



**LEGEND**

- CURB AND GUTTER (C&G)
- FENCE
- HANDRAIL
- STORM DRAIN LINE
- SANITARY SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND POWER LINE
- OVERHEAD POWER LINE
- COMMUNICATION
- TOPOGRAPHIC CONTOUR
- PROPERTY LINE
- TRANSMISSION LINE
- TRANSMISSION POLE
- CATCH BASIN (DNCS)
- CATCH BASIN (SWCS)
- DROP INLET (DI)
- JUNCTION BOX (JB)
- HEAD WALL (HW)
- CURB INLET (CI)
- FLARED END SECTION (FES)
- OUTLET CONTROL STRUCTURE
- YARD DRAIN INLET
- SS MANHOLE (SM)
- CLEAN OUT (CO)
- GREASE TRAP (GT)
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT (FH)
- WATER VALVE (WV)
- WATER METER (WM)
- FIRE DEPT. CONNECTION (FDC)
- WATER VALVE MARKER
- TRANSFORMER BOX (TX)
- AIR CONDITIONER (AC)
- ELECTRIC METER (EM)
- ELECTRIC UTILITY
- LIGHT POLE (LP)
- POWER POLE WITH LIGHT
- POWER POLE (PP)
- UTILITY MANHOLE (UM)
- SPOTLIGHT
- GAS METER (GM)
- GAS VALVE (GV)
- TELEPHONE PEDESTAL
- COMMUNICATION BOX
- TRAFFIC SIGNAL
- BOLLARD (BO)
- MAIL BOX
- SIGN
- CROSSWALK SIGNAL
- SPOT ELEVATION
- CONCRETE AREA
- OVERHANG AREA
- RIP-RAP AREA
- BRICK AREA
- TREELINE

**SITE AREA**

148,363 SQ.FT.  
OR  
3.4060 AC.

**SOUTHERN RAILWAY / MARTA**  
(APPARENT 200' R/W)  
(VALUATION MAP # V-12 S22B)

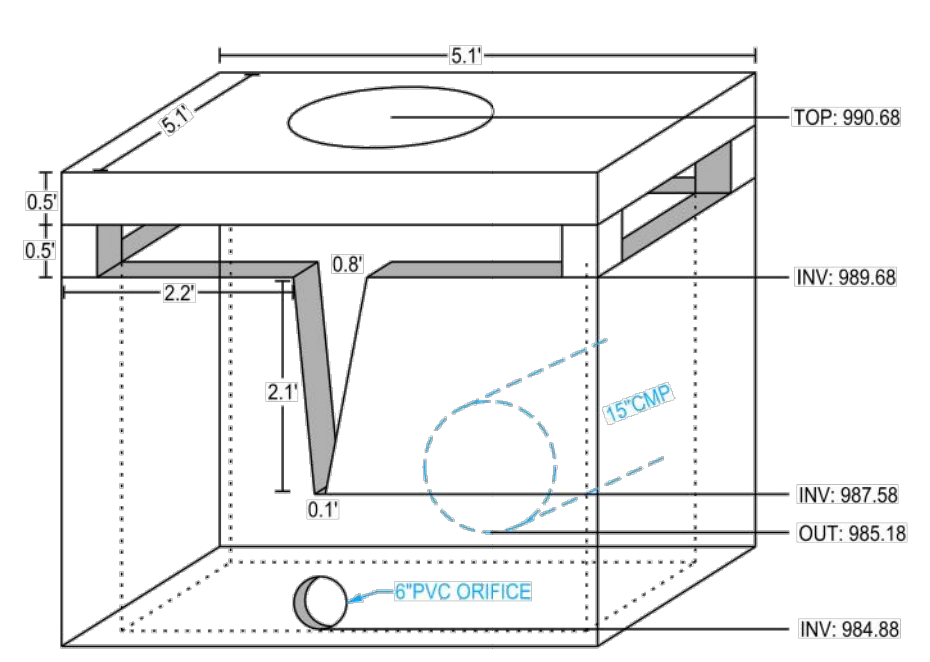
**REDDING ROAD**  
(APPARENT 60' R/W)

**CALDWELL ROAD**  
(APPARENT 100' R/W)

**CALDWELL ROAD**  
(APPARENT 50' R/W)



**OCS DETAIL**

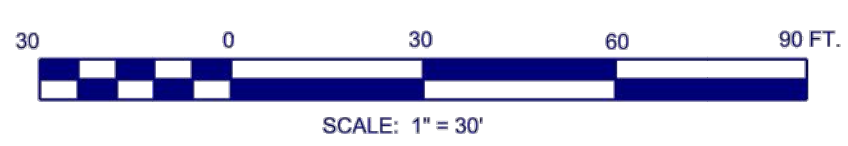


**ABBREVIATIONS**

- |     |                                |         |                          |
|-----|--------------------------------|---------|--------------------------|
| A   | ARC LENGTH                     | IPS     | IRON PIN SET (CAPPED)    |
| AC  | ACRE                           | NIF     | NOW OR FORMERLY          |
| AE  | ACCESS EASEMENT                | OTP     | OPEN TOP PIPE            |
| BSL | BUILDING SETBACK LINE          | PE      | PLAY BOOK                |
| BW  | BARBWARE                       | PL      | PLATE                    |
| CH  | CHAIN LENGTH                   | POB     | POINT OF BEGINNING       |
| CLF | CHAIN LINK FENCE               | POC     | POINT OF COMMENCEMENT    |
| CMF | CONCRETE MONUMENT FOUND        | R       | RADIUS LENGTH            |
| CMP | CORRUGATED METAL PIPE          | R/W     | RIGHT OF WAY             |
| CNC | CONCRETE                       | R/W MON | RIGHT OF WAY MONUMENT    |
| CPP | CORRUGATED PLASTIC PIPE        | RB      | REBAR                    |
| CTP | CRIMP TOP PIPE                 | RCCP    | REINFORCED CONCRETE PIPE |
| DB  | DEED BOOK                      | SSE     | STORM DRAINAGE EASEMENT  |
| DIP | DUCTILE IRON PIPE              | SQ. FT. | SQUARE FEET              |
| FDC | FIRE DEPARTMENT CONNECTION     | SSE     | SANITARY SEWER EASEMENT  |
| FND | FOUND                          | WPF     | WOOD PRIVACY FENCE       |
| HDP | HIGH DENSITY POLYETHYLENE PIPE |         |                          |
| IPF | IRON PIN FOUND                 |         |                          |

**TREE LEGEND (ABBREVIATIONS)**

- |  |                   |     |              |      |            |
|--|-------------------|-----|--------------|------|------------|
|  | DECIDUOUS (TREE)  | BR  | BIRCH        | HY   | HOLLY      |
|  | CONIFEROUS (TREE) | CH  | CHERRY       | HW   | HARDWOOD   |
|  |                   | CM  | CRAPE MYRTLE | MAG  | MAGNOLIA   |
|  |                   | CYP | CYPRESS      | MAP  | MARLE      |
|  |                   | FR  | FIR          | OAK  | OAK        |
|  |                   | GIN | GINGKO       | ORN  | ORNAMENTAL |
|  |                   | GUM | SWEET GUM    | PEAR | PEAR       |
|  |                   | HIC | HICKORY      | POP  | POPULAR    |
|  |                   |     |              | SYC  | SYCAMORE   |



**TerraMark**  
Professional Land Surveying, Inc.

1386 Balls Ferry Road  
Marietta, Georgia 30068  
Phone No. (770) 421-1222  
Fax No. (770) 421-1223  
www.terraMark.com

Project No.	2016-100	Sheet	2/2
Survey Order:	RM	#1	
Drawn By:	MEC	#4	
Approved By:	MCW	#5	
Date:	08/22/16	#7	
Scale:	1"=30'	#8	

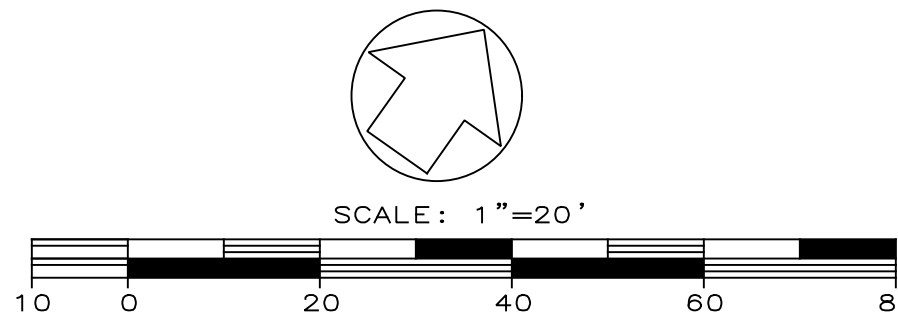
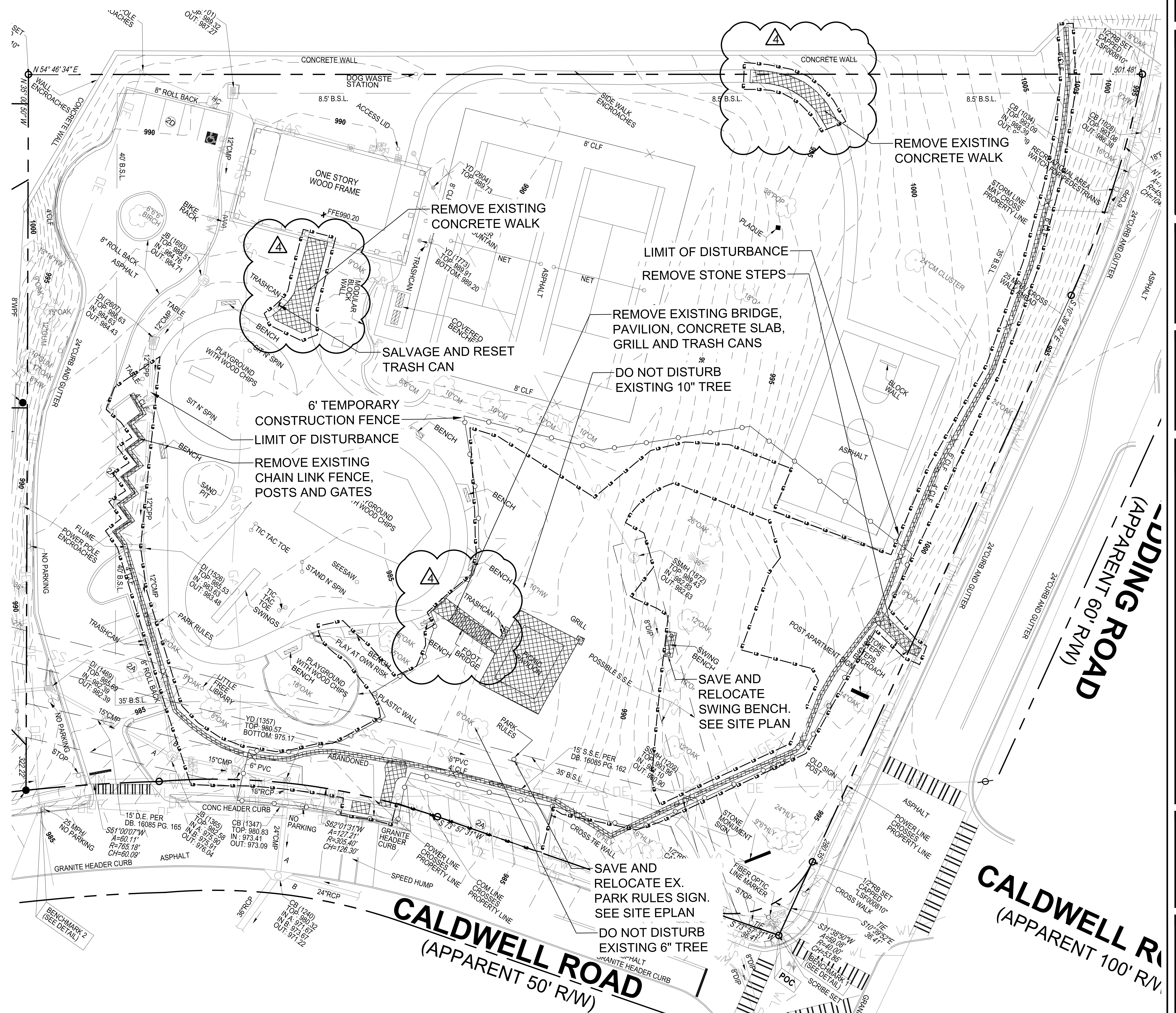
BOUNDARY AND TOPOGRAPHIC SURVEY  
FOR  
THE CITY OF BROOKHAVEN  
(ASHFORD MEMORIAL PARK)  
LOCATED IN  
LAND LOT 272, 18TH DISTRICT  
DEKALB COUNTY, GEORGIA

