPTH OF 6 INCHES OR AS INDICATED ON PLANS FOR PLANTING BEDS AND SOD AREAS, ETC.

TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.

3. GROUND CULTIVATION INCLUDES SCALPING AND REMOVING EXISTING VEGETATION DOWN TO THE SUB-GRADE. ROTOTIL 3 INCHES OF ADDITIVES SUCH AS TOP SOIL, SAND OR COMPOST (PER SOIL TEST ANALYSIS INTO THE SUBGRADE TO BREAK THROUGH AND REMOVE ALL HARDPAN. ROCKS AND DEBRIS. THIS WILL ALLOW PERCOLATION AND POSITIVE DRAINAGE. IF A ROTOTILER IS NOT SUFFICIENT TO BREAK UP THE SUBGRADE, THE CONTRACTOR IS RESPONSIBLE FOR ADDITIONAL EQUIPMENT NEEDED TO COMPLETE THE WORK AT NO ADDITIONAL EXPENSE TO THE

4. CONTRACTOR SHALL PROVIDE INVOICES OF ALL PLANT MATERIAL TO OWNER AND LANDSCAPE ARCHITECT DURING CONSTRUCTION.

5. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES TO PREVENT AND MINIMIZE EROSION AND SEDIMENTATION. BMPS SHALL BE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION.

6. IN CONFORMANCE WITH GDOT STANDARD SPECIFICATIONS, PLANT INSTALLATION SHALL OCCUR BETWEEN THE DATES OF OCTOBER 15 AND MARCH.

7. THE LANDSCAPE CONTRACTOR SHALL IMPLEMENT ALL MEASURES REQUIRED BY THE CITY OF BROOKHAVEN AND DEKALB COUNTY.

8. THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD. EQUIPMENT MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES SHOWN ON THESE DRAWINGS BEFORE PRICING THE WORK, AND WILL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIAL ACCORDING TO PLANS. THE PLANT SCHEDULE IS PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY.

10. PROVIDE PLANT MATERIALS TRUE TO SPECIES AND VARIETY COMPLYING WITH RECOMMENDATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERY MEN.

11. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE'S APPROVAL SHALL BE DONE WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO PLANT INSTALLATION.

ELIMINATION OF EXISTING VEGETATION AND REPLACEMENT WITH PROPOSED VEGETATION:

1. THIS PROJECT MAY REQUIRE THE ELIMINATION OF EXISTING VEGETATION IN ORDER TO INSTALL LANDSCAPING AS SHOWN ON PLANS. EXISTING VEGETATION CONSISTS OF VARIOUS TURF GRASSES AND WEEDS. IF SO, THE CONTRACTOR SHALL ELIMINATE EXISTING VEGETATION BY SPRAYING WITH 2 SEPARATE APPLICATIONS OF ROUNDUP HERBICIDE (GLYPHOSATE), OR APPROVED EQUAL PER MANUFACTURERS RECOMMENDATIONS. THE FIRST HERBICIDE APPLICATION SHALL OCCUR ON THE ENTIRE PROJECT AREA AFTER WINTER DORMANCY WHEN THERE IS SIGNIFICANT ACTIVE GROWTH OF GRASSES AND WEEDS. THE OPTIMAL TIME FOR THIS HERBICIDE APPLICATION IS THE FIRST WEEK IN APRIL. THE SECOND APPLICATION SHALL OCCUR ON ALL PROPOSED REVEGETATED AREAS WHEN THERE IS SIGNIFICANT ACTIVE GROWTH AFTER THE FIRST HERBICIDE APPLICATION. THE SECOND APPLICATION SHALL OCCUR AT LEAST 4 WEEKS (28 DAYS) AFTER THE FIRST APPLICATION. BOTH SPRAYINGS SHALL OCCUR ON ALL LANDSCAPE MEDIAN AREAS. SUBSEQUENT INSTALLATION WORK SHALL BE DIVIDED INTO PHASES AS DELINEATED ON THE PLANS.

2. CONTRACTOR SHALL COMMENCE EACH PHASE BY SCALPING (MOWING AS CLOSELY TO THE ROUND AS POSSIBLE) ALL EXISTING VEGETATION WITHIN THE LIMITS OF DISTURBANCE FOR THAT PHASE. THE CONTRACTOR SHALL NOT SCALP UNTIL AT LEAST 10 DAYS HAVE PASSED FOLLOWING THE FINAL HERBICIDE APPLICATION. PLANTING OPERATIONS SHALL OCCUR IMMEDIATELY FOLLOWING THE SCALPING OF THE EXISTING VEGETATION. THE CONTRACTOR SHALL COMPLETE ALL WORK ON A PHASE AND SHALL HAVE THAT WORK INSPECTED AND APPROVED BY AN AUTHORIZED REPRESENTATIVE OF THE CITY OF BROOKHAVEN PRIOR TO COMMENCING WORK ON ANY OTHER

NURSERY STOCK SELECTION:

SPECIFIED.

1. PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.

2. PLANTS SHALL BE SPECIMEN QUALITY, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF DISEASES, INSECTS, EGGS,

LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS AND/OR DISFIGUREMENT. 3. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50 PERCENT OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE

4. HARDWOOD TREES SHALL HAVE STRAIGHT TRUNKS WITH CENTRAL LEADERS. DO NOT HANDLE PLANTS BY THE TRUNK.

5. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.

AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.

ALL NEWLY PLANTED TREES SHALL HAVE VISIBLE ROOT FLARES AT FINISHED GRADE. NO CIRCLING ROOTS SHALL BE ALLOWED ON PLANTED TREES. THE UPPER TWO RINGS OF THE WIRE BASKET, ALL BURLAP, AND STRAPPINGS MUST BE CUT AND REMOVED PRIOR TO BACKFILL.

8. TREES LESS THAN THE CALIPER INCH SHOWN ON THE PLANS WILL NOT BE ACCEPTED.

9. PLANT HEIGHT MEASUREMENT IS TAKEN AT THE TOP OF THE MAIN BODY OF THE PLANT AND NOT AT THE TIP OF THE TOP MOST GROWTH.

11. SEE CROWN AND ROOT OBSERVATIONS DETAILS ON LANDSCAPE DETAILS SHEETS.

PLANTING SOIL MIX:

1. CONTRACTOR SHALL SUPPLY TOP SOIL AND PLANTING SOIL MIX.

2. THE CONTRACTOR SHALL SUPPLY A SOIL REPORT THROUGH THE LOCAL EXTENSION SERVICE OF EXISTING SOILS TO SHOW RECOMMENDED AMENDMENTS.

3. THE CONTRACTOR SHALL SUPPLY A SECOND SOIL REPORT OF PROPOSED SOIL MIX WHICH SHALL MEET THE RECOMMENDATIONS IN THE FIRST SOIL REPORT.

4. EXISTING AND PROPOSED SOIL REPORTS MUST BE APPROVED BY THE OWNER OR OWNERS

REPRESENTATIVE PRIOR TO ANY BACKFILLING.

5. THE PROPOSED PLANTING SOIL MIX MUST BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO ANY BACKFILLING.

ALLOWANCES: 6. THE PLANTING SOIL MIX FOR ON-GRADE PLANTINGS (TREES, SHRUBS & GROUND COVERS) SHALL CONSIST OF THE FOLLOWING:

80% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT) 20% PREPARED ADDITIVES SHALL BE PER SOIL REPORT OR BY VOLUME AS FOLLOWS: 2 PARTS HUMUS AND/OR PEAT

1 PART STERILIZED COMPOSTED COW MANURE 1 PART SHREDDED, COMPOSTED HARDWOOD MULCH

7. PLANTING SOIL MIX FOR PERENNIAL BEDS CONSIST OF THE FOLLOWING: 70% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT) 30% PREPARED ADDITIVES SHALL BE PER SOIL REPORT OR BY VOLUME AS FOLLOWS: 2 PARTS HUMUS AND/OR PEAT

8. GYPSUM, LIME AND COMMERCIAL FERTILIZER SHALL ONLY BE USED AS PRESCRIBED IN THE

1 PART (50% STERILIZED COMPOSTED COW MANURE AND 50% ANGULAR BUILDERS SAND)

9. ALLOWANCES SUBJECT TO CHANGE BASED ON SOIL REPORT.

1 PARTS SHREDDED, COMPOSTED HARDWOOD MULCH

WATERING/IRRIGATION:

REPLENISHED WHERE NECESSARY.

SOIL REPORT.

1. WATERING AFTER INSTALLATION AND WATER TRANSPORTATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

2. USE OF TREE CAMEL, OOZE TUBES OR TREE GATOR BAGS FOR TREES ARE ACCEPTABLE.

3. MULCH SHOULD BE INSPECTED EVERY 3 MONTHS TO ENSURE A DEPTH OF 4-INCHES AND

4. THE CONTRACTOR SHALL INSTALL A TEMPORARY IRRIGATION SYSTEM IN ORDER TO ESTABLISH INSTALLED PLANT MATERIAL. SUBMIT A PLAN FOR A TEMPORARY SYSTEM TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION, AND OBTAIN APPROVAL AS WARRANTED BY ALL GOVERNING AGENCIES HAVE JURISDICTION. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FULL AND COMPLETE COVERAGE TO ALL LANDSCAPED AREAS OF THE SITE INDICATED ON THE LANDSCAPE PLAN.

5. ALL MATERIALS USED IN THE DESIGN OF THE TEMPORARY SYSTEM, INCLUDING SPRINKLER HEADS, VALVES, VALVE BOXES, CONTROLLERS, PUMPS, BACKELOW PREVENTORS, RAIN AND FREEZE SENSORS, DRIP EQUIPMENT, WIRE, ELECTRICAL CONNECTIONS, AND PVC PIPE AND FITTINGS, SHALL MEET MINIMUM INDUSTRY STANDARDS. MANUFACTURER AND MODEL MUST BE SPECIFIED.

6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY SYSTEM AFTER SUBSTANTIAL COMPLETION IS OBTAINED.

7. IF NO TEMPORARY SYSTEM IS PROPOSED, THE CONTRACTOR SHALL DEVELOP A SCHEDULE FOR MANUAL WATERING OF PLANTS.THIS SCHEDULE SHOULD BE INCLUDED IN ANY MAINTENANCE AGREEMENT AND/OR BONDING OF LANDSCAPE MATERIAL AND SHOULD INDICATE THE PARTY RESPONSIBLE FOR PERFORMING THE MANUAL WATERING. THE DURATION OF THE SCHEDULE OF MANUAL WATERING SHOULD BE EQUAL TO THE DURATION OF THE BOND PERIOD OR 12 MONTHS STARTING FROM THE INSTALLATION DATE, WHICHEVER IS GREATER. THE SCHEDULE SHOULD ALSO INDICATE THE AMOUNT OF WATER TO BE APPLIED PER WEEK. THE FOLLOWING IRRIGATION RATES ARE OFFERED AS A GUIDELINE; HOWEVER, THE SUPPLIER OF THE LANDSCAPE MATERIAL SHOULD BE CONSULTED FOR THEIR RECOMMENDATIONS.

REES: SHOULD BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 8 GALLONS PER 4" CALIPER TREE PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 30 GALLONS PER TREE FOR EVERY INCH OF RAINFALL).

WEEKLY FOR MONTHS 5-12. APPLY 1 GALLON PER SHRUB PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 2 GALLONS PER SHRUB FOR EVERY INCH OF RAINFALL)

SHRUBS: SHOULD BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND

RRIGATION OCTOBER THROUGH MARCH. ADJUST RATE TO LOCAL RAINFALL AMOUNT.