SHEET NO.  
**2/2**  
DRAWING# TM 16 100

- DEMOLITION NOTES:**
1. CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES WITHOUT INTERFERING WITH VEHICLE AND PEDESTRIAN TRAFFIC IN ADJACENT AREAS.
  2. CONTRACTOR SHALL PROTECT UTILITIES AND BENCHMARKS NOT SCHEDULED FOR DEMOLITION FROM DAMAGE. AT NO ADDITIONAL COST TO OWNER, THE CONTRACTOR SHALL REPLACE OR REPAIR ITEMS DAMAGED BEYOND THE LIMITS OF THE DEMOLITION SHOWN.
  3. DISCONNECT AND SEAL OFF ABANDONED UTILITIES TO BE REMOVED PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES. UTILITIES SHALL BE DISCONNECTED BELOW EXISTING GRADE LEVEL, OR OUTSIDE OF CONTRACT LIMITS BY REPRESENTATIVES OF THE PUBLIC UTILITY BEING DISCONNECTED. MAINTAIN UTILITY SERVICE TO FACILITIES IN USE.
  4. EXCEPT FOR ITEMS DESIGNATED TO BE REMOVED OR REUSED IN THE WORK, ALL MATERIALS RESULTING FROM THIS WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE PROMPTLY REMOVED FROM THE SITE. STORAGE OR SALE OF REMOVED MATERIALS WILL NOT BE PERMITTED ON PROJECT SITE.
  5. REMOVE ALL DEBRIS, RUBBISH, AND WASTE MATERIALS FROM THE SITE. DO NOT STOCKPILE DEBRIS ON SITE.
  6. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
  7. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY THE GOVERNING AGENCY HAVING JURISDICTION.
  8. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION PER THE EROSION AND CONTROL PLANS.
  9. ALL TREES TO REMAIN SHALL HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE.
  10. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET AND TREE PROTECTION AREA.
  11. SAWCUT PAVEMENTS, CURBS, AND/OR WALLS WHOLE TO PROVIDE SMOOTH TRANSITION BETWEEN IMPROVEMENTS TO REMAIN & NEW IMPROVEMENTS.

**GENERAL SITE DEBRIS & FINE GRADING NOTE:**  
 THERE ARE VARIOUS SMALL ITEMS ON THE SITE THAT WILL BE AFFECTED BY DEMOLITION AND CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO PROTECT PERMANENT ITEMS AND WORK AROUND OR REMOVE OTHER ITEMS AS NEEDED. THE FINAL SITE TO BE LEFT CLEAN AND FINE-GRADED. THE CONTRACTOR IS TO REMOVE ANY DIPS, GULLIES, PITS OR OTHER IRREGULARITIES WITHIN THE WORK LIMITS OF THE PROJECT.

**SITE VISIT:**  
 CONTRACTOR SHALL VISIT THE SITE TO VALIDATE ALL DEMOLITION ITEMS AND VERIFY QUANTITIES.

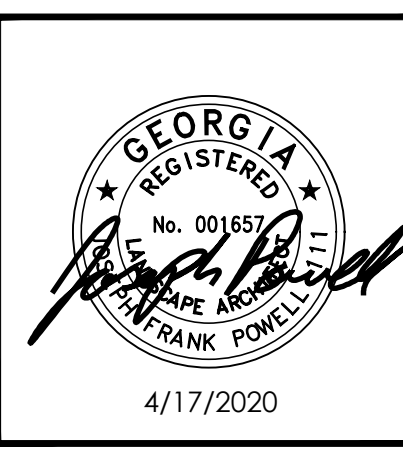


**NOTE:**  
 SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #TM 16 095.



**DRAWINGS SCHEDULE**

No.	Date	Description
4	3-27-20	Building Permit Revision



**CITY OF BROOKHAVEN**  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

DATE: 03/07/19  
 DRAWN: JP  
 CHECKED: JM  
 SCALE: AS SHOWN  
 SHEET TITLE: DEMOLITION PLAN

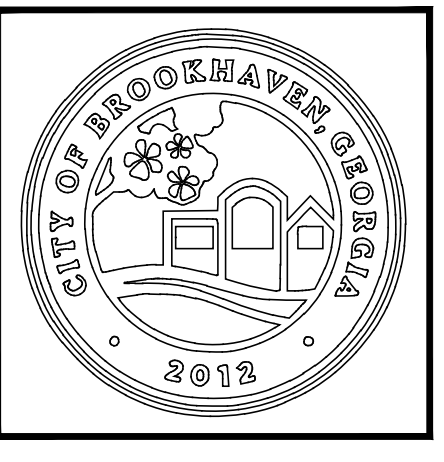
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 DRAWING NUMBER: D1

Plotted By: Joseph Powell  
 Date last plotted: 4/17/2020 1:59 PM  
 Date last accessed: 4/17/2020 1:59 PM  
 Drawing Name: S:\Project\Brookhaven\_C\Ashford Park.Dwg  
 Job Info: CAD\Ashford Park\layout.dwg

- 1a MOBILIZATION, 1 JOB  
TRAFFIC CONTROL
- 1b STAKING, 1 JOB  
SEE SHEET C5-C6
- 2 DEMOLITION, 1 JOB
  - A. REMOVE WOOD BRIDGE AND ABUTMENTS
  - B. REMOVE PAVILION AND CONCRETE SLAB
  - C. REMOVE CHAIN LINK FENCE, POSTS AND GATES
  - D. SALVAGE AND RELOCATE SWING BENCH
  - E. REMOVE STONE STEPS
  - F. TEMPORARY CONSTRUCTION FENCE, 855 LF, SEE SHEET D1
- 3 GRADING & DRAINAGE, 1 JOB  
SEE SHEET G1
- 4 EROSION CONTROL, 1 JOB  
SEE SHEETS ER1-2
- 5 CONCRETE, 1 JOB
  - A. SIDEWALK, 2,450 SF, SEE DETAIL 5/SD1
  - B. STEPS, SEE DETAIL 11/SD2
- 6 PERIMETER FENCE, 1 JOB
  - A. 5' FENCE, 1,132 LF, SEE DETAIL 1/SD1
  - B. 5' SWING GATE, 5 EA, SEE DETAIL 6/SD1
- 7 PEDESTRIAN BOARDWALKS, 1 JOB
  - A. 15 LF WOOD BRIDGE, 1 EA, SEE SHEETS BD1
  - B. 20 LF WOOD BRIDGE, 1 EA, SEE SHEETS BD1
- 8 OPEN AIR SEATING, 1 JOB
  - A. GRANITE SEAT WALLS, 143 LF, SEE DETAIL 4/SD1
  - B. REINFORCED SOD, 1,850 SF, SEE DETAIL 1/LS2
- 9 GRANITE COLUMNS, 1 JOB
  - A. 8" COLUMN, 1 EA, SEE DETAIL 1/SD2
  - B. 10" COLUMN, 1 EA, SEE DETAIL 2/SD2
  - C. 10" COLUMN, 1 EA, SEE DETAIL 3/SD2
  - D. 8" COLUMN, 1 EA, SEE DETAIL 4/SD2
- 10 SITE FURNISHINGS, 1 JOB
  - A. RELOCATED SWING BENCH, 1 EA, SEE DETAIL 6/SD2
  - B. BENCH, 1 EA, SEE DETAIL 9/SD1
  - C. PICNIC TABLE, 4 EA, SEE DETAIL 7/SD1
  - D. TRASH/RECYCLING RECEPTACLE, 1 EA, SEE DETAIL 8/SD1
  - E. DRINKING FOUNTAIN, 1 EA, SEE DETAIL 1/PV3
- 11 PAVILION, 1 JOB
  - A. PAVILION, 1 EA, SEE SHEETS PV1-PV3
- 12 UTILITIES, 1 JOB
  - A. WATER SERVICE, 1 JOB, SEE SHEET U1
  - B. SANITARY SEWER, 1 JOB, SEE SHEET U1
  - C. STORM SEWER, 1 JOB, SEE SHEET U1
  - D. ELECTRICAL SERVICE, 1 JOB, SEE SHEET E1-2
- 13 SPLASH PAD, 1 JOB  
SEE SHEETS S2, SD1-4
- 14 SITE SIGNAGE
  - A. SPLASH PAD RULES SIGN, 1 EA, SEE DETAIL 10/SD2
  - B. EMERGENCY PHONE SIGN, 1 EA, SEE DETAIL 4/SD2
  - C. RELOCATED PARK RULES SIGN, 1 EA, SEE DETAIL 6/SD2
- 15 LANDSCAPING, 1 JOB  
SEE SHEET LS1-3  
TREE PROTECTION, SEE SHEET TPR1
- 16 FINAL CLEAN UP & GRADING, 1 JOB



ARCHITECTURE  
ENGINEERING  
PLANNING  
CPL Team.com



DRAWINGS SCHEDULE

No.	Date	Description



CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
03/07/19	JP	JM

SCALE AS SHOWN  
SHEET TITLE

CONSTRUCTION ITEMS

PROJECT NUMBER
15089.00
C11
DRAWING NUMBER

NOTE:  
SURVEY CONDUCTED BY TERRAMARK  
LAND SURVEYING INC., 1396 BELLS  
FERRY ROAD, MARIETTA, GEORGIA 30066,  
770-421-1927, DRAWING #TM 16 035.