FURF: SHOULD RECEIVE 1-INCH OF IRRIGATION PER WEEK APRIL THROUGH SEPTEMBER, 1 /2-INCH OF

NATIVE GRASS BEDS: WATER EVERY OTHER DAY FOR THE FIRST MONTH. ONLY CONTINUE WATERING AFTER THAT ONLY DURING EXTENDED OR FORECASTED DRY PERIODS, AND THEN, ONLY ONCE PER WEEK.

1. GROUND TO BE CULTIVATED AS INDICATED TO A MINIMUM DEPTH OF 6 INCHES PRIOR TO SOD INSTALLATION. IN AREAS TO RECEIVE SOD ONLY. CONTRACTOR SHALL REMOVE THE SCALPED CLIPPINGS EITHER DURING SCALPING OR AFTER THE EXISTING GRASS IS SCALPED. CONTRACTOR SHALL ADD PELLETIZED LIME TO THESE AREAS AT A RATE OF 220 LBS/ACRE (5 LBS/1,000 SF). CONTRACTOR SHALL THEN AERATE THE AREAS WITH A CORE AERATOR. IMMEDIATELY PRIOR TO SOD INSTALLATION, CONTRACTOR SHALL RAKE THE SOIL (EITHER MANUALLY OR USING A POWER RAKE) TO A DEPTH OF 1", MIXING THE PREVIOUSLY ADDED LIME INTO THE EXISTING SOIL AND BREAKING UP CORES. CONTRACTOR SHALL ONLY RAKE THE AREAS WHICH ARE TO BE SODDED THAT DAY.

2. SOD SHALL BE STRONGLY ROOTED, 2 YEAR OLD STOCK. THE SOD SHALL BE TOP QUALITY CERTIFIED SOD, FREE OF WEEDS, UNDESIRABLE NATIVE GRASSES, INSECTS AND DISEASES, AND UNIFORM IN THICKNESS. PROVIDE CERTIFICATION TAG TO OWNER. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT)

3. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING. DO NOT PLANT DORMANT SOD OR IF

4. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP.

5. IN SLOPING AREAS, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOURS AND WITH JOINTS STAGGERED.

6. SOD SHALL BE SECURED IN-PLACE WITH STAPLES ON SLOPES GREATER THAN 3:1

7. STAPLES FOR SOD STAKING SHALL BE NO. 11 GAUGE STEEL WIRE, U-SHAPED WITH LEGS 12 INCHES IN LENGTH AND 1" CROWN. STAPLES SHALL BE PLACED AT INTERVALS NO GREATER THAN 2' ON CENTER. TOP OF STAKES SHALL BE DRIVEN FLUSH WITH SOD AS NOT TO INTERFERE WITH MOWING OPERATIONS.

8. TAMP OR ROLL TO INSURE CONTACT WITH SOIL. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS SOIL TO AVOID SMOTHERING OF ADJACENT GRASS.

9. CONTRACTOR SHALL REMOVE NETTING FROM THE BACK OF SOD PRIOR TO INSTALLATION.

10. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING.

INSTALLATION:

1. INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. 2. MULCH: PROVIDE 4" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. UTILIZE SHREDDED, AGED HARDWOOD MULCH.

4. LEAVES: MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCULENCE.

5. IF DRAINAGE IS NOT SUFFICIENT NOTIFY PROJECT OWNER'S REPRESENTATIVE IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANT.

6. UNLESS OTHERWISE SPECIFIED DUE TO SOIL CONDITIONS, SET ROOT FLARE OF ROOTBALL LEVEL WITH SURROUNDING GRADE. ROOT SYSTEM SHALL BE AS SPECIFIED IN PLANT SCHEDULE:

ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED. WHERE WIRE BASKETS ARE USED ON TREES OR SHRUBS, CUT BURLAP AND WIRE BACK TO 1/4 THE BASE OF ROOTBALL AND REMOVE FROM PLANTING HOLE. REMOVE ALL STRAPS, WIRE STRAP HANGERS, ETC. FROM ROOTBALL. DO NOT ALLOW REMAINING WIRE TO PROTRUDE INTO MULCH OR TOPSOIL AREAS.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING DESIGN PROFESSIONAL OF ROOT BOUND

SPECIMENS. REMOVE CONTAINER AND SCARIFY OR SHAVE ROOTBALL AS NEEDED TO REMEDIATE ROOT BOUND CONDITION. PULL SURFACE ROOTS AT TOP OF ROOTBALL OUT IN A DIRECTIONAL PATTERN TO DISCOURAGE CIRCLING ROOTS.

STAKING IS ONLY TO BE INSTALLED IN SPECIAL CIRCUMSTANCES AT THE DIRECTION OF THE DESIGN PROFESSIONAL. ANY STAKING MATERIAL MUST BE REMOVED AT THE END OF THE WARRANTY PERIOD.

8. ALL TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM ANY UTILITY LINE AND/OR EASEMENT. ALL UTILITIES (WATER, SEWER, GAS, FIBER OPTIC, ETC.) MUST BE INSTALLED AT LEASE FIVE (5) FEET FROM REQUIRED TREE PLANTING ISLANDS OR LANDSCAPE AREAS.

9. IF TREE SURVEY INACCURACIES ARE FOUND ON-SITE, A STOP WORK ORDER WILL BE ISSUED UNTIL

10. TREES AGREED UPON TO BE SAVED ARE THE RESPONSIBILITY OF THE OWNER.

REVISED PLANS ARE APPROVED AND PROCESSED BASED ON ACCURATE INFORMATION.

11. A 4" LAYER OF MULCH WILL BE REQUIRED FOR THE CRZ OF SPECIMEN TREES. MULCH MUST BE APPLIED PRIOR TO START OF CONSTRUCTION. MULCH SHALL NOT BE PLACED DIRECTLY AGAINST TREE TRUNKS.

12. NO TRENCHING IS ALLOWED IN TREE SAVE AREAS, INCLUDING FOR THE INSTALLATION OF IRRIGATION.

13. TREE PIT DRAINAGE TESTING IS REQUIRED WHEN TREES ARE PLANTED IN PARKING LOT ISLANDS, SIDEWALK TREE PITS, ROADWAY MEDIANS, OR SIMILAR LOCATIONS. REFER TO CITY DETAILS REGARDING PLANTING PIT OR LANDSCAPE ISLAND CONSTRUCTION. FILL EACH PIT WITH WATER. IF PERCOLATION IS LESS THAN 100% WITHIN A PERIOD OF 12 HOURS, USE AN AUGER TO DRILL A 10" HOLE TO A DEPTH OF FOUR FEET BELOW THE BOTTOM OF THE PIT. FILL AUGER HOLE WITH DRAINAGE GRAVEL AND COVER WITH A SOIL SEPARATOR. RETEST PIT. IF DRAINAGE IS STILL UNSATISFACTORY, CITY ARBORIST AND/OR PROJECT ARBORIST MUST BE NOTIFIED IN WRITING OF THE LOCATIONS WITH UNSATISFACTORY DRAINAGE SO THAT A SOLUTION CAN BE ARRIVED UPON BEFORE PLANTING. ALL TESTING RESULTS MUST BE PROVIDED TO THE CITY ARBORIST.

14. ALL BUFFERS SHALL BE REPLANTED WHERE SPARSE OR AS DIRECTED BY THE CITY OF BROOKHAVEN IN ORDER TO CREATE A YEAR-ROUND OPAQUE SCREEN WITHIN 2 YEARS OF CONSTRUCTION. THIS MAY BE IN ADDITION TO WHAT IS SHOWN ON THE APPROVED LANDSCAPE PLAN.

INSPECTION:

1. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

2. ALL PLANTING AND PLANT MATERIAL REQUIRED BY THIS CONTRACT SHALL BE IN A SATISFACTORY AND ACCEPTABLE CONDITION WHEN THE CONTRACTOR APPLIES FOR PAYMENT.

3. DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.

WARRANTY:

1. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL AS INDICATED IN THE SPECS, BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD (AS DIRECTED BY THE OWNER).

2. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO DATE OF SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL THE PLANT LIST SPECIFICATIONS.

THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.

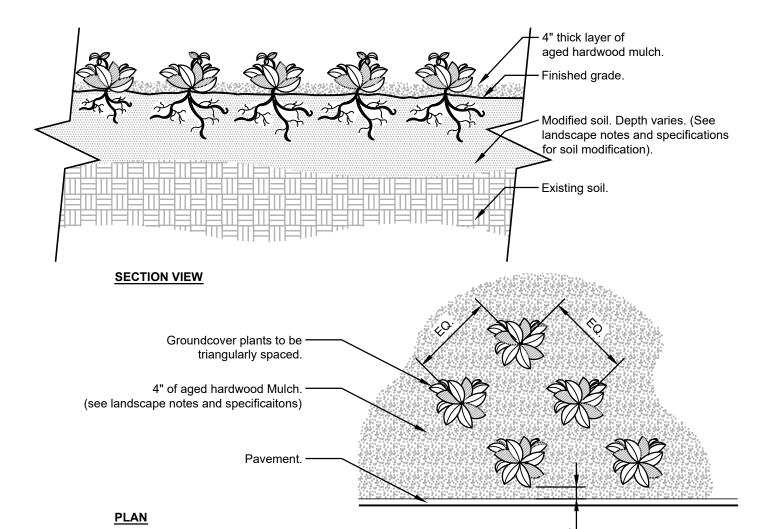
PAVED AREA LAWN AREA FINISH GRADE -1/2" EDGE SMOOTH ROUGH GRADE SUBSOIL & PARALLEL WITH CHISEL PLOW 12" DEEP AND SMOOTH OUT. PLACE 3" OF TOPSOIL PAVEMENT BROADCAST FERTILIZER TILL SOIL 6" DEEP TO CUT INTO SUBSOIL. . LAY 57 STONE - 4" DEEP AND SMOOTH OUT. LAY 89 STONE AS LEVEL COURSE - 1/2" DEEP AND SMOOTH OFF. 8. SOAK STONE UNTIL DAMP. 1" MIN. LAY SOD IO. KEEP DAMP UNTIL ROOTS TIE INTO TOPSOIL BASE. II. DO NOT TOP DRESS WITH SAND UNTIL AFTER TURF IS LOCKED DOWN. CULTIVATED SOIL 6" MIN.

> 1. INSTALL SOD SO THAT TOP OF SOIL & ROOT LAYER IS LEVEL WITH TOP OF PAVEMENT. 2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY WATERING TO ESTABLISH SOD.

EX. SUB-GRADE



NOT TO SCALE



CONTRACTOR TO

ACCOUNT FOR 89

BY USING THREE

SPECIFIED.

STONE SETTLING INTO

VOIDS OF 57 STONE

TIMES THE VOLUME

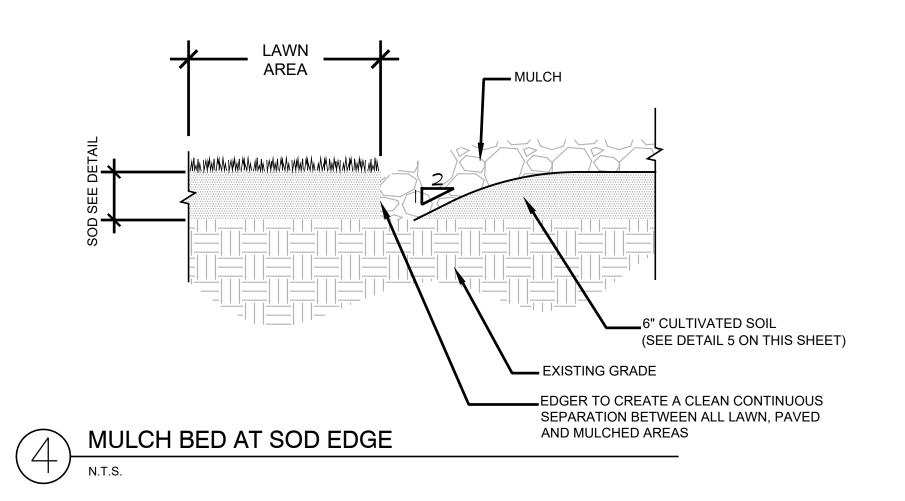
1- See planting legend for groundcover species, size, and spacing dimension. 2- Small roots (¼" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periperhy can be removed at the time of planting. (See root ball shaving container detail). 3- Settle soil around root ball of each groundcover prior to mulching.

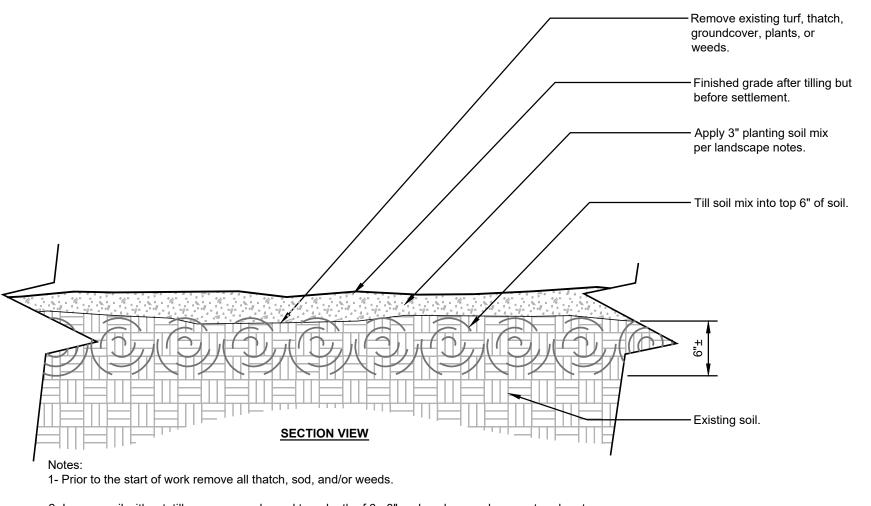
-SUBGRADE

REINFORCED SOD

(CHISEL PLOM)

GROUNDCOVER INSTALLATION / SPACING



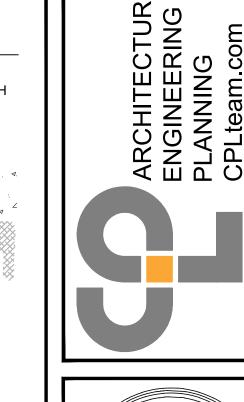


2- Loosen soil with rototiller or approved equal to a depth of 6 - 8" and work around encountered roots.

3- All rocks and debris shall be removed to a minimum depth of 6". 4- Apply 2 - 3" of top soil mix (per planting notes) over loosened soil. Using a rototiller mix top soil into loosened soil.

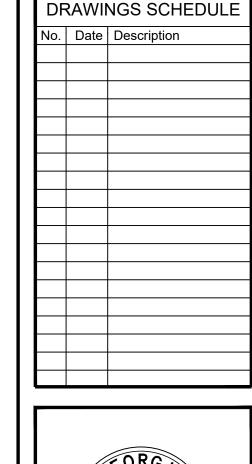
5- Water entire root zone at end of each work day. SOIL PREPARATION / CULTIVATION

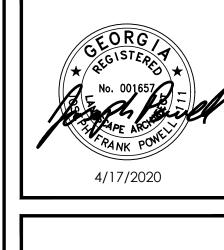
1-800-282-7411 Know what's **below**. Call before you dig.

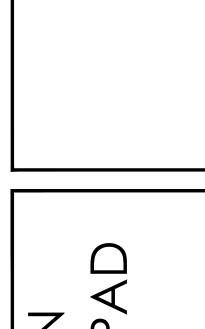






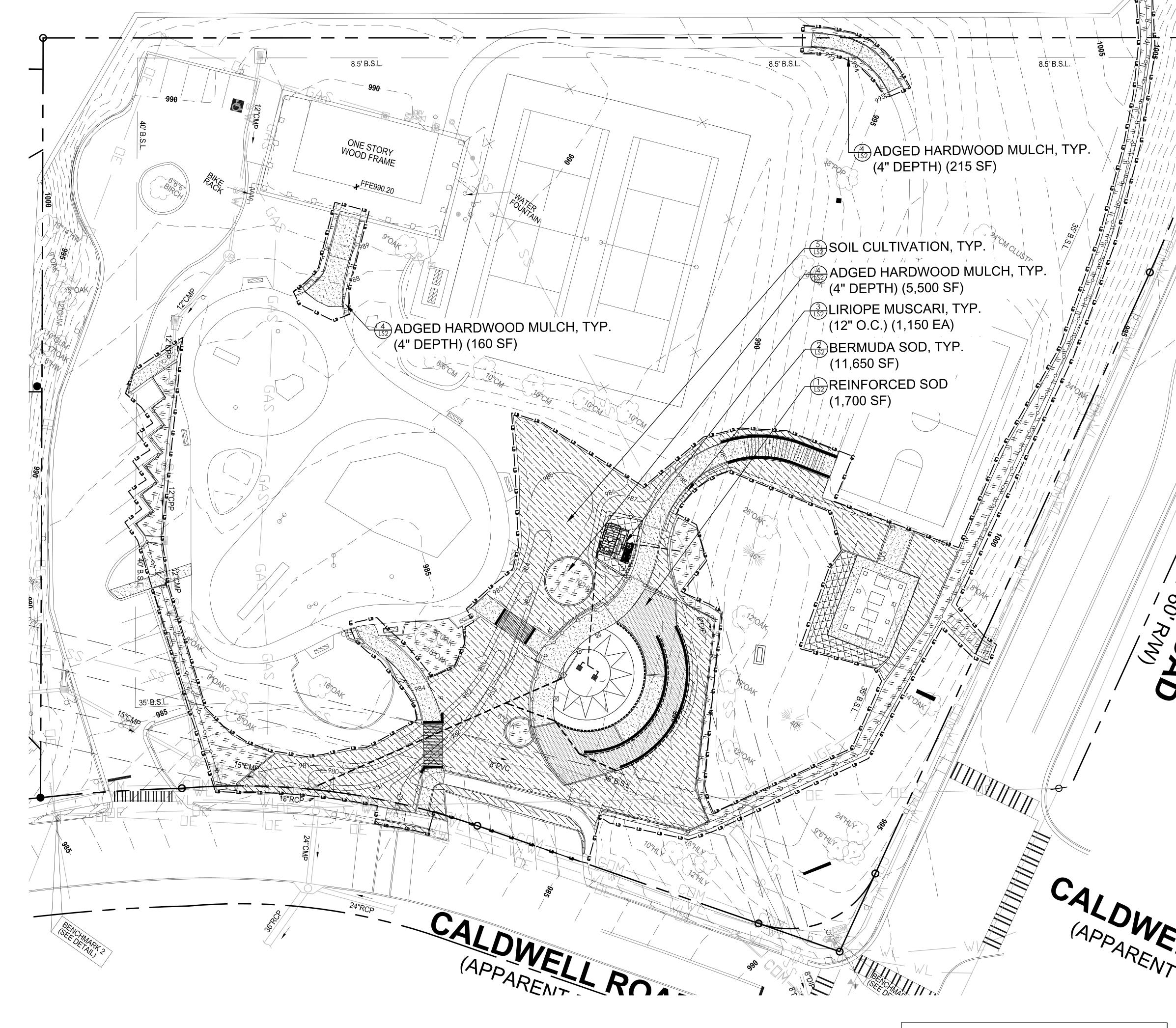


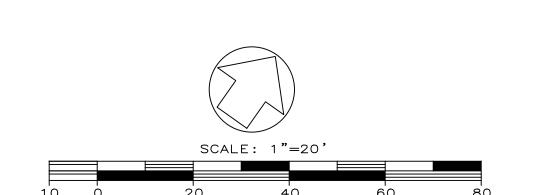




scale AS SHOWN LANDSCAPE NOTES AND INSTALLATION DETAILS

> PROJECT NUMBER 15089.00





NOTE:
SURVEY CONDUCTED BY TERRAMARK
LAND SURVEYING INC., 1396 BELLS
FERRY ROAD, MARIETTA, GEORGIA 30066,
770-421-1927, DRAWING #TM 16 095.

Utilities Protection Center, Inc.





- 1. Contractor to install temporary irrigation
- 2. Temporary irrigation shall be limited to a
- period of one year, be placed BELOW ground, be equipped with reduced
- pressure backflow prevention, have a meter installed and be removed by the contractor after
- the one year period is reached or when sod is established.
- 3.SEE NOTES ON SHEET LS2