**GEORGIA 811**  
Utilities Protection Center, Inc.  
1-800-282-7411  
Know what's below.  
Call before you dig.

Printed By: Joseph Powell  
Date last plotted: 4/17/2020 1:59 PM  
Date last accessed: 4/17/2020 1:59 PM

Drawing Name: S:\Projects\Brookhaven, CA\Ashford Park, D\Design\01 Job Info\CAD\Ashford Park\Layout.dwg  
Date last accessed: 4/17/2020 1:59 PM

No.	Date	Description
4	3/27/20	Building Permit Revision



CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
03/07/19	JP	JM

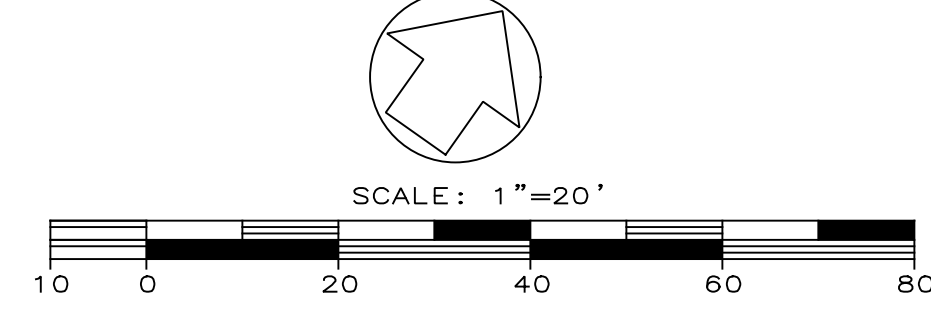
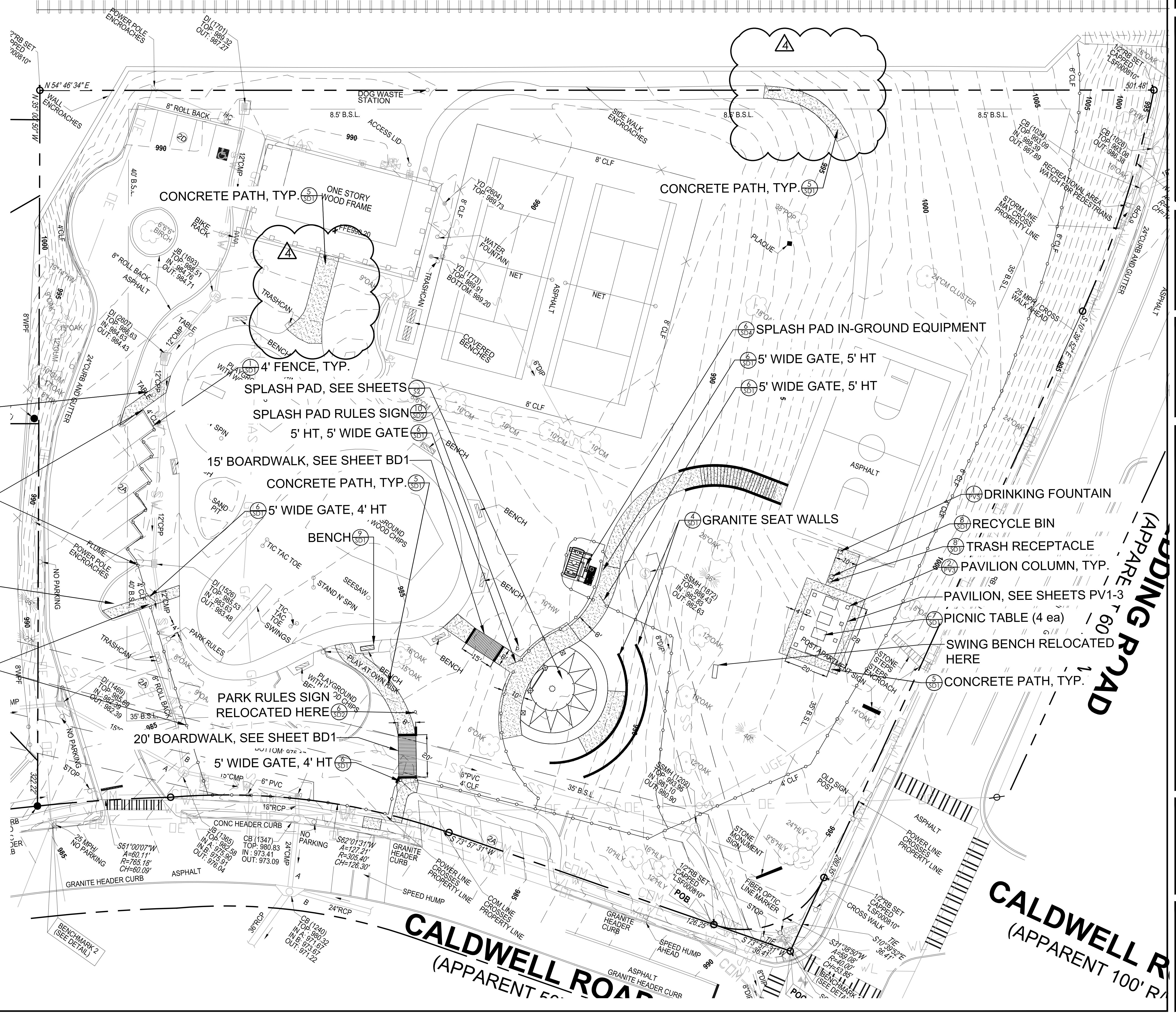
SCALE: AS SHOWN  
SHEET TITLE: SITE PLAN

PROJECT NUMBER	15089.00
SHEET NUMBER	S1
DRAWING NUMBER	

- GENERAL LAYOUT NOTES:**
- INSTALL JOINTS WHERE SHOWN. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
  - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
  - GENERAL CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL SLEEVES.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
  - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
  - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER WHEN ESTIMATING.
  - ALL GRADE ELEVATIONS AND HORIZONTAL CONTROL TO BE SET FROM PROJECT BENCHMARK NOTED ON PLANS.

- IMPERVIOUS SURFACE:**
- TOTAL NEW IMPERVIOUS SURFACE = 4,975 SF
- SPLASH PAD AREA:**
- TOTAL = 1,920 SF

- RELOCATE EX. TABLE AS DIRECTED BY OWNERS REPRESENTATIVE
- ALONG CONCRETE WALL, POSTING CORE DRILLED FENCE POST HOLES SHALL BE REUSED FOR PROPOSED FENCE POSTS.
- RELOCATE EX. BOULDER AS DIRECTED BY OWNERS REPRESENTATIVE
- ALONG THIS PARKING BAY, EXITING FENCE POST HOLES SHALL BE REUSED FOR PROPOSED FENCE POSTS.



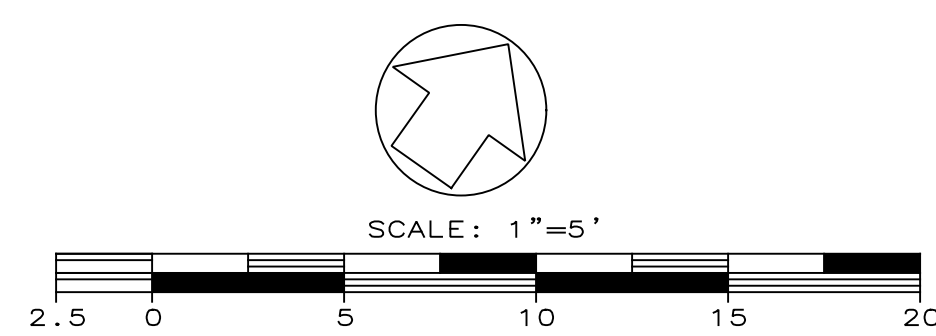
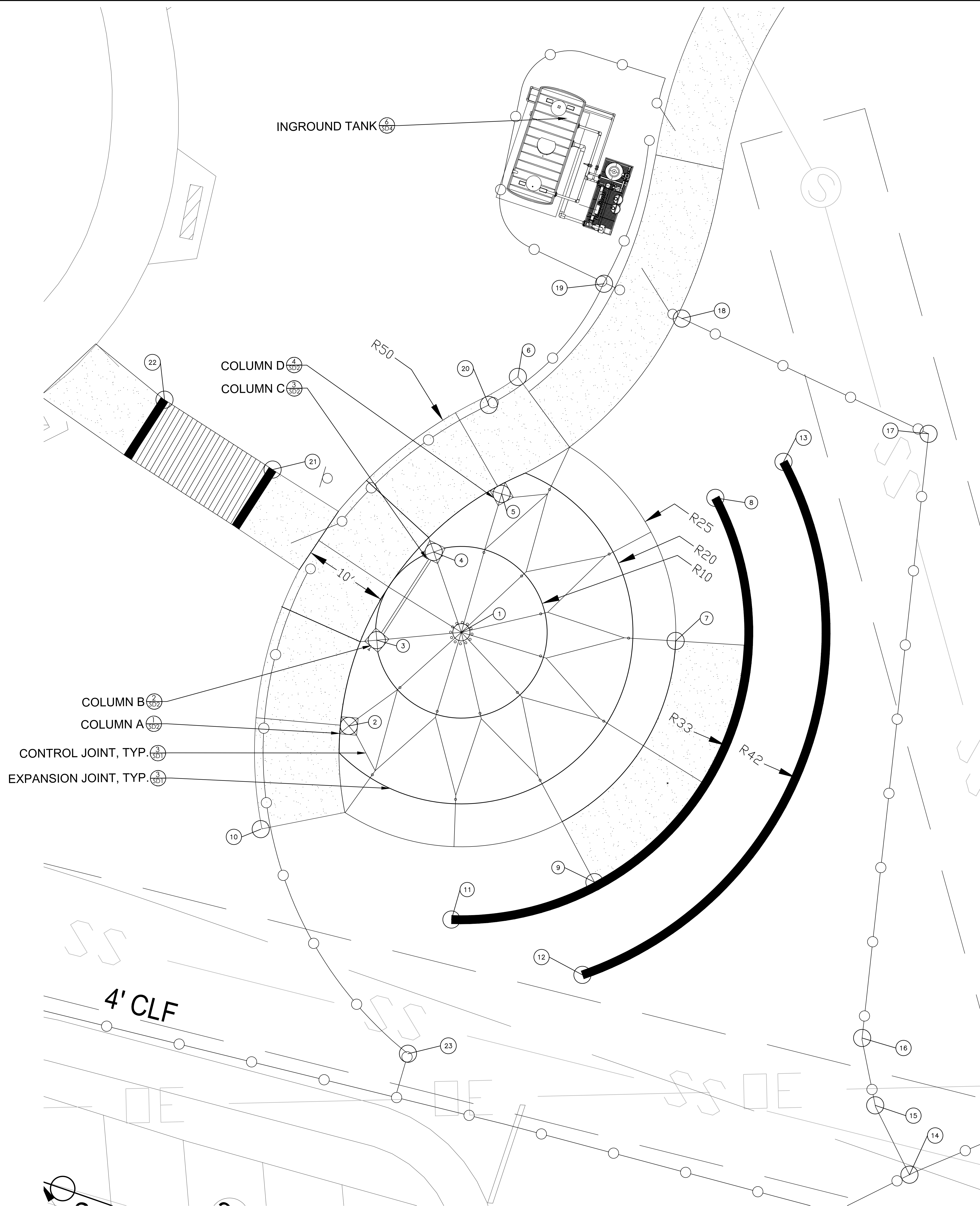
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 Drawing Name: S:\Projects\Brookhaven, CA\Ashford Park.Dwg  
 Job Info: CAD\Ashford Park Layout.dwg

Point #	Northing	Easting
1	1409678.8833	2248335.7195
9	1409664.0254	2248365.1815
2	1409662.4031	2248331.2940
3	1409672.4531	2248328.1896
4	1409684.6696	2248327.6867
5	1409694.7672	2248330.2539
6	1409706.9973	2248323.9338
7	1409692.4574	2248356.7051
8	1409708.7502	2248350.8726
10	1409646.6559	2248329.8447
11	1409650.8585	2248354.0765
12	1409654.3875	2248370.2674
13	1409716.7557	2248354.9352
14	1409657.3353	2248414.8372
15	1409661.6402	2248406.9184
16	1409667.1758	2248401.1424
17	1409729.1784	2248366.8687
18	1409723.5684	2248335.6281
19	1409721.6605	2248325.8843
20	1409702.3821	2248323.0577

Point #	Northing	Easting
21	1409681.7015	2248306.8129
22	1409681.0847	2248291.8256
23	1409635.1598	2248358.9575

SPLASH PAD AREA:  
1. TOTAL = 1,920 SF



DRAWINGS SCHEDULE	
No.	Date Description

CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE		
SITE PLAN SPLASH PAD		

PROJECT NUMBER
15089.00
S2
DRAWING NUMBER

**SITE / GRADING NOTES:**

- THE CONTRACTOR SHALL PRESERVE BENCHMARKS AND REFERENCE POINTS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF BROOKHAVEN REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- NOTIFY ALL CITY OF BROOKHAVEN INSPECTORS AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.
- IF THE CONTRACTOR IN THE COURSE OF WORK FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTORS RISK.
- DUST AND DEBRIS FROM GRADING AND OPERATION OF EQUIPMENT MUST BE MONITORED AND MINIMIZED TO LEVELS ACCEPTABLE TO THE ENGINEER, OWNER AND CITY OF BROOKHAVEN.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY OF BROOKHAVEN OF ANY LAND DISTURBING ACTIVITIES WHICH MAY RESULT IN THE TAKE OF ENDANGERED SPECIES. IT IS THE RESPONSIBILITY OF THE OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY DISTURBANCE WHICH MAY HAVE THIS EFFECT.
- THE TRAFFIC CONTROL DEVICES MUST COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION.
- UPON COMPLETION OF THE CONTRACT WORK, THE CONTRACTOR WILL BE REQUIRED TO RESTORE THE STAGING AREA AND SURROUNDING AREAS AFFECTED BY HIS WORK TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF AND AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS THAT ARE PERTINENT TO THIS WORK.
- ALL CONCRETE, ASPHALT, WASTE EMBANKMENT, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- HANDICAP ACCESSIBLE RAMPS, AS PER THE AMERICAN NATIONAL STANDARDS INSTITUTE, SHALL BE INSTALLED AT THE SAME TIME AS THE CURB IS PLACED.
- NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN ENTERING MANHOLES, PIPES OR OTHER STRUCTURES SHOWN ON THE PLANS. AT A MINIMUM, THESE PIPES AND STRUCTURES SHALL BE PROPERLY VENTILATED.
- ALL PAVEMENT MARKINGS SHALL BE PAINTED.
- ALL UTILITIES SHALL BE PLACED UNDERGROUND. (UTILITIES SHALL NOT BE LOCATED IN ANY DRAINAGE EASEMENTS EXCEPT FOR CROSSINGS).
- ALL CONSTRUCTION CONTRACTORS MUST OBSERVE THE LIMITS OF CONSTRUCTION OR DISTURBANCE AS SHOWN.
- IF USING HOPE/HDPE PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO M177, TYPE S&D. CONNECTION SHALL USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-47. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATION CONSTRUCTION OF ROAD AND BRIDGES.
- IF USING ALUMINUM COATED TYPE 2 STEEL PIPE OR ALUMINUM ALLOY PIPE, ALL ALUMINUM COATED TYPE 2 STEEL PIPE OR ALUMINUM ALLOY PIPE, WHICH WILL CARRY A LIFE STREAM, SHALL HAVE PAVED INVERTS IN ACCORDANCE WITH AASHTO M-190, TYPE C, EXCEPT THAT THE PIPE NEED NOT BE FULLY COATED. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATION CONSTRUCTION OF ROAD AND BRIDGES.
- IF USING RCP PIPE, ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPES WITH RUBBER GASKET CONFORMING TO ASTM C-443. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GA. DOT SPECIFICATION, TABLE NO. 1. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS CONSTRUCTION OF ROAD AND BRIDGES.
- A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALL WHICH EITHER EXCEEDS 4 FEET IN HEIGHT OR WHICH HAS A BACKFILL SLOPE GREATER THAN 1 FOOT RISE IN 3 FEET HORIZONTAL) AND FOR EACH DETENTION POND WALL (DAM) IN ACCORDANCE WITH CITY OF BROOKHAVEN CONSTRUCTION CODE. A CERTIFICATE OF COMPLETION SHALL BE ISSUED BY CITY OF BROOKHAVEN BUILDING INSPECTORS SECTION FOR ALL WALLS PERTINENT TO THE PROJECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY USABLE STRUCTURE ON THE SITE OR PRIOR TO APPROVAL OF THE FINAL SUBDIVISION PLAT AS APPLICABLE.
- ALL SLOPES TO HAVE POSITIVE DRAINAGE.

**IMPERVIOUS SURFACE:**

- TOTAL NEW IMPERVIOUS SURFACE = 4,975 SF

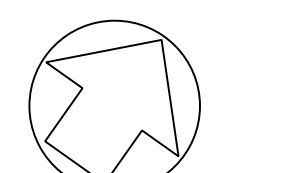
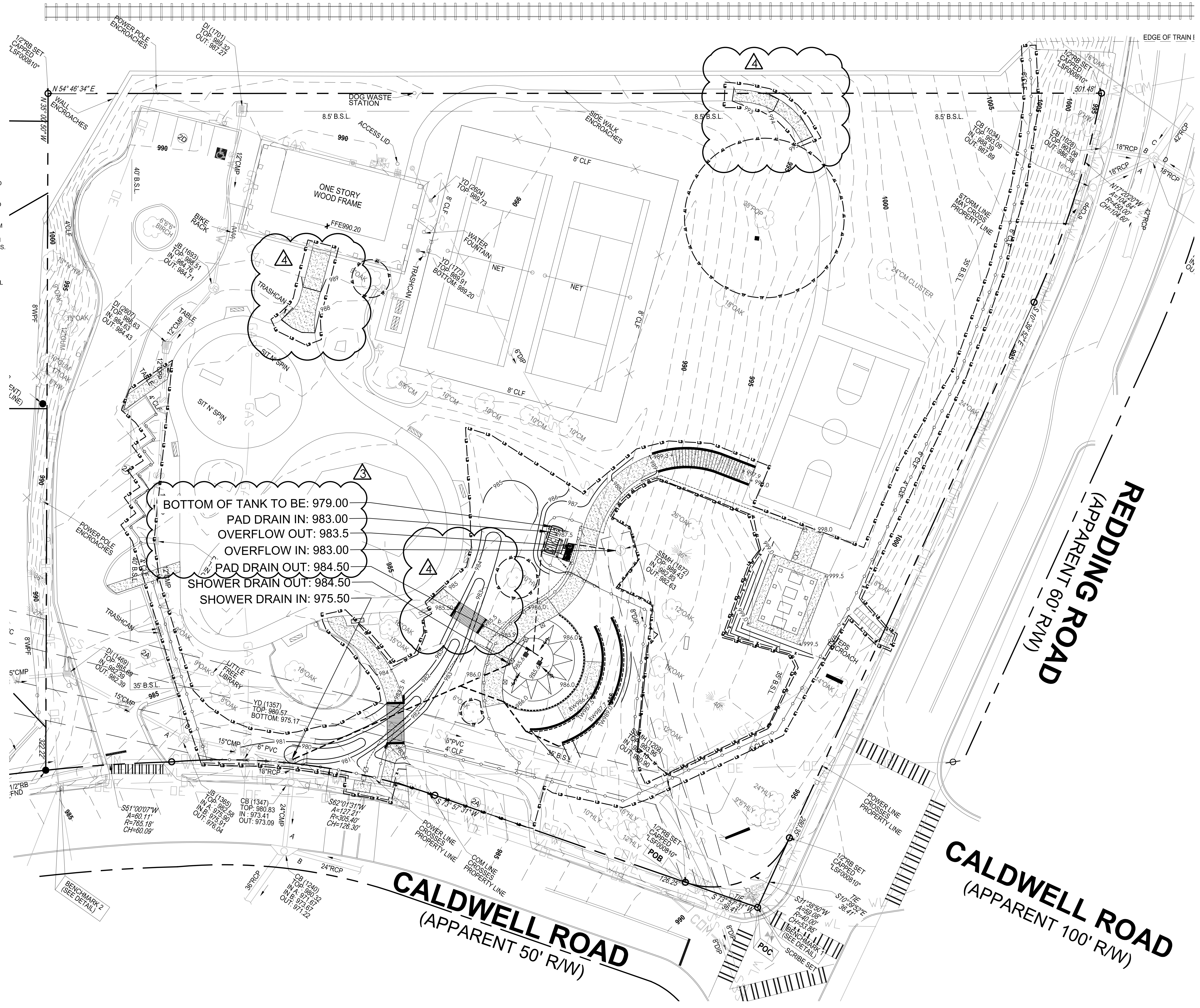
**SPLASH PAD AREA:**

- TOTAL = 1,920 SF

BOTTOM OF TANK TO BE: 979.00  
 PAD DRAIN IN: 983.00  
 OVERFLOW OUT: 983.5  
 OVERFLOW IN: 983.00  
 PAD DRAIN OUT: 984.50  
 SHOWER DRAIN OUT: 984.50  
 SHOWER DRAIN IN: 975.50

# SOUTHERN RAILWAY / MARTA

(APPARENT 200' R/W)  
 (VALUATION MAP # V-12 S22B)



SCALE: 1"=20'



NOTE:  
 SURVEY CONDUCTED BY TERRAMARK  
 LAND SURVEYING INC., 1396 BELLS  
 FERRY ROAD, MARIETTA, GEORGIA 30066,  
 770-421-1927, DRAWING #TM 16 095.



**DRAWINGS SCHEDULE**

No.	Date	Description
3	3-10-20	Permit Revision
4	3-27-20	Building Permit Revision



CITY OF BROOKHAVEN  
 ASHFORD PARK SPLASH PAD  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
03/07/19	JP	JM

SCALE: AS SHOWN  
 SHEET TITLE: GRADING AND DRAINAGE PLAN

PROJECT NUMBER 15089.00
G1
DRAWING NUMBER

Date last accessed: 4/17/2020 1:39 PM  
 Date last plotted: 4/17/2020 1:39 PM  
 Plotted by: Joseph Powell  
 Drawing Name: S:\Project\Brookhaven, CA\Ashford Park D.Design\01 Job Info\CAD\Ashford Park Layout.dwg

**DEKALB COUNTY DEPT OF WATER MANAGEMENT NOTES:**

- ALL DESIGN AND CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LIFT STATIONS AND BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS 2009 EDITION, VERSION 1.0. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
- DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EASEMENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS-BUILT PLANS.
- PROJECTS INVOLVING CONSTRUCTION OF TOWNHOMES AND/OR CONDOMINIUMS ARE REQUIRED TO HAVE INDIVIDUAL METERS FOR EACH UNIT.
- FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY WATER AND SEWER ENGINEER BEFORE CHANGES ARE IMPLEMENTED.
- FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTANCE BOND TO DEKALB COUNTY FOR WATERSHED UTILITIES PRIOR TO APPROVAL OF AS-BUILT PLANS.
- CONTRACTOR MUST CLEAN AND T.V. SANITARY SEWER LINES AFTER CONNECTIONS AREA MADE TO THE EXISTING SEWER TIE-IN POINTS. TRAGER WIRE TO BE INSTALLED FOR PVC PIPES.
- THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
- WATER & SEWER DEPT. REQUIRES THAT A BACKFLOW PREVENTER DEVICE BE INSTALLED (IF CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE LINE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION.
- POTABLE WATER MAINS SHALL MAINTAIN A TEN FOOT HORIZONTAL AND EIGHTEEN INCH VERTICAL CLEARANCE FROM NON-POTABLE PIPELINES.
- GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).
- PROVIDE EASEMENT PLAT AND DEED FOR REVIEW FOR ALL SANITARY SEWER AND WATER EASEMENTS (AFTER CONSTRUCTION AND WITH AS-BUILTS).
- WATER AND SEWER ACCESS FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES: NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC. THESE FEES ARE TO BE PAID AT 330 W. PONCE DE LEON AVE, 2ND FLOOR. FAILURE TO SETTLE THESE FEES WILL RESULT IN DELAYS FOR OBTAINING WATER AND SEWER PLAN APPROVAL, AS WELL AS CERTIFICATE OF OCCUPANCY/COMPLETION.
- ON-SITE WATER IS PRIVATE. EXISTING PUBLIC SEWER MAINS EXIST ON-SITE. A PORTION OF THE NEW SEWER EXTENSION IS PUBLIC AND WILL BE LOCATED WITHIN AN EASEMENT. THE SEWER EXTENDING FROM THE LAST PUBLIC MANHOLE IS PRIVATE.
- ADD BLOCK FOR TOTAL PROPOSED WATER/SANITARY SEWER INFRASTRUCTURE.
- CONTRACTOR MUST NOTIFY THE DWM CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