PROJECT NUMBER 15089.00

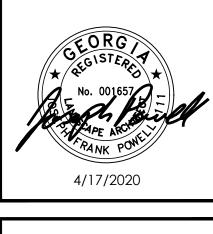
scale AS SHOWN

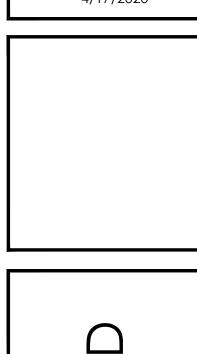
LANDSCAPE PLAN

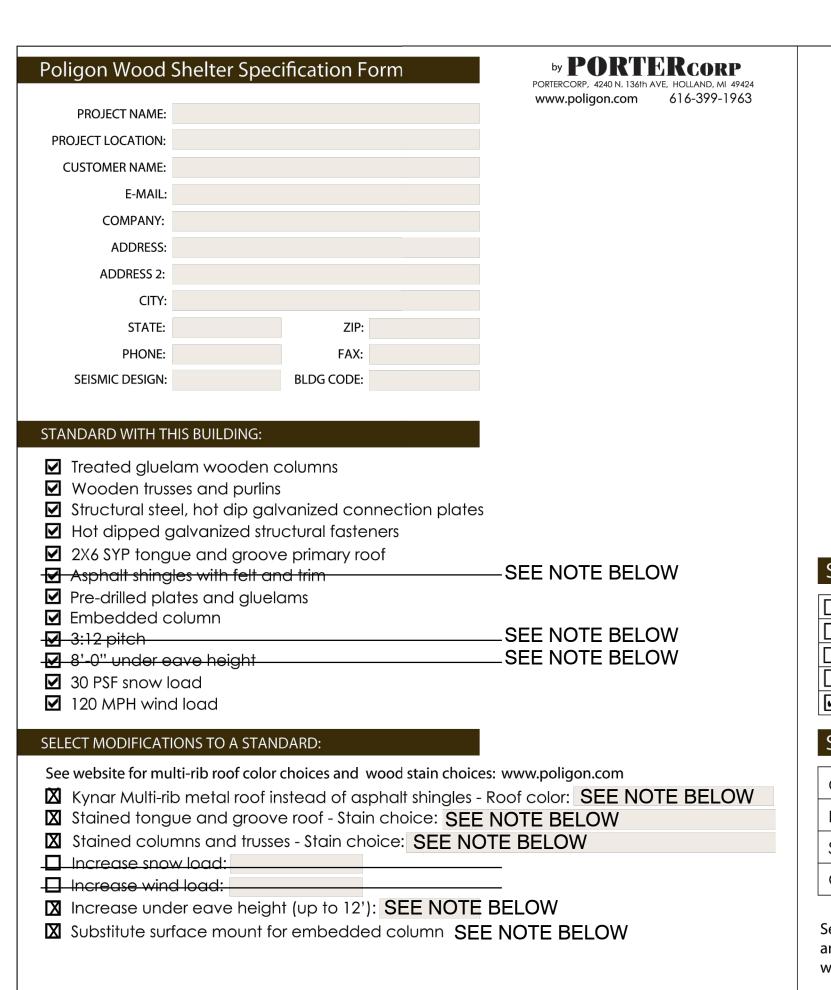
LS3

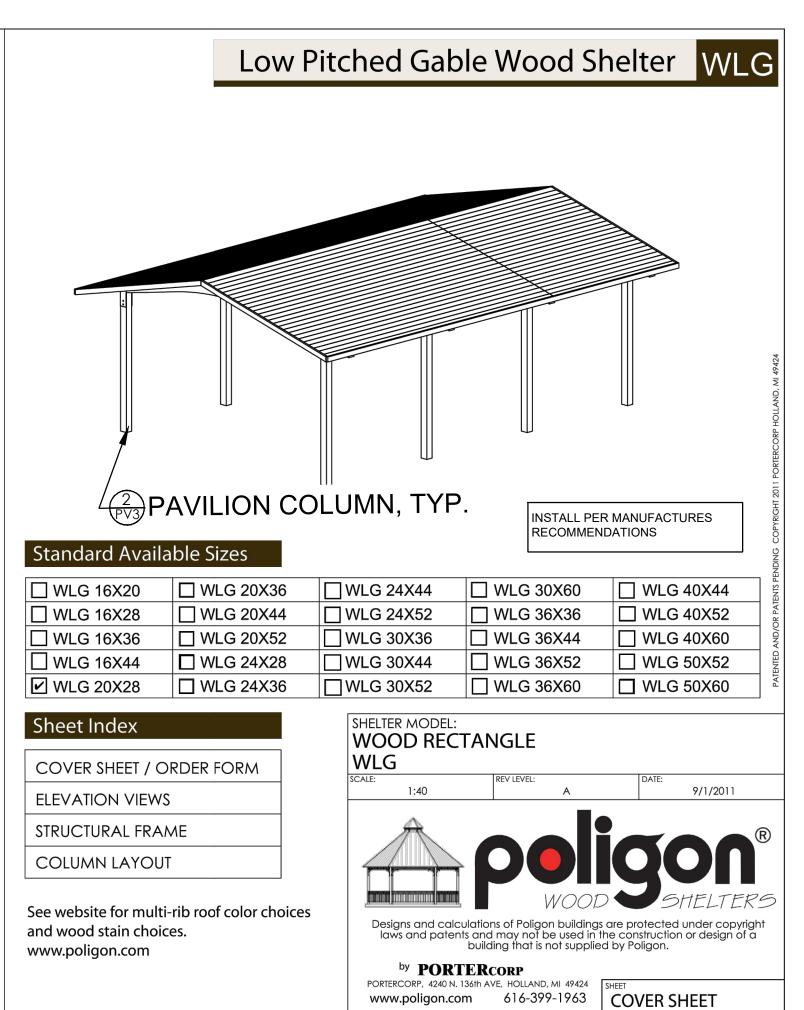
DRAWING NUMBER

DRAWINGS SCHEDULE

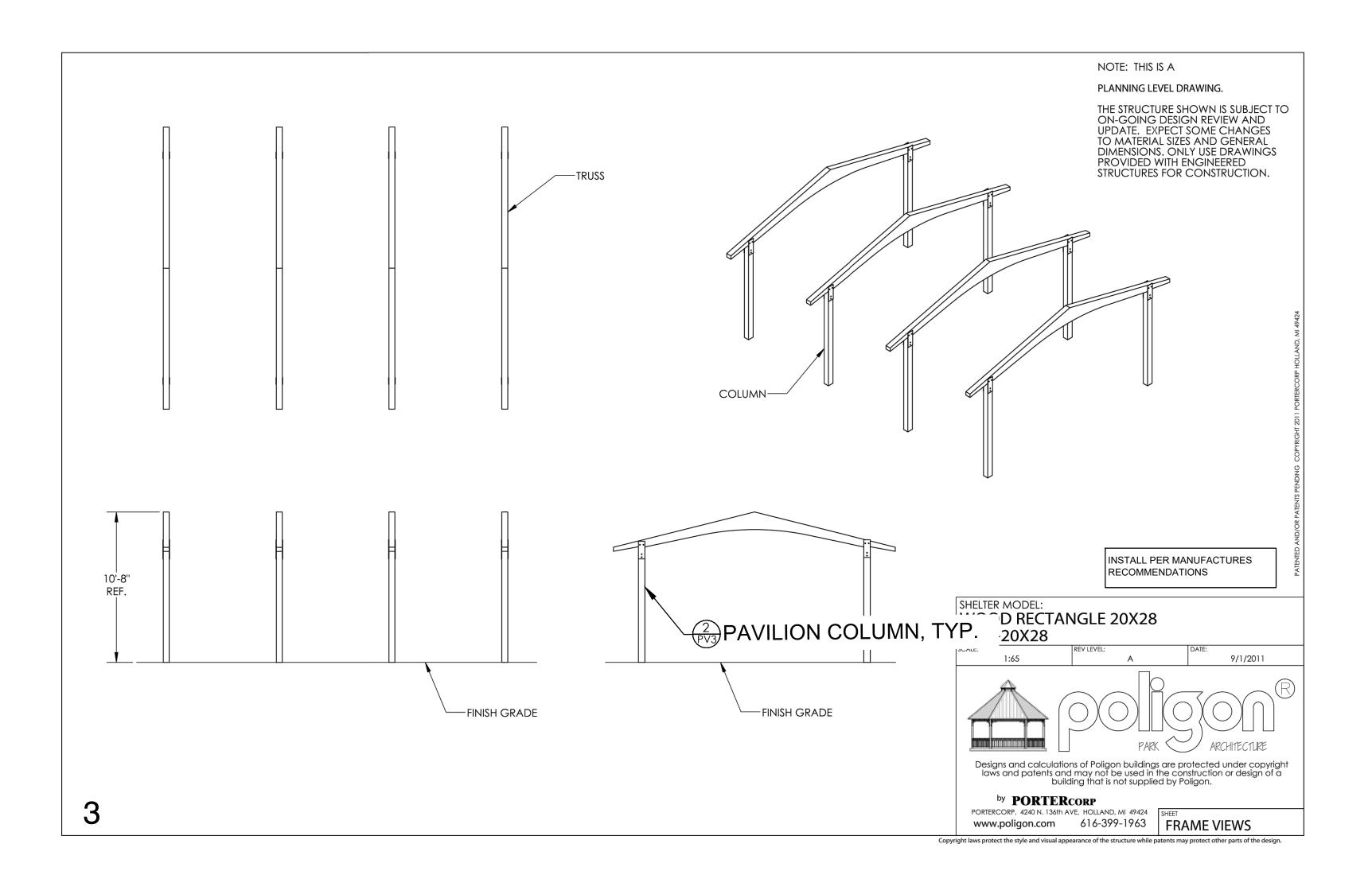


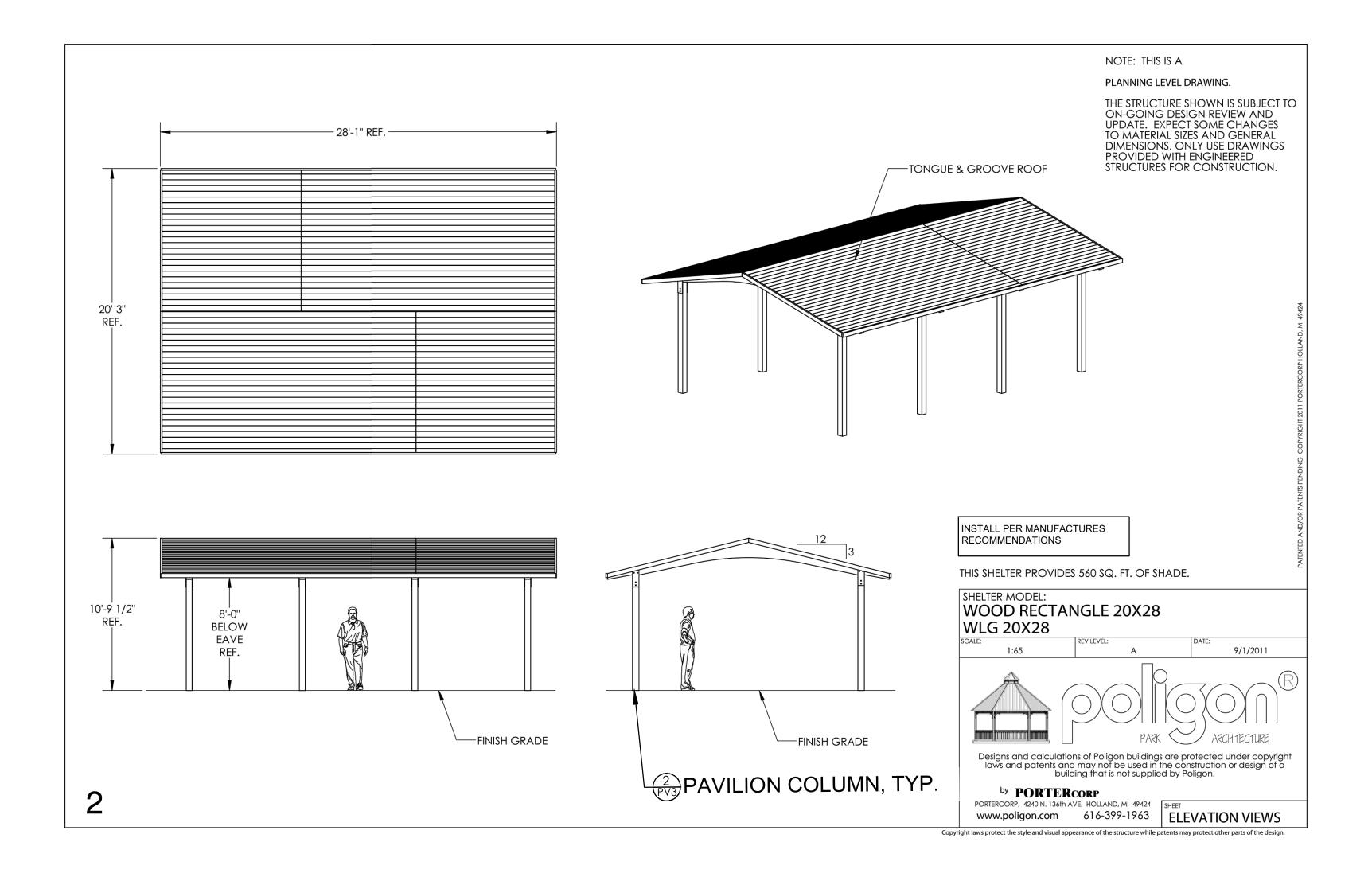


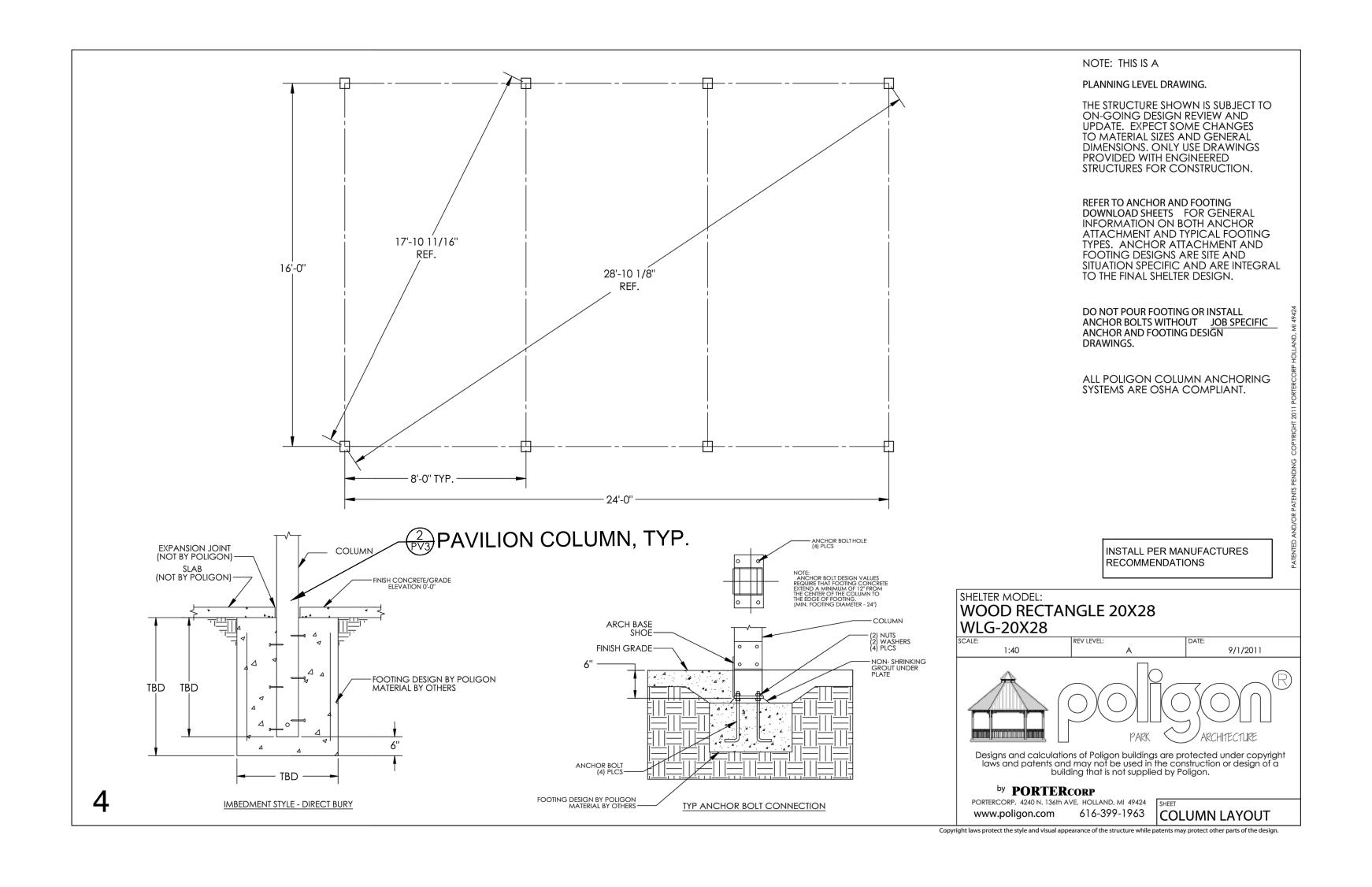


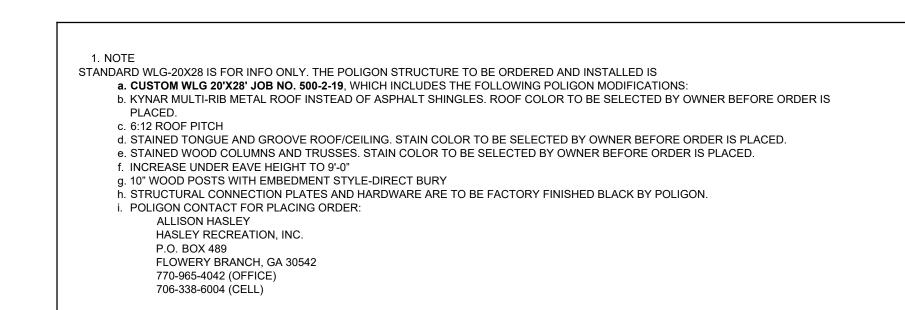


Copyright laws protect the style and visual appearance of the structure while patents may protect other parts of the design.

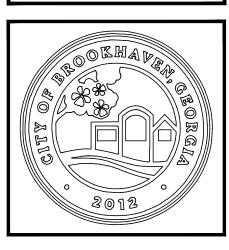




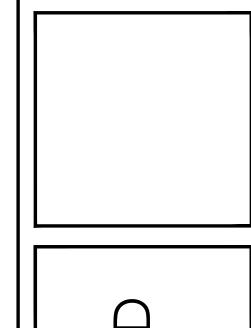








	DRAWINGS SCHEDULE		
	No.	Date	Description
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SHFORD PARK SPLASH PA

DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE
PAVILION PLANS

PROJECT NUMBER
15089.00

PV1

4. DEVICES THAT ARE REQUIRED TO BE ADA ACCESSIBLE WILL BE INSTALLED PER ANSI A117.1

SPECIFICATIONS.

EQUIPMENT.

- 1. THE INSTALLING CONTRACTOR SHALL OBSERVE ALL APPLICABLE CODES
- AND STANDARDS INCLUDING BUT NOT LIMITED TO THE NATIONAL ELECTRIC CODE, NFPA 30A & 52 AND THE INTERNATIONAL FIRE CODE.

3. REVIEW SITE CONDITIONS PRIOR TO LAYING OUT DEVICES AND

- 2. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL WIRE, CONDUIT, LOW VOLTAGE TRANSFORMERS, HARDWARE AND ACCESSORIES REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM THAT MEETS THE DESIGN INTENT AS REQUIRED BY THE PROJECT

- SHEET NOTES

6 J-BOX FOR EXTERIOR FANS.

- 6 HAIKU WALL CONTROL TIMER SWITCH FOR CEILING FANS. INSTALL GASKETED WEATHER RESISTANT FACE PLATE TO SWITCH.

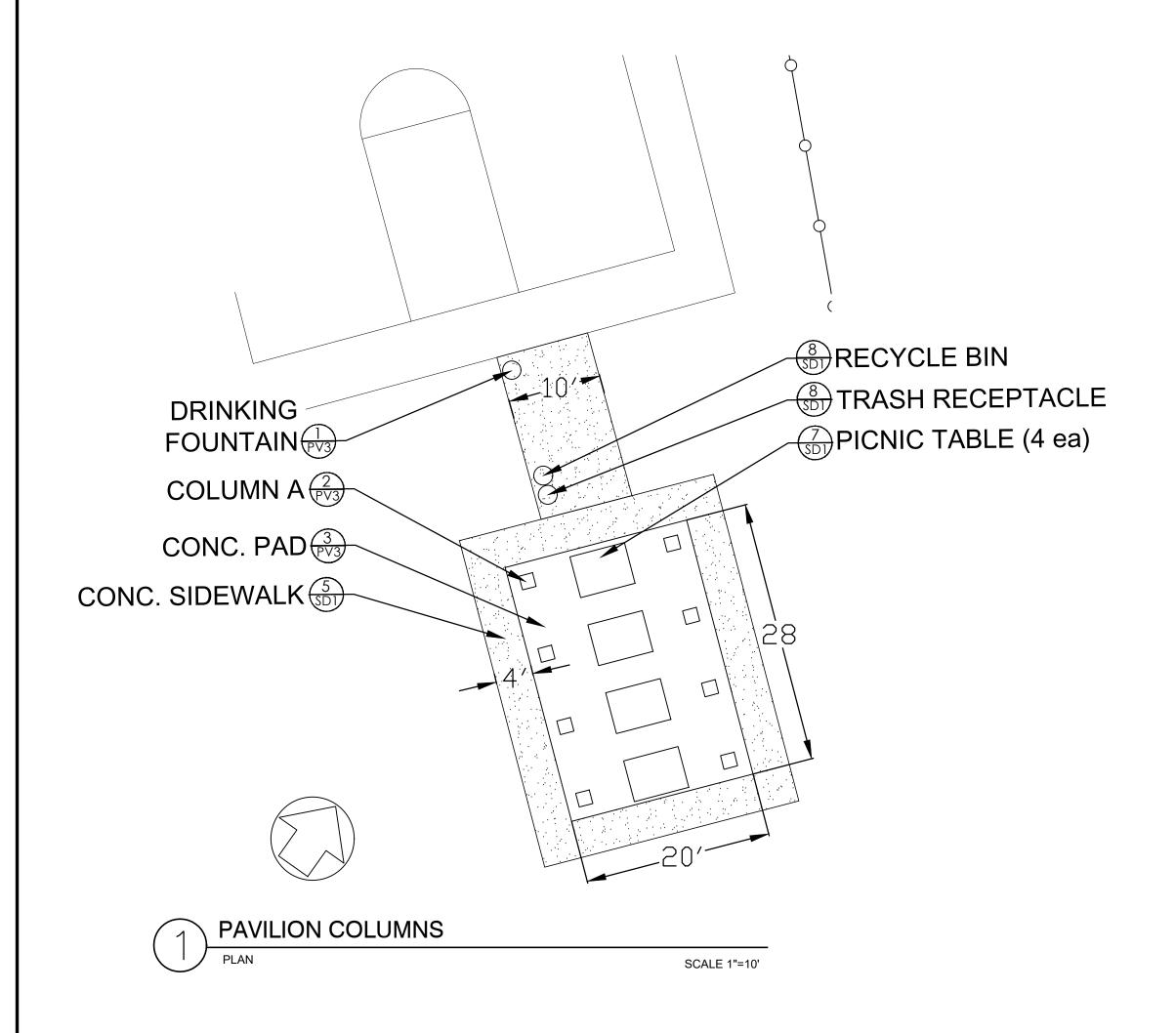
- NAFTA COMPLIANT TAMPER-RESISTANT/WEATHER-RESISTANT 20A SELF TEST DUPLEX GFCI, PASS & SEYMOUR MODEL 2097TRWRNA. COLOR TO BE DETERMINED BY ARCHITECT. RECEPTACLE TO BE ENCLOSED BY LOCKABLE SINGLE GANG EXTRA-DUTY WHILE-IN-USE WEATHERPROOF COVER, FROSTED PLASTIC. HUBBELL MODEL MM720C.