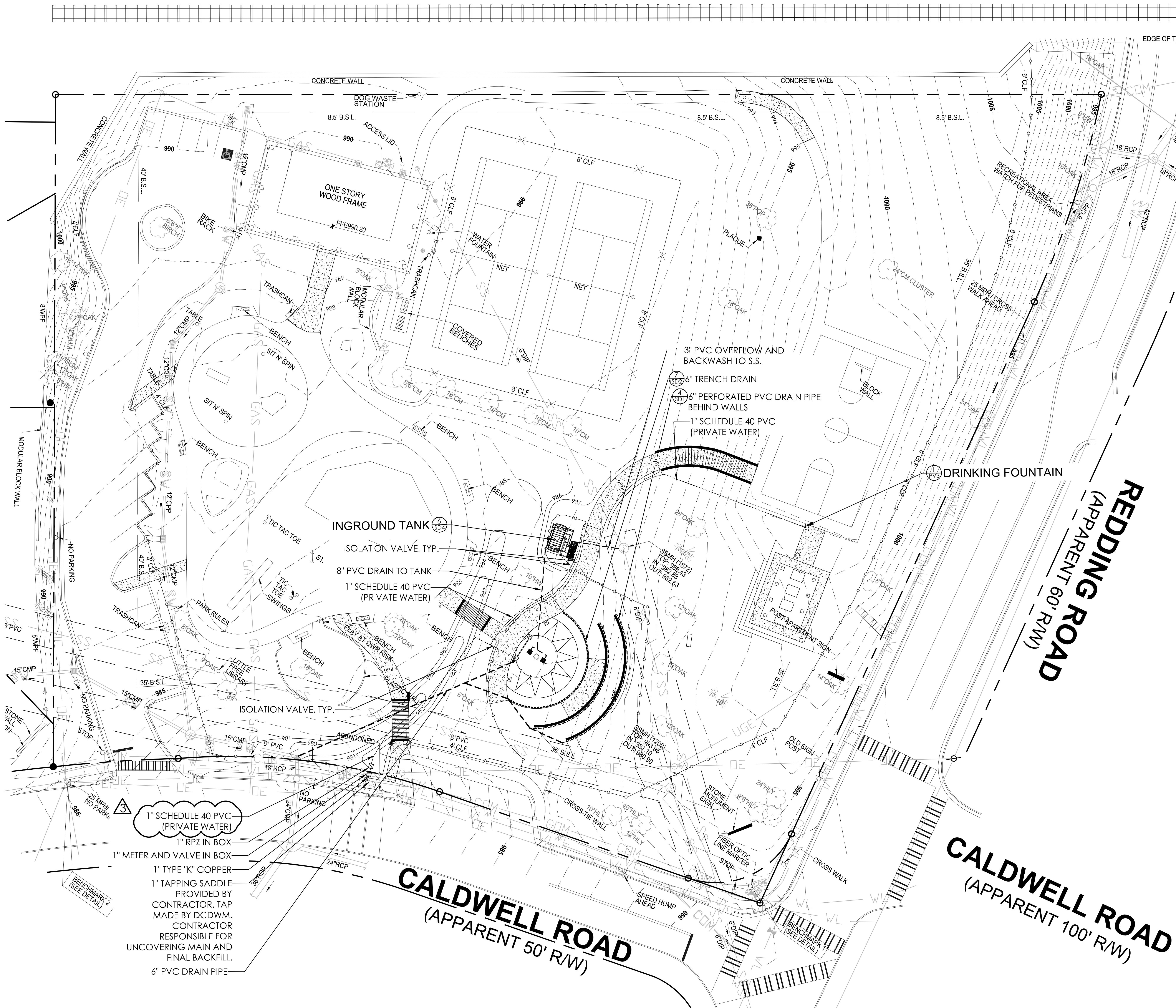
EDWIN SIMPSON: 770-621-7245  
 DANIEL TUCKER: 404-732-6411  
 BRUCE MAYHEW: 678-516-8627

- SAFETY PLATFORM REQUIRED ON MANHOLES DEEPER THAN 16 FEET IN HEIGHT.

**SOUTHERN RAILWAY / MARTA**

(APPARENT 200' R/W)

(VALUATION MAP # V-12 S22B)



- 1" SCHEDULE 40 PVC (PRIVATE WATER)
- 1" RPZ IN BOX
- 1" METER AND VALVE IN BOX
- 1" TYPE "K" COPPER
- 1" TAPPING SADDLE PROVIDED BY CONTRACTOR. TAP MADE BY DCDWM. CONTRACTOR RESPONSIBLE FOR UNCOVERING MAIN AND FINAL BACKFILL.
- 6" PVC DRAIN PIPE

**CALDWELL ROAD**  
 (APPARENT 50' R/W)

**REDDING ROAD**  
 (APPARENT 60' R/W)

**CALDWELL ROAD**  
 (APPARENT 100' R/W)

**DeKalb County**  
 GEORGIA

**LETTER SHOWING SEWER CAPACITY**

February 26, 2020

Attention: Joe Powell  
 CFI  
 3011 SuttonGate Dr., Ste. 130  
 Suwanee, GA 30024

Re: 2980 Redding Rd.  
 18th Dist, LL 272  
 Ashford Park Splash Pad  
 NFFC

Dear Mr. Powell:

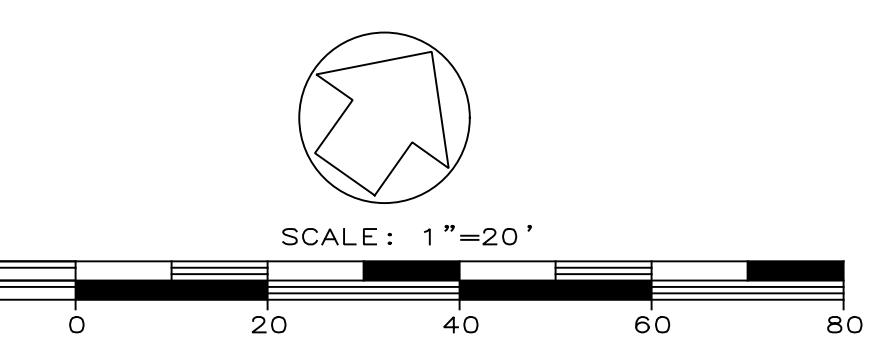
The DeKalb County Department of Watershed Management ("DWM") received a sewer capacity request regarding the potential availability of sanitary sewer capacity at the above-referenced location. In response to the inquiry, DWM staff confirms that sanitary sewer capacity may be available for the subject property at this time. After evaluating your capacity request, it has been determined based on the criteria set forth in DWM's Interim Sanitary Sewer Capacity Evaluation Program dated July 13, 2018 that DWM's wastewater collection, transmission, and treatment system has adequate capacity to receive the wastewater flow contribution from your sewer service connection as documented in your sewer capacity request. As such, approval to proceed with the project is granted with regards to sanitary sewer capacity.

Please note that the determination of available capacity expressed herein is not guaranteed as it is based upon the known conditions as of the date of this correspondence and on the provided anticipated capacity needs associated with the project. In the event that sewer system infrastructure improvements are required to accommodate any new flow contribution and ensure adequate sewer system capacity as a result of development on the referenced property, the developer will be responsible for the cost associated with installing any such improvements to the existing sewer system infrastructure pursuant to DeKalb County Code of Ordinances, Chapter 25, Article IV - "Sewers and Sewerage Disposal". Once installed and accepted by DeKalb County, the improvements will be owned and maintained by DeKalb County.

This information is based on currently available data and should only be used to substantiate the potential availability of sewer services as of the date of this correspondence. Circumstances are subject to change and the potential capacity indicated herein is in no way guaranteed.

Should you have any questions or concerns in reference to this response, please do not hesitate to contact the Division of Planning & Development of DWM at [mlotts@dekalbcountyga.gov](mailto:mlotts@dekalbcountyga.gov).

Sincerely,  
 Gregory L. Williams, Executive Assistant/Chief Operating Officer  
 Darren Eastall, Program Administrator-Consent Decree



NOTE:  
 SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #TM 16 095.



**DRAWINGS SCHEDULE**

No.	Date	Description
1	12-12-19	County Permit Revision



**CITY OF BROOKHAVEN**  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

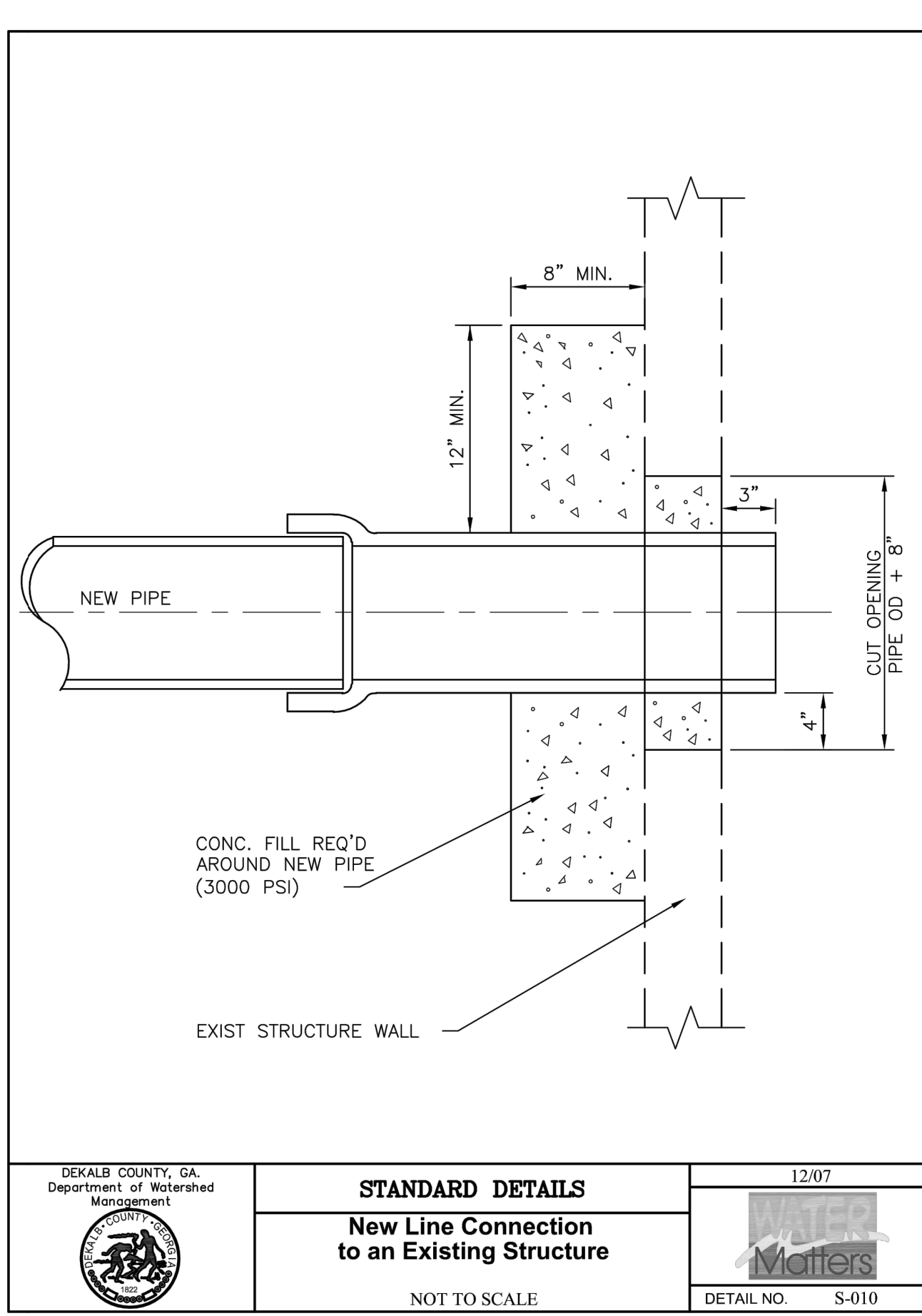
DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE		
UTILITY PLAN		

PROJECT NUMBER	15089.00
U1	
DRAWING NUMBER	

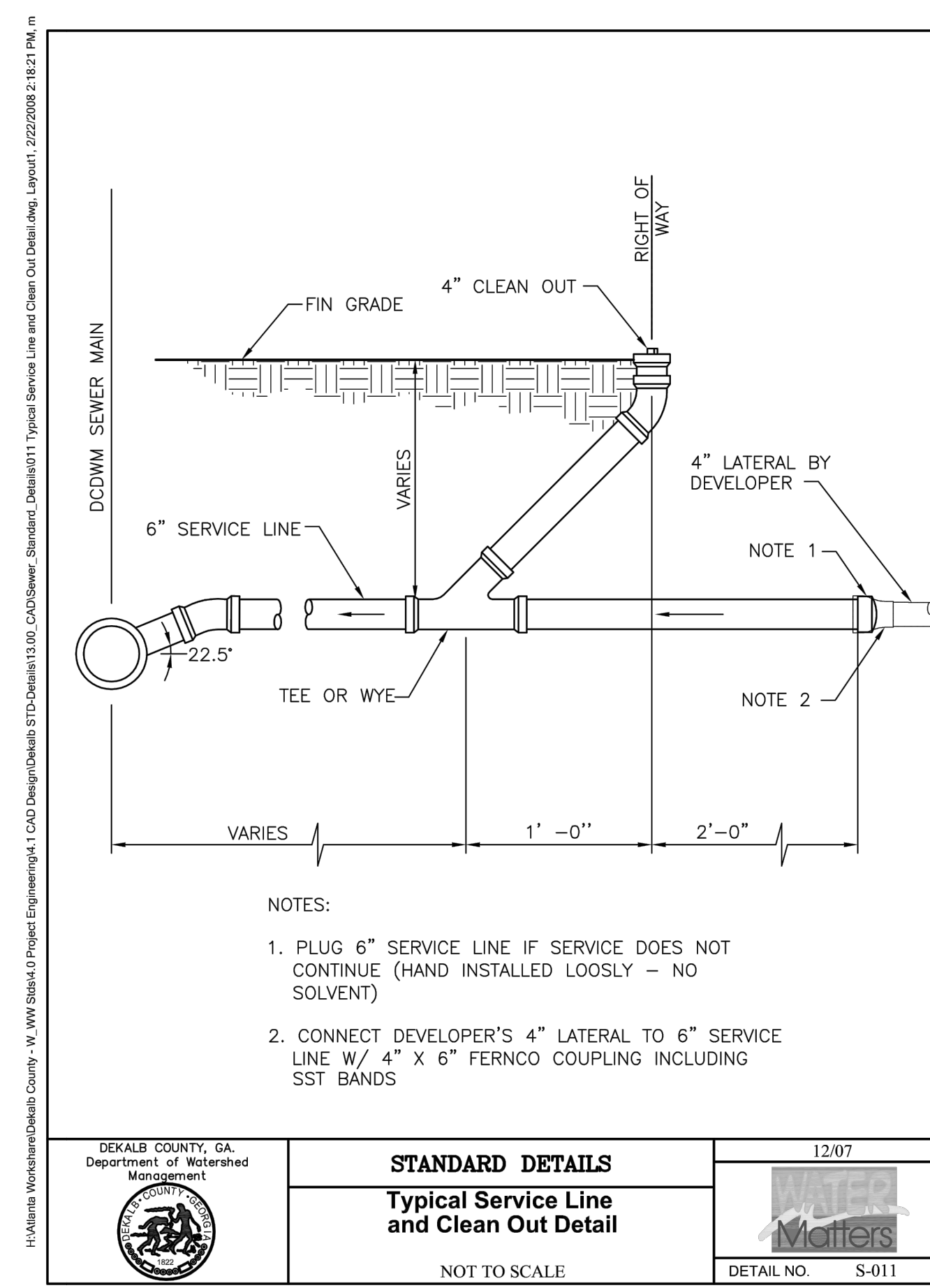
Date last plotted: 4/17/2020 2:00 PM  
 Date last accessed: 4/17/2020 1:39 PM  
 Drawing Name: S:\Project\Brookhaven\_C\Ashford Park.D Design\01 Job Info\_CAD\Ashford Park layout.dwg  
 Plotted by: Joseph Powell



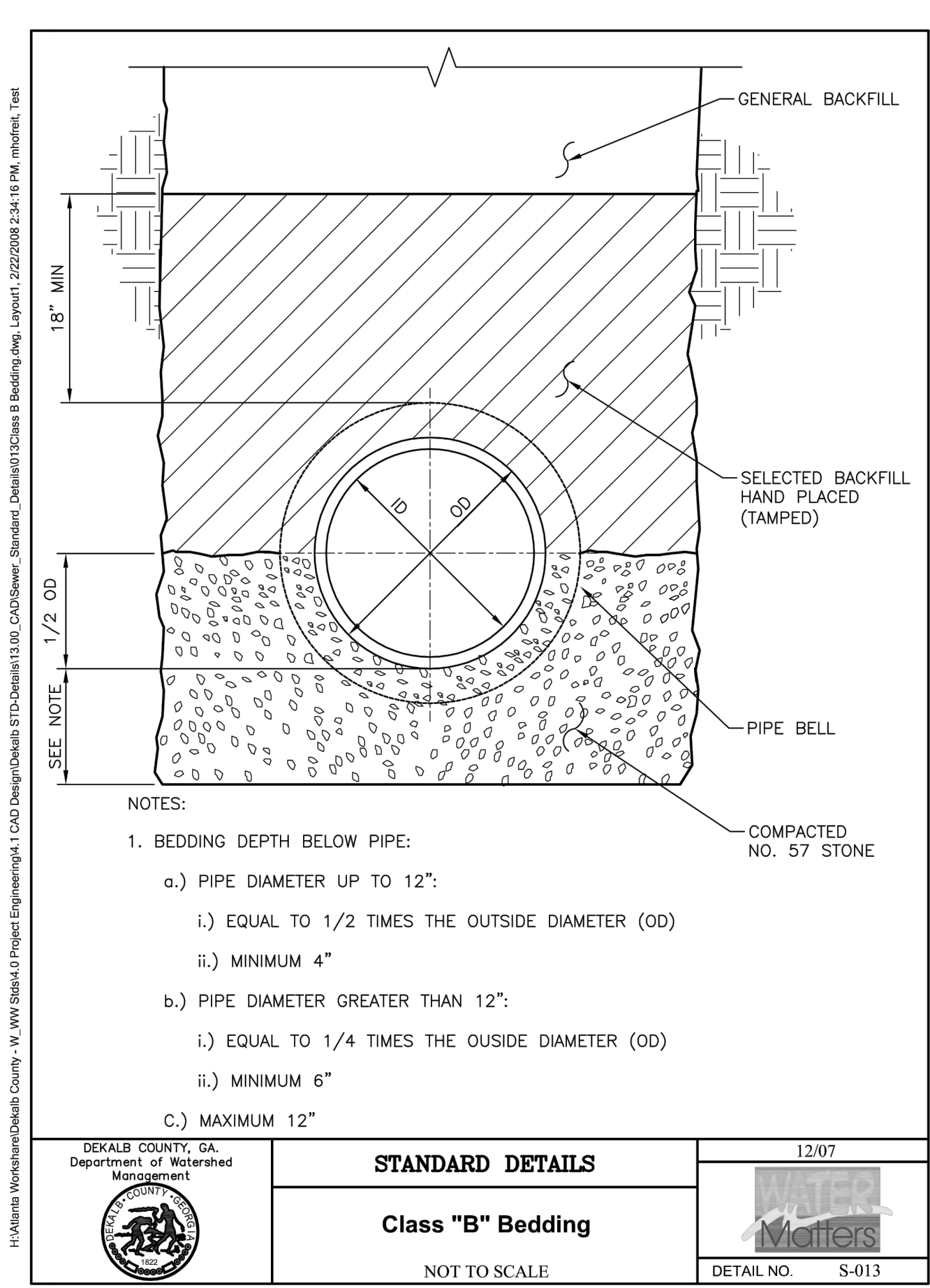
11-Ashford Park\_01 Project\_01 Job\_Info\_CAD\_Ashford Park\_Layout.dwg Date last accessed: 4/17/2020 1:39 PM Plotted By: Joseph Powell Date last plotted: 4/17/2020 2:00 PM 11-Ashford Park\_01 Project\_01 Job\_Info\_CAD\_Ashford Park\_Layout.dwg



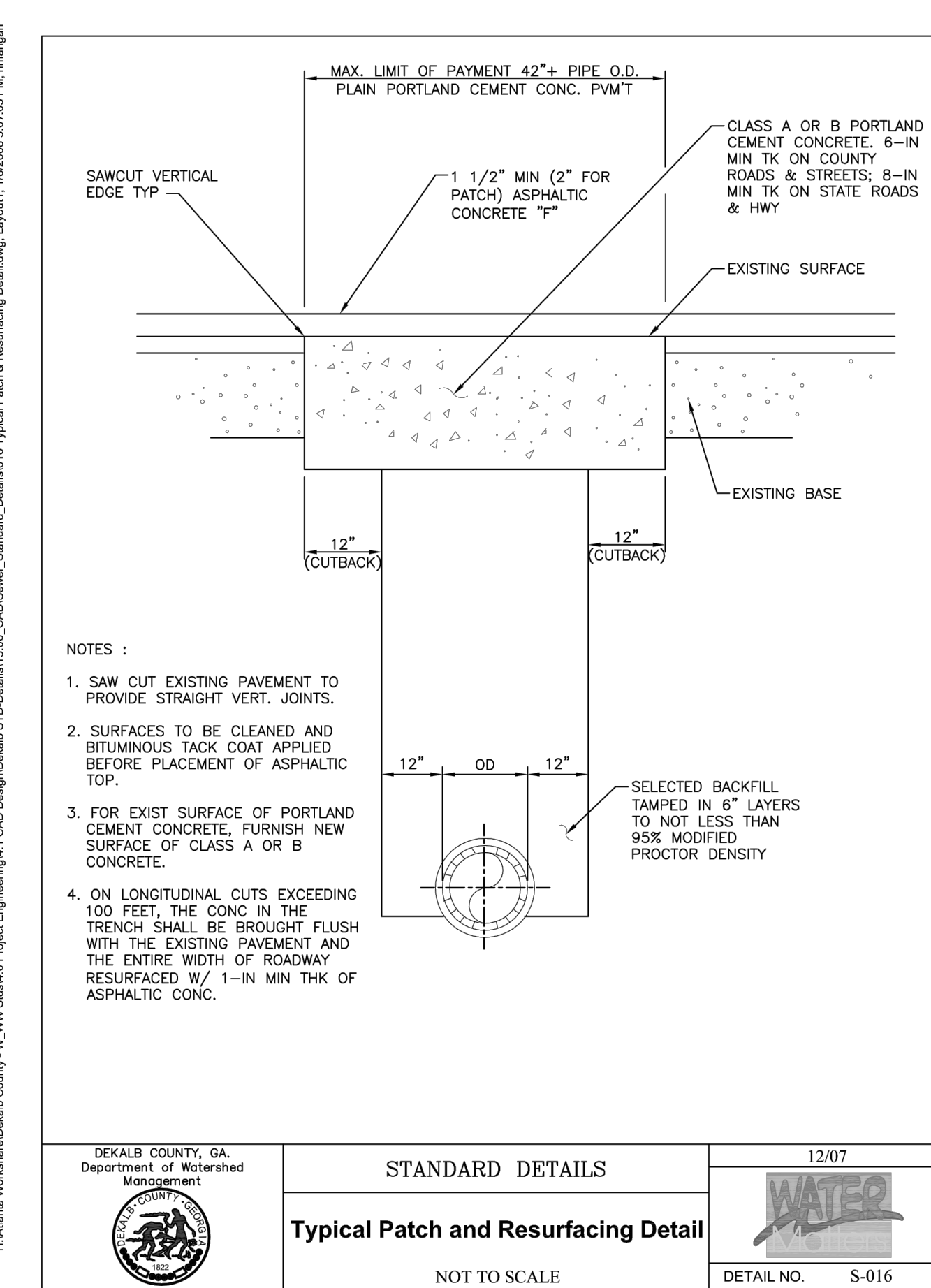
	<b>STANDARD DETAILS</b> <b>New Line Connection to an Existing Structure</b>	12/07
	NOT TO SCALE DETAIL NO. S-010	