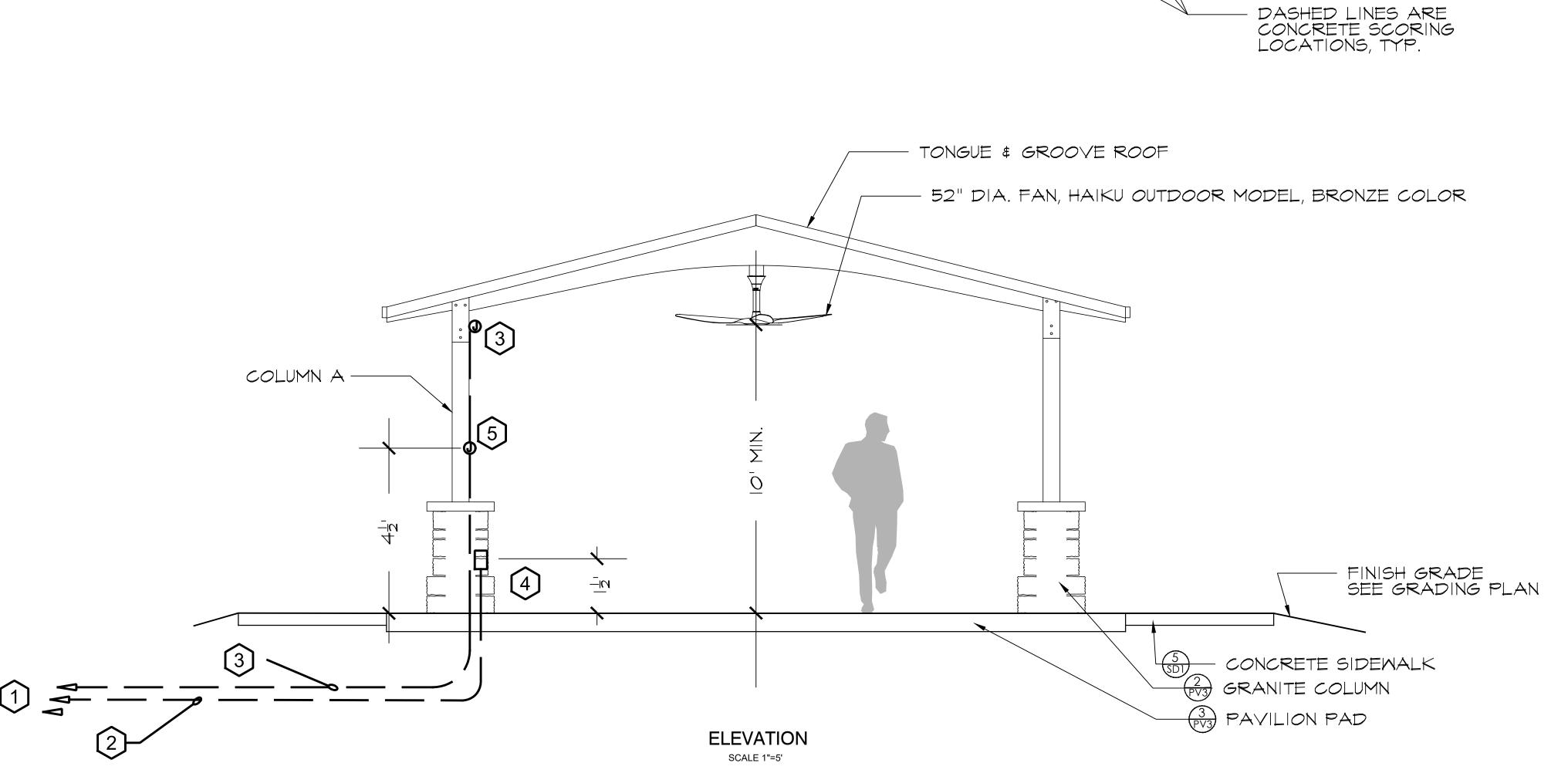
- 2#10, #10G THHN IN 3/4" PVC STUBBED UP IN BASE OF COLUMN FOR LIGHTING AND CEILING FAN CIRCUIT. ALL PENETRATIONS THROUGH SLAB TO BE WITH GRC CONDUIT AND LONG SWEEP GRC 90'S.

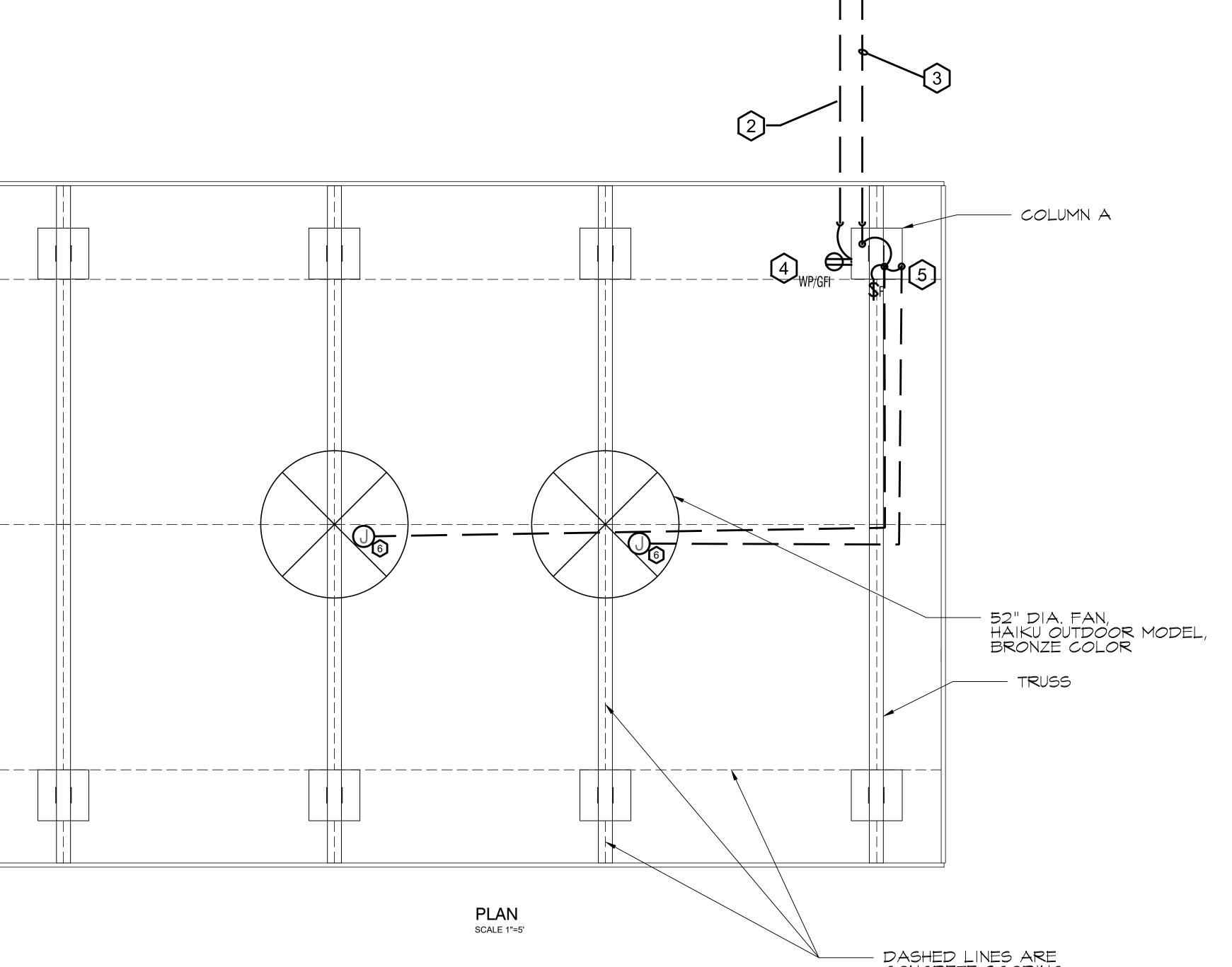
- 2#10, #10G THHN IN 3/4" PVC STUBBED UP IN BASE OF COLUMN FOR RECEPTACLE CIRCUIT. ALL PENETRATIONS THROUGH SLAB TO BE WITH GRC CONDUIT AND LONG SWEEP GRC 90'S.

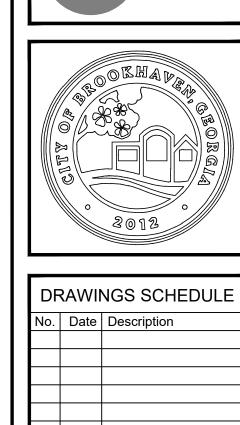
- 3/4" SCHED. 80 PVC CONDUIT, RUN 2 SETS IN SINGLE TRENCH, BURIED MINIMUM OF 24" BELOW GRADE. PLACE WARNING TAPE IN TRENCH 6" ABOVE CONDUIT. ALL PENETRATIONS THROUGH SLAB TO BE WITH GRC CONDUIT AND LONG SWEEP 90'S. SEE SHEETS E1—2 FOR CONNECTION. PROVIDE LOCK OUTS ON ALL CIRCUIT BREAKERS PROVIDING POWER TO PAVILLION.
- CONSTRUCTION NOTES











03/07/19 JP JM

SCALE AS SHOWN

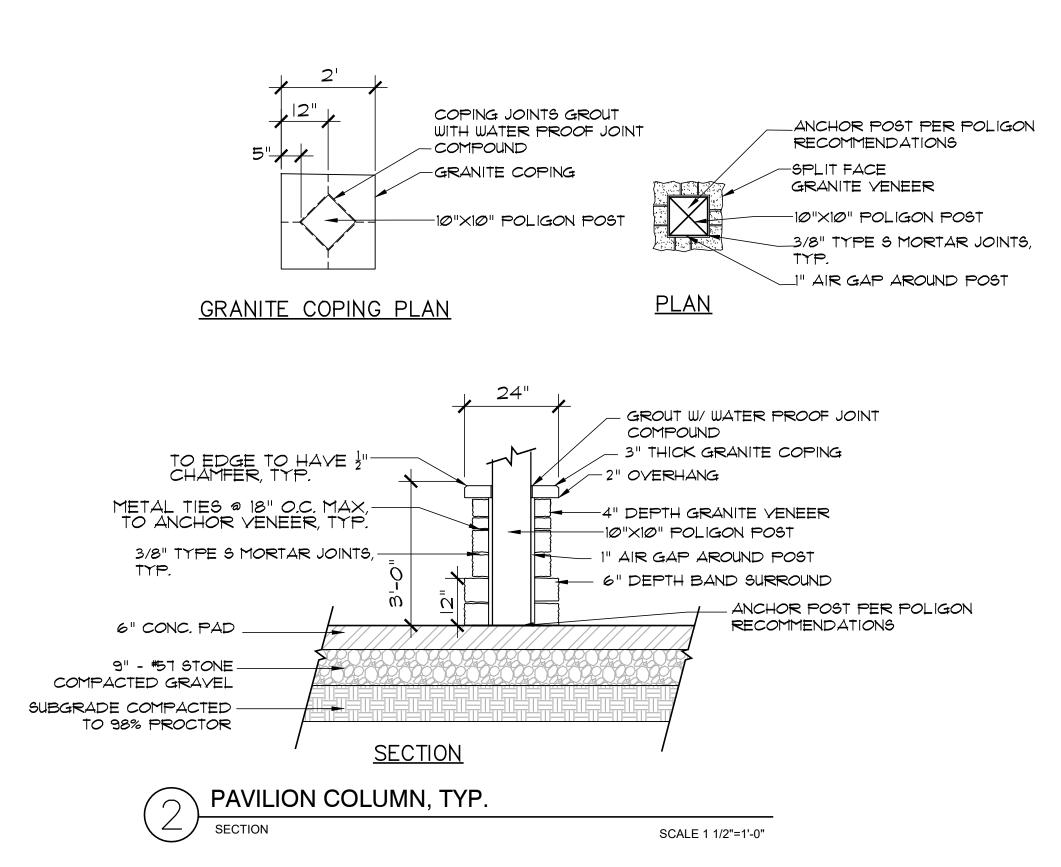
SHEET TITLE
PAVILION ELECTRICAL

15089.00

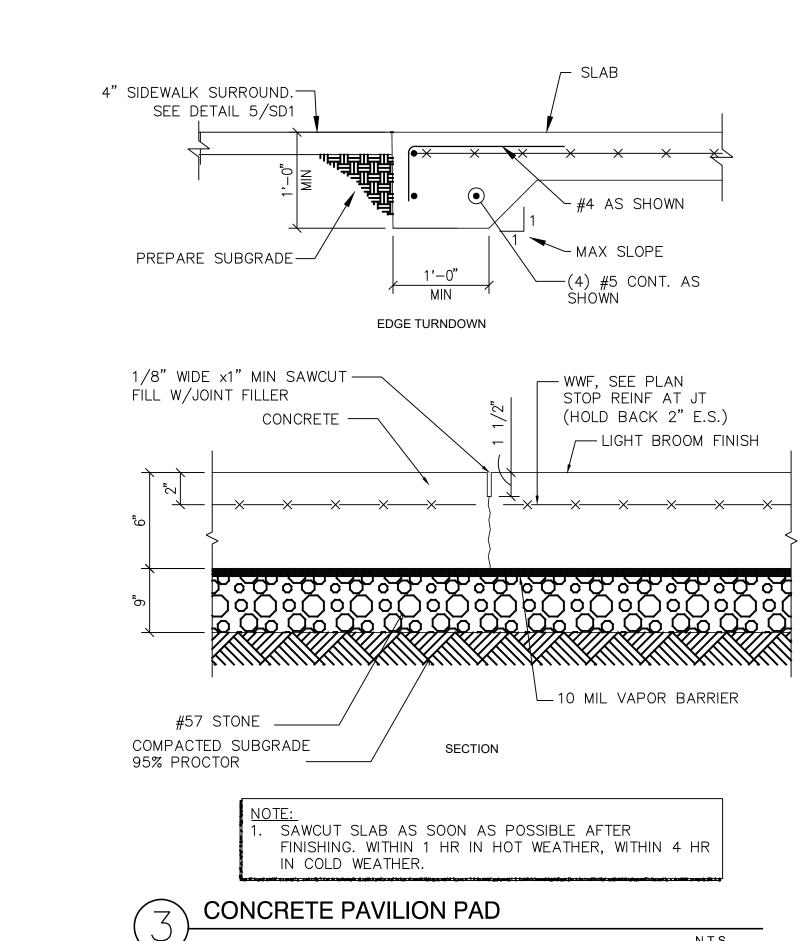
PV2







PAVILION COLUMN MATERIAL NOTES: BROOKHAVEN GRANITE SOURCE IS: DIMENSIONAL STONE ELBERTON, GA CONTACT: DALE WILLIS 706-2|3-803| 2. GRANITE VENEER: ELBERTON GRANITE RUBBLE 2", 4" \$ 6" DEPTH X (WIDTH \$ HEIGHT VARIES BY STANDARD SIZES) SOLDER COURSE STONE 3" WIDTH X 4" DEPTH X 8" HEIGHT GRANITE COPING: ELBERTON GRANITE STONE THICKNESS - 3" FINISHES -= THERMAL FRONT TOP EDGE = EASED = SPLIT-FACE BACK \$ BOTTOM = SPLIT-FACE = SAMN 4. WALL VENEER & COPING TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION 5. MORTAR COLOR TO MATCH GRANITE 6. MORTAR COLOR SELECTION TO BE APPROVED BY LANDSCAPE ARCHITECT /OWNER PRIOR TO CONSTRUCTION.



CAST-IN-PLACE CONCRETE NOTES

- 1. ALL CONCRETE WORK, CONSTRUCTION AND REINFORCING DETAILS SHALL CONFORM TO THE 2012 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS AND "THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS (ACI-318).
- 2. ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS BELOW:

28 DAY COMPRESSIVE STRENGTH: 3,000 PSI MIN. MAXIMUM WATER CEMENT RATIO: 0.45 MAXIMUM SLUMP: 3 INCHES TOTAL AIR CONTENT: 6 $\frac{1}{2}$ +/- 1 $\frac{1}{2}$ %

- 3. THE ALLOWABLE MAXIMUM SLUMP SHOWN ABOVE SHALL BE PRIOR TO ADDING SUPERPLASTICIZER AS APPLICABLE.
- 4. ALL CONCRETE AGGREGATES SHALL BE NORMAL-WEIGHT.
- 5. MAXIMIZE SIZE OF COARSE AGGREGATE SHALL BE 3".

7. ALL CONCRETE SHALL RECEIVE A MEDIUM BROOM FINISH.

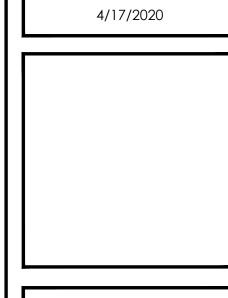
- 6. PROVIDE $\frac{1}{2}$ " CHAMFERS ON ALL EXPOSED CORNERS OF CONCRETE.
- 8. ALL RENIFORCING STEEL SHALL BE GRADE 60 KSI, ASTM A615.
- 9. WHERE PERMITTED WITH PRIOR APPROVAL FROM THE ENGINEER OF RECORD, HILTI HIT—500 EPOXY ADHESIVE ANCHORING SYSTEM SHALL BE USED FOR INSTALLATION OF ALL REINFORCING STEEL INTO EXISTING CONCRETE. REFER TO MANUFACTURER SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS.





DRAWINGS SCHEDULE					
Date	Description				





ASHFORD PARK SPLASH PA

DATE DRAWN CHECKED
03/07/19 JP JM

SCALE AS SHOWN

SHEET TITLE
PAVILION DETAILS

15089.00

PV3

LEGEND

INGROUND J-BOX.

TYPICAL FOR REMAINDER OF CIRCUIT. AVAILABLE SYMMETRICAL SHORT CIRCUIT CURRENT AT THE EQUIPMENT AS CALCULATED BY THE ENGINEER. THE ELECTRICAL DISTRIBUTION SYSTEM SHALL BE A FULLY RATED SYSTEM.

GFCI - GROUND FAULT CIRCUIT INTERRUPTER

QUAD OUTLET (DOUBLE DUPLEX), SAME DESCRIPTION AS ABOVE.

WP - INDICATES WEATHERPROOF

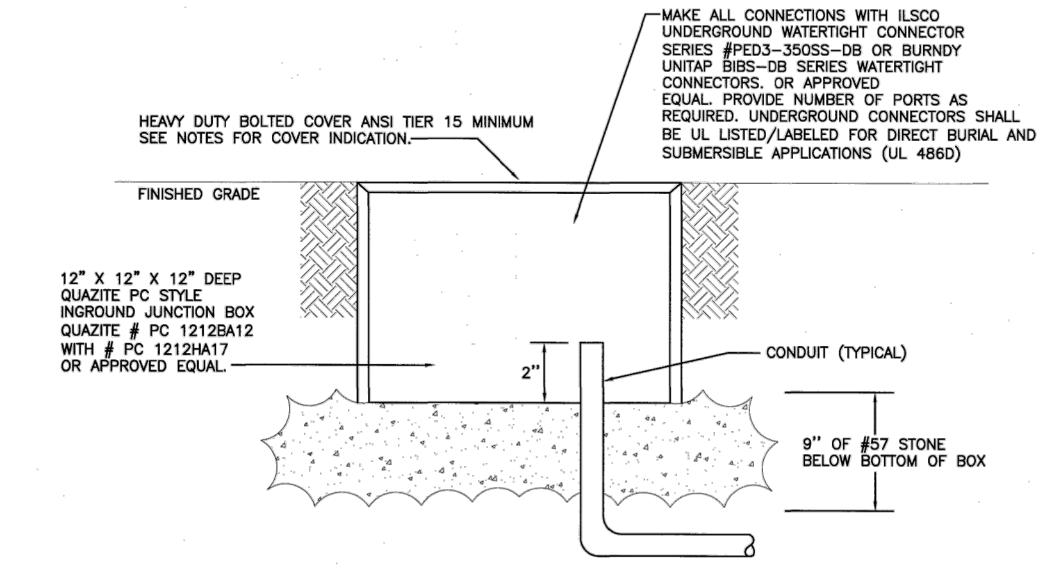
LENGTH OF FEEDER IN FEET.

NOTE: SHORT HASH MARKS INDICATE NUMBER OF #12 CU. HOT CONDUCTORS, LONG HASH MARKS INDICATE #12 CU. NEUTRAL CONDUCTOR, RESPECTIVELY. GROUND CONDUCTOR NOT SHOWN. NO HASH MARKS INDICATE 3#12 CU. CONDUCTORS (A HOT, NEUTRAL AND GROUND), UNLESS OTHERWISE NOTED. 1/2" CONDUIT MINIMUM.

NOTES:

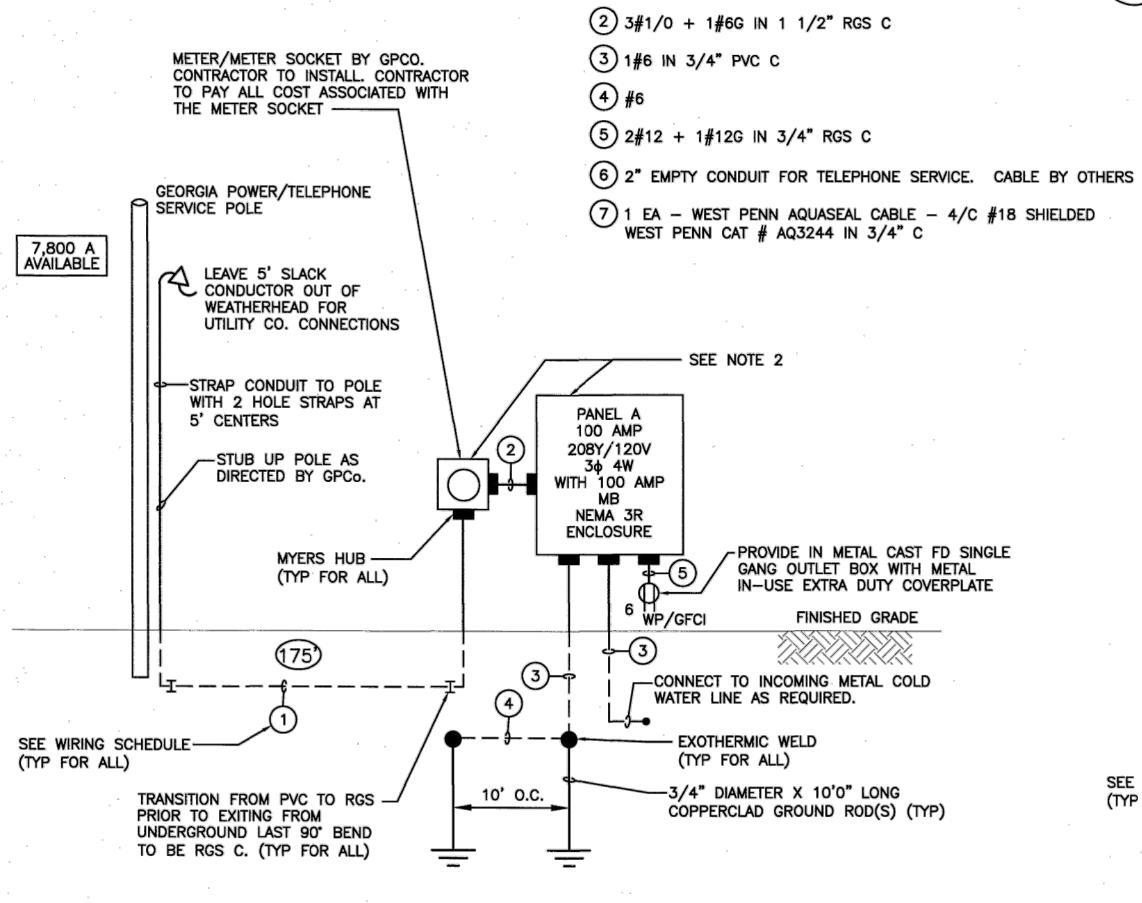
1. ALL EQUIPOTENTIAL BONDING CONDUCTORS SHALL BE #8 HARD DRAWN BARE COPPER. CONNECT TO ALL METALLIC COMPONENTS WITHIN THE SPRAY PAD AND EXTENDING 3' HORIZONTALLY FROM THE SPRAY PAD AS PER THE NATIONAL ELECTRICAL CODE ARTICLE 680, PARAGRAPH 680.26 EQUIPOTENTIAL BONDING. 2. MOUNT METER SOCKET AND PANELBOARD A ONTO FENCE POST AS REQUIRED. USE GALVANIZED MATERIALS FOR CONNECTIONS TO FENCE POST AS

PANEL A MOUNTING: SURFACE NEMA 3R ENCLOSURE TOTAL LOAD: 17.7 KVA LTG RCPT MTR A/C KITCH MISC TRIP P A B C P TRIP MISC KITCH A/C MTR RCPT LTG SITE OUTLETS EM PHONE PAVILION POWER PAVILION POWER SERVICE OUTLET SPARE 2.88 30 9 SPLASH PAD EQUIPMENT SPARE 12.64 | 0.00 | 0.00 | 0.00 | 5.10 | 0.00 | CONNECTED KVA 17.74 6.48 5.38 5.88