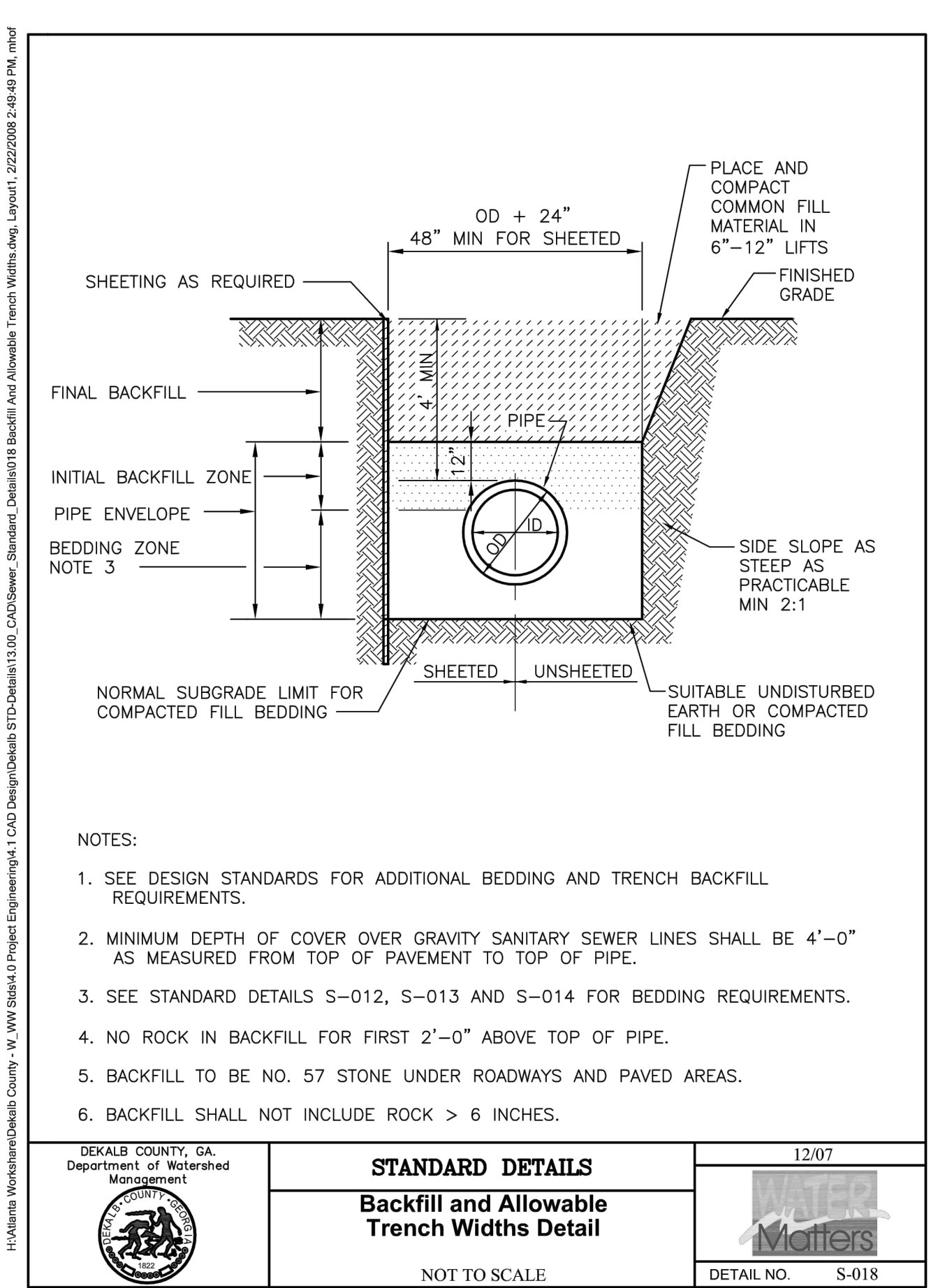
	<b>STANDARD DETAILS</b> <b>Typical Service Line and Clean Out Detail</b>	12/07
	NOT TO SCALE DETAIL NO. S-011	



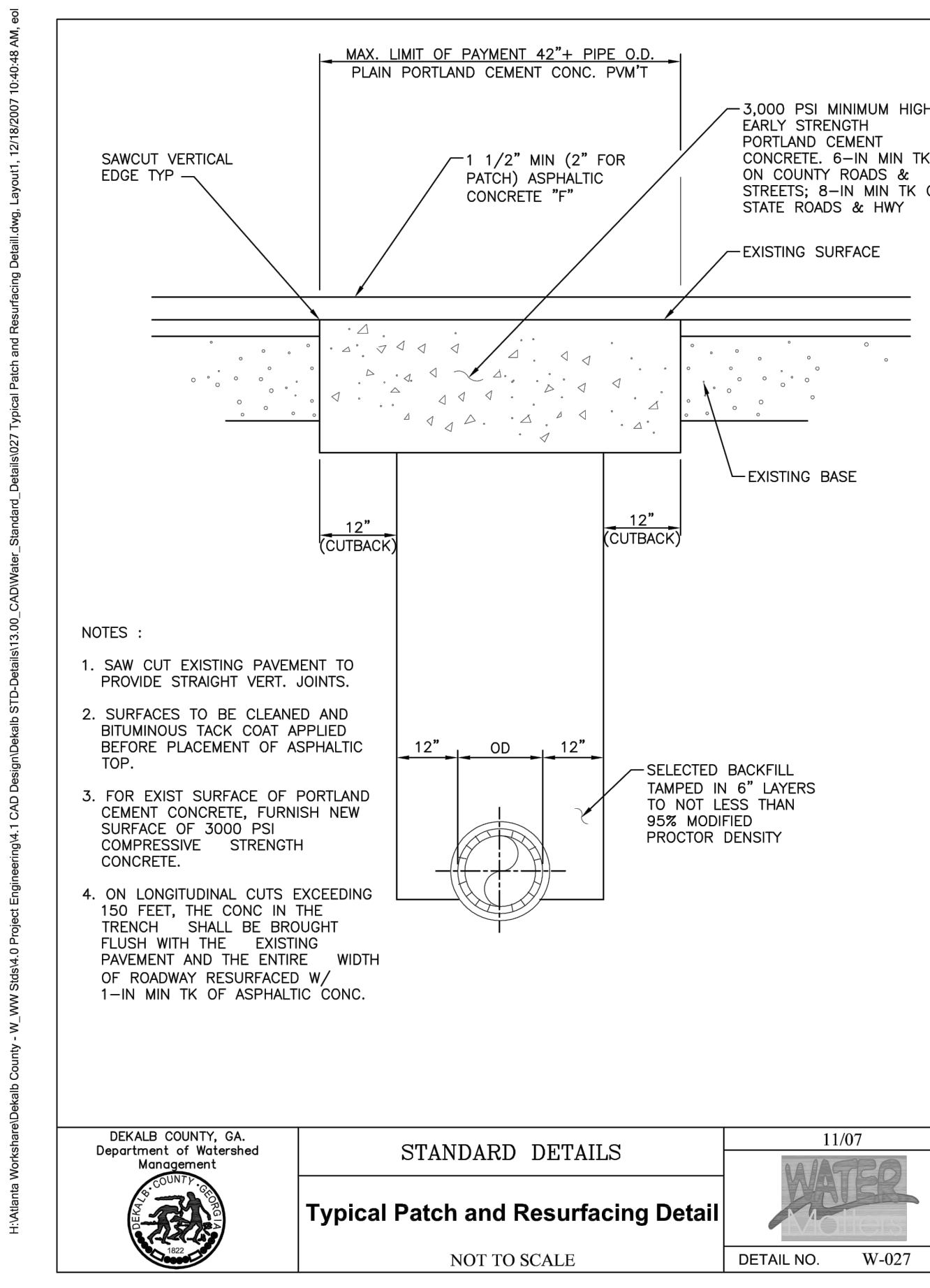
	<b>STANDARD DETAILS</b> <b>Class "B" Bedding</b>	12/07
	NOT TO SCALE DETAIL NO. S-013	



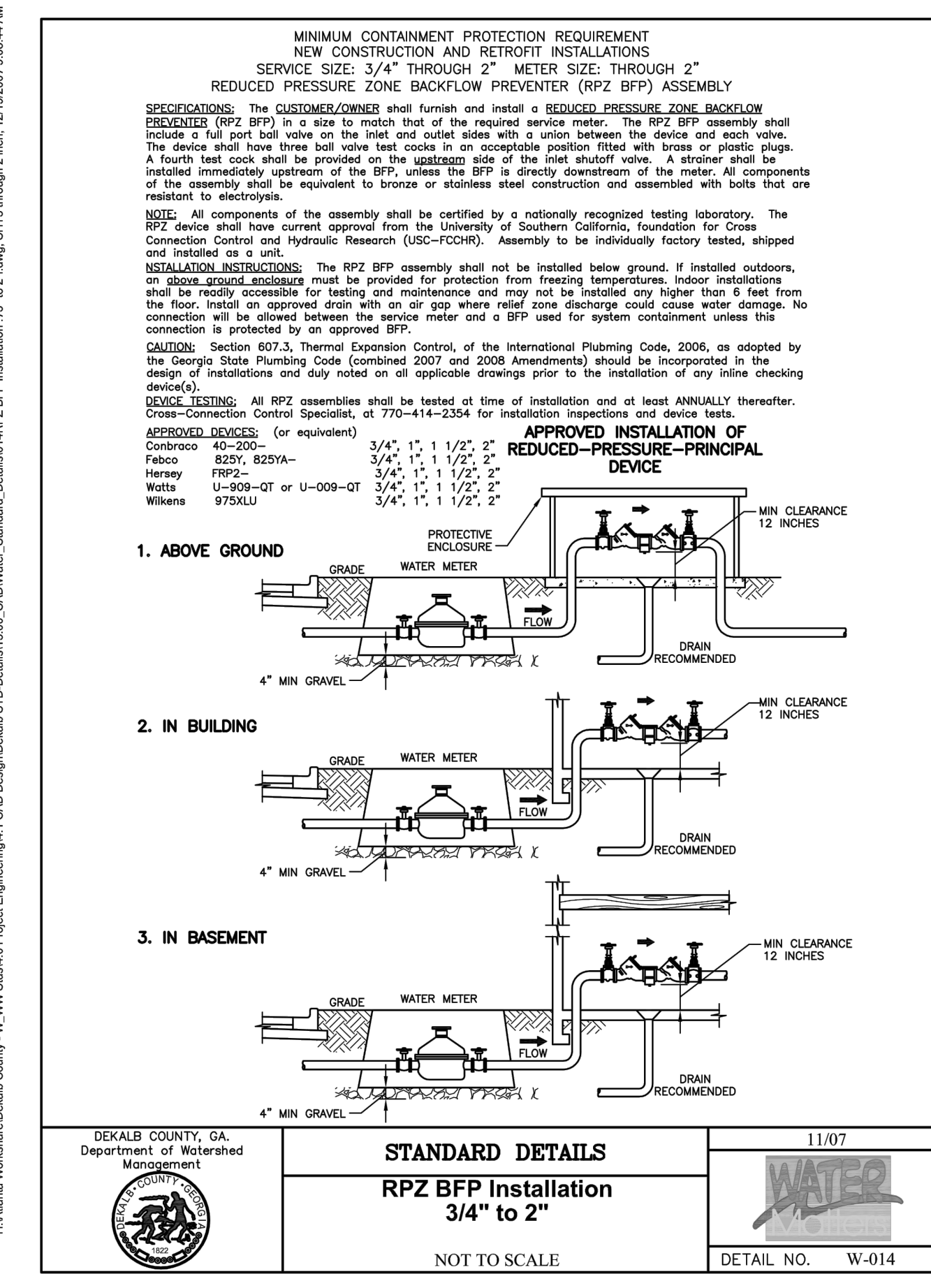
	<b>STANDARD DETAILS</b> <b>Typical Patch and Resurfacing Detail</b>	12/07
	NOT TO SCALE DETAIL NO. S-016	



	<b>STANDARD DETAILS</b> <b>Backfill and Allowable Trench Widths Detail</b>	12/07
	NOT TO SCALE DETAIL NO. S-018	



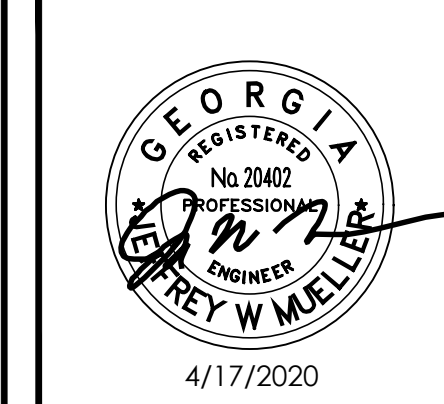
	<b>STANDARD DETAILS</b> <b>Typical Patch and Resurfacing Detail</b>	11/07
	NOT TO SCALE DETAIL NO. W-027	



	<b>STANDARD DETAILS</b> <b>RPZ BFP Installation 3/4" to 2"</b>	11/07
	NOT TO SCALE DETAIL NO. W-014	



DRAWINGS SCHEDULE	
No.	Date Description

CITY OF BROOKHAVEN  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30019

DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE		
SANITARY SEWER AND WATER DETAILS		

PROJECT NUMBER	15089.00
SWD1	
DRAWING NUMBER	







Date last accessed: 4/17/2020 1:39 PM  
 Date last plotted: 4/17/2020 2:01 PM  
 Project Name: S:\Project\Brookhaven, CA\Ashford Park.Dwg  
 Job Info: CAD\Ashford Park Layout.dwg  
 Plotted By: Joseph Powell

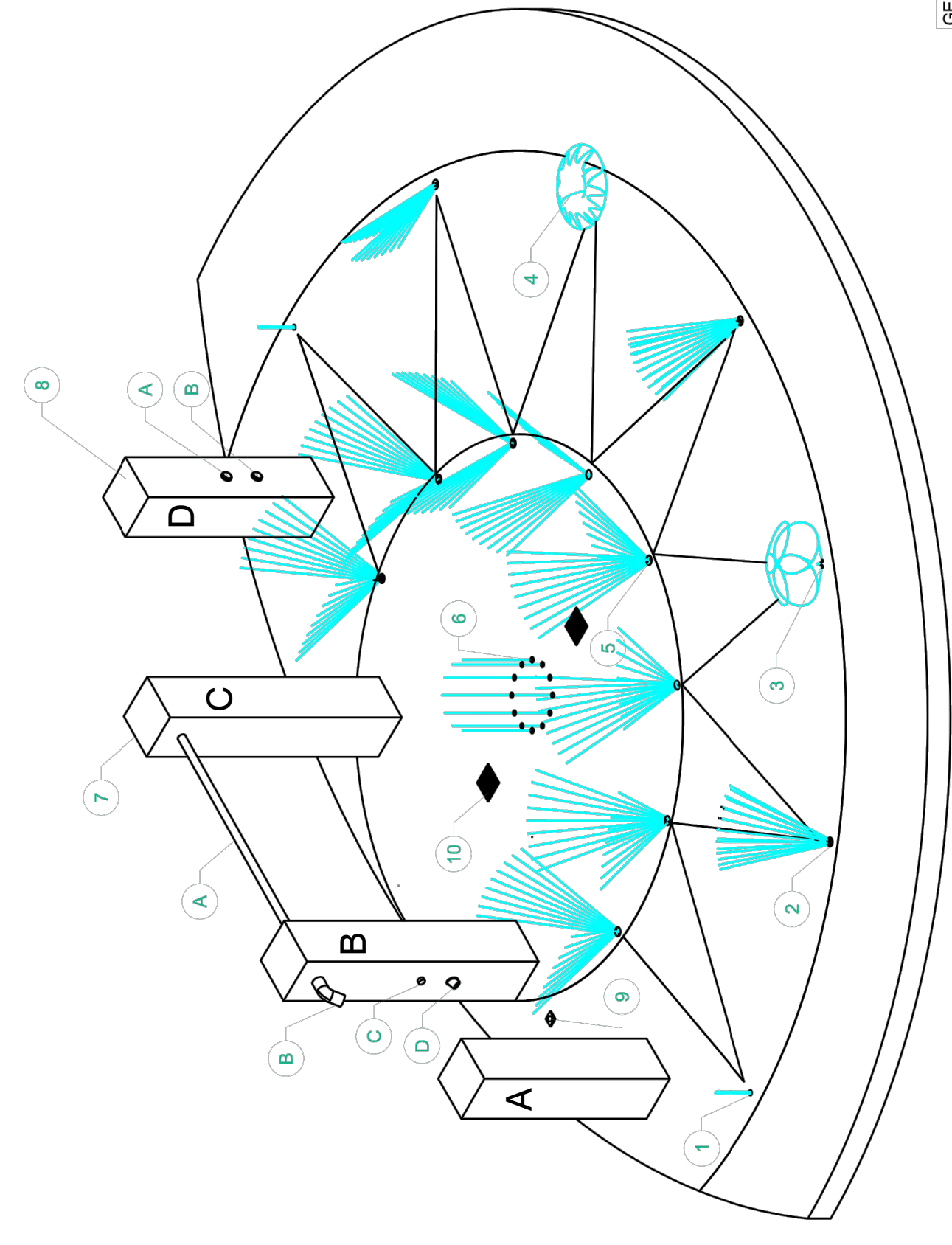
ITEM NO	ITEM CODE	DESCRIPTION	QTY
1	S-40.03	JUMPING JET	2
2	S-40.11	AQUA PEACOCK	3
3	S-40.17	AQUA MIST	1
4	S-40.21	AQUA CONE	8
5	S-40.04	AQUA SPLIT III	8
6	S-40.05	AQUA WALL CURTAIN	1
7	A	SHOWER	1
8	C	PUSH BOTTOM SHOWER VALVE	1
9	D	WATER SPOUT	1
10	A	ACTIVATOR CURTAIN	1
11	B	ACTIVATOR CURTAIN	1
12	D	DRAIN TO SERVER	1
13	S-16.06	DRAIN BOX 3'X3'	1
14	-	VAULT	1

GENERAL SPLASH PAD PLAN	PROJECT NAME	PROJECT NO.	DATE	UNIT	SHEET
Ashford Splash Pad	2019-3820	13.04.2020	FT	1	

**WATER SPLASH INC.**  
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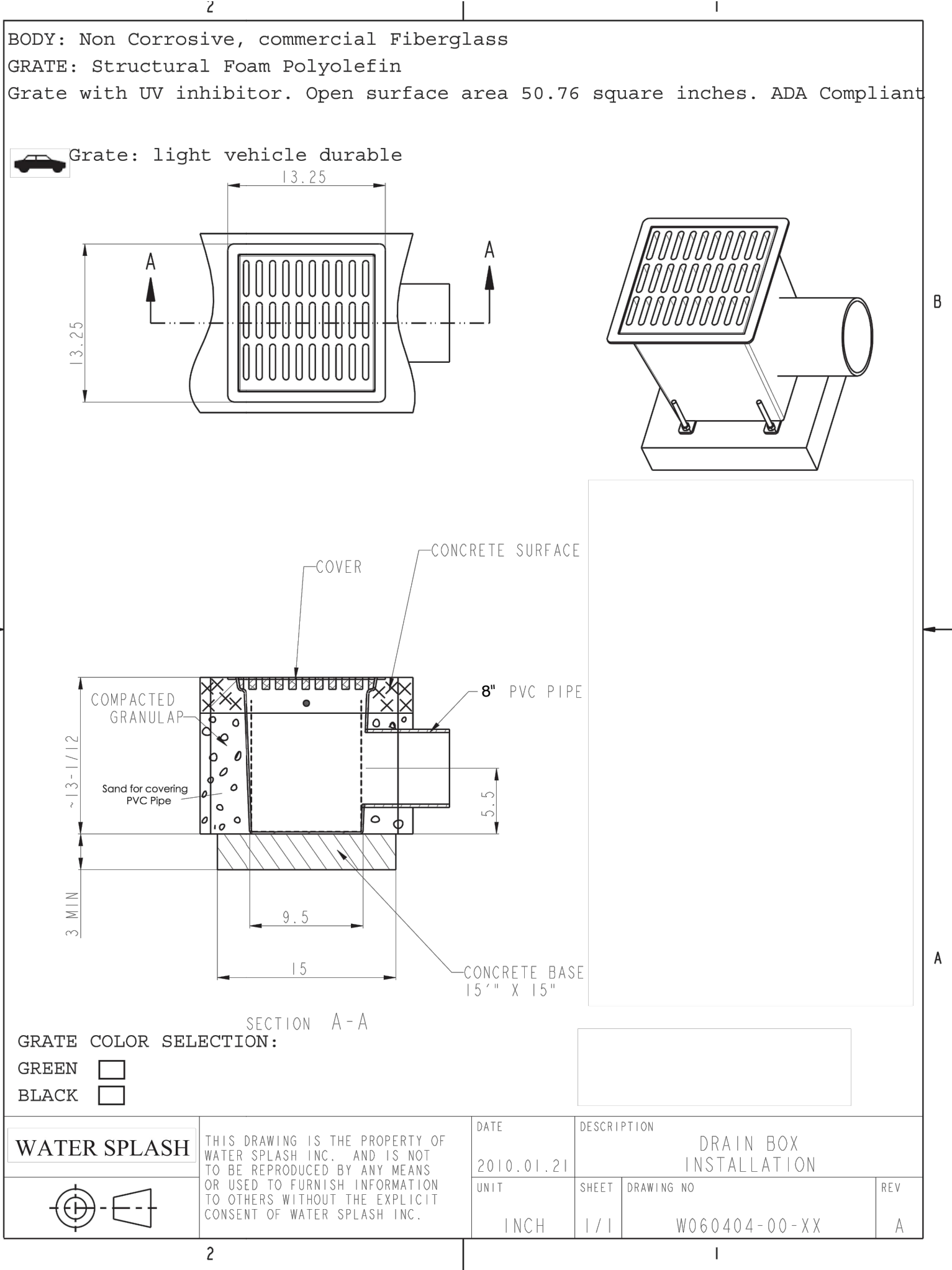