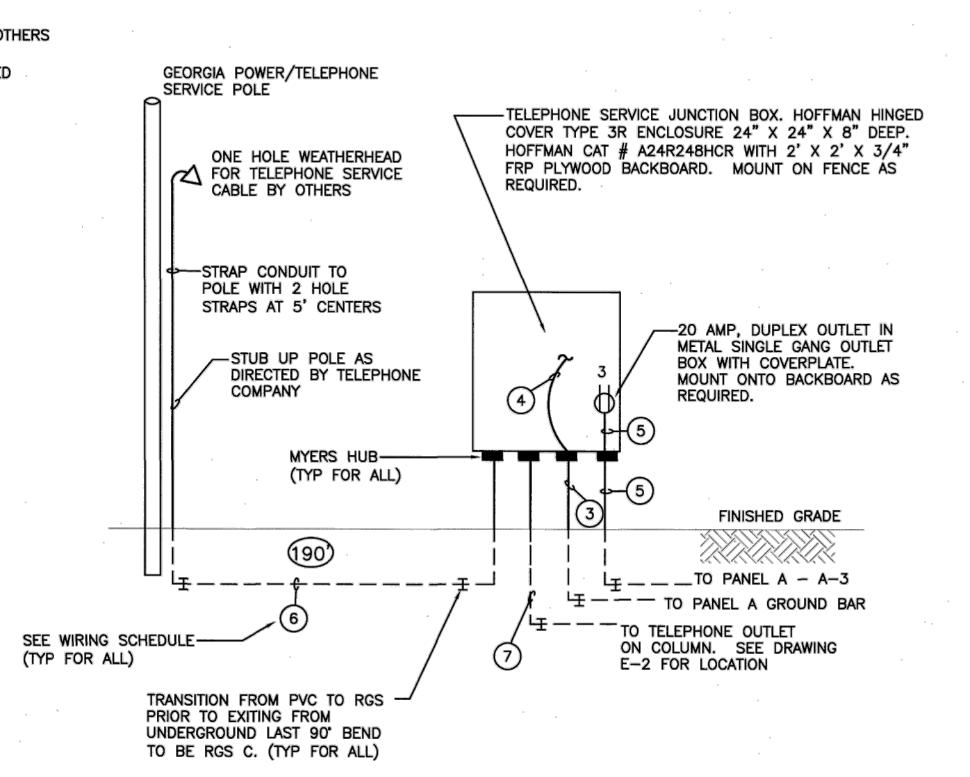
TYPICAL IN GROUND JUNCTION BOX

WIRING SCHEDULE 2 INSTALLATION DETAIL 1) 3#1/0 IN 1 1/2" C E-1 / SCALE: N.T.S.

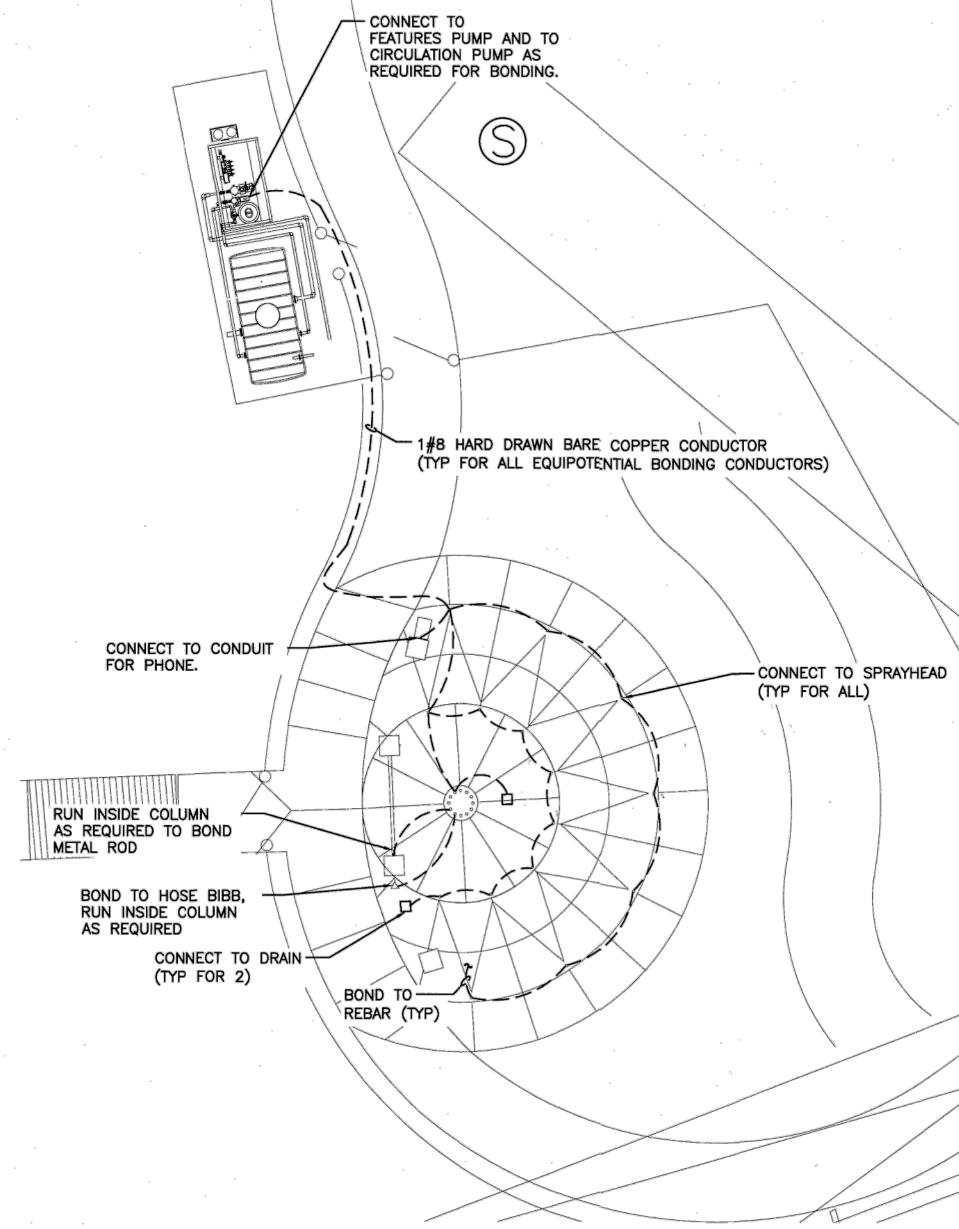


POWER RISER DIAGRAM SCALE: N.T.S.

PANEL A TO BE FULLY RATED 10 KAIC



TELEPHONE SERVICE RISER DIAGRAM SCALE: N.T.S. E-1

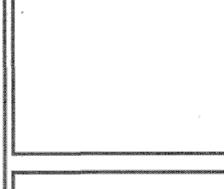


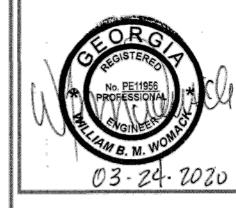
EQUIPOTENTIAL BONDING PLAN SCALE: 1"=10'-0"



Clark Patterson Lee

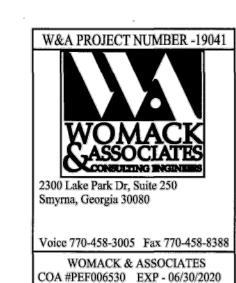
3011 SUTTON GATE DRIVE, SUITE 13 SUWANEE, GEORGIA 30024 TEL (800) 274-9000 FAX (770) 831-9243 www.clarkpatterson.com





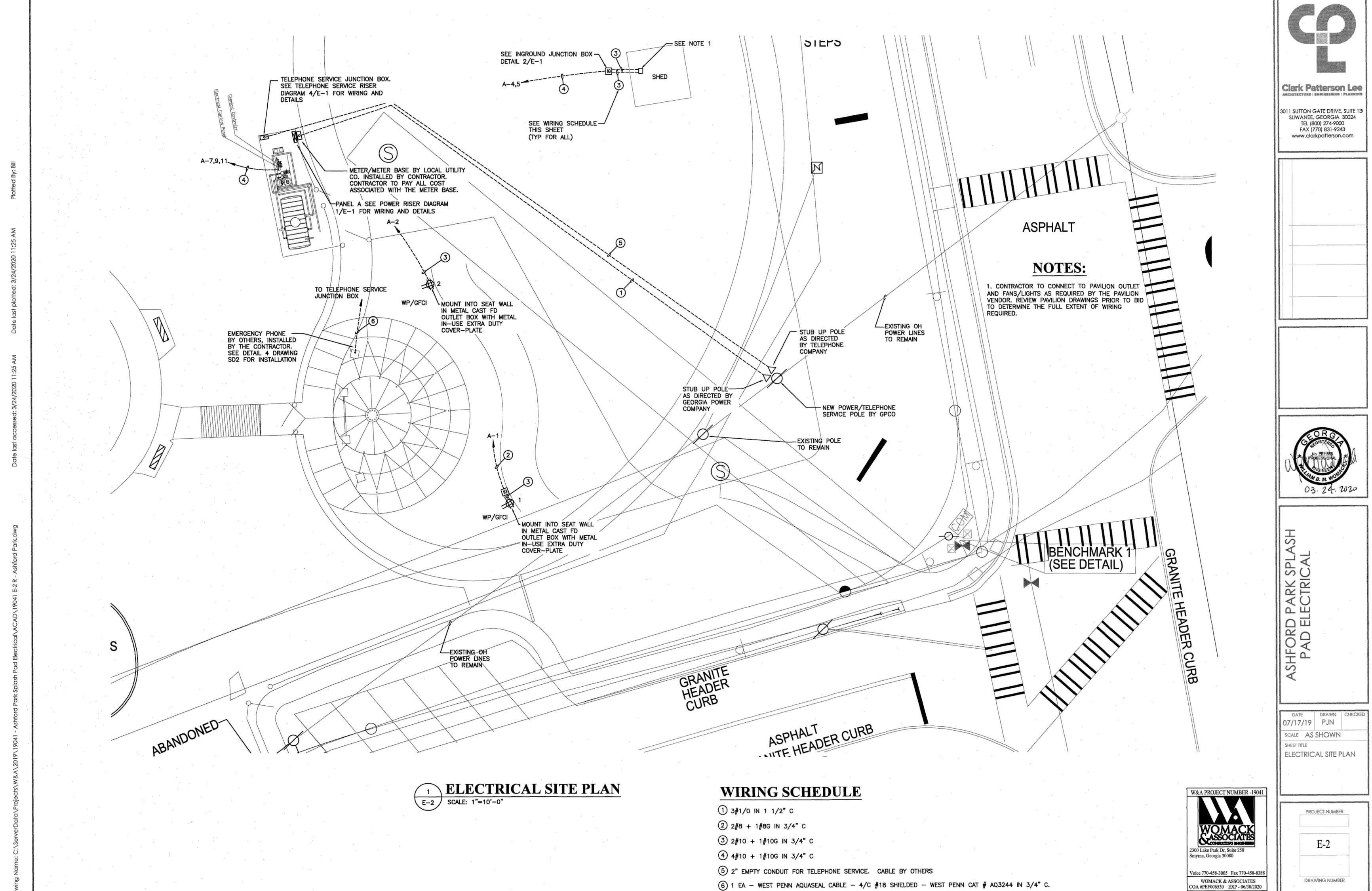
SPLASH CAL ARK ОЩ SHFORD F

> DATE DRAWN CHECKED 07/17/19 PJN SCALE AS NOTED SHEET TITLE LEGEND, RISERS, DETAILS AND EQUIPOTENTIAL BONDING PLAN



PLOT SCALE: 1" = 10' 0"

PROJECT NUMBER DRAWING NUMBER



PLOT SCALE: 1" = 10' 0"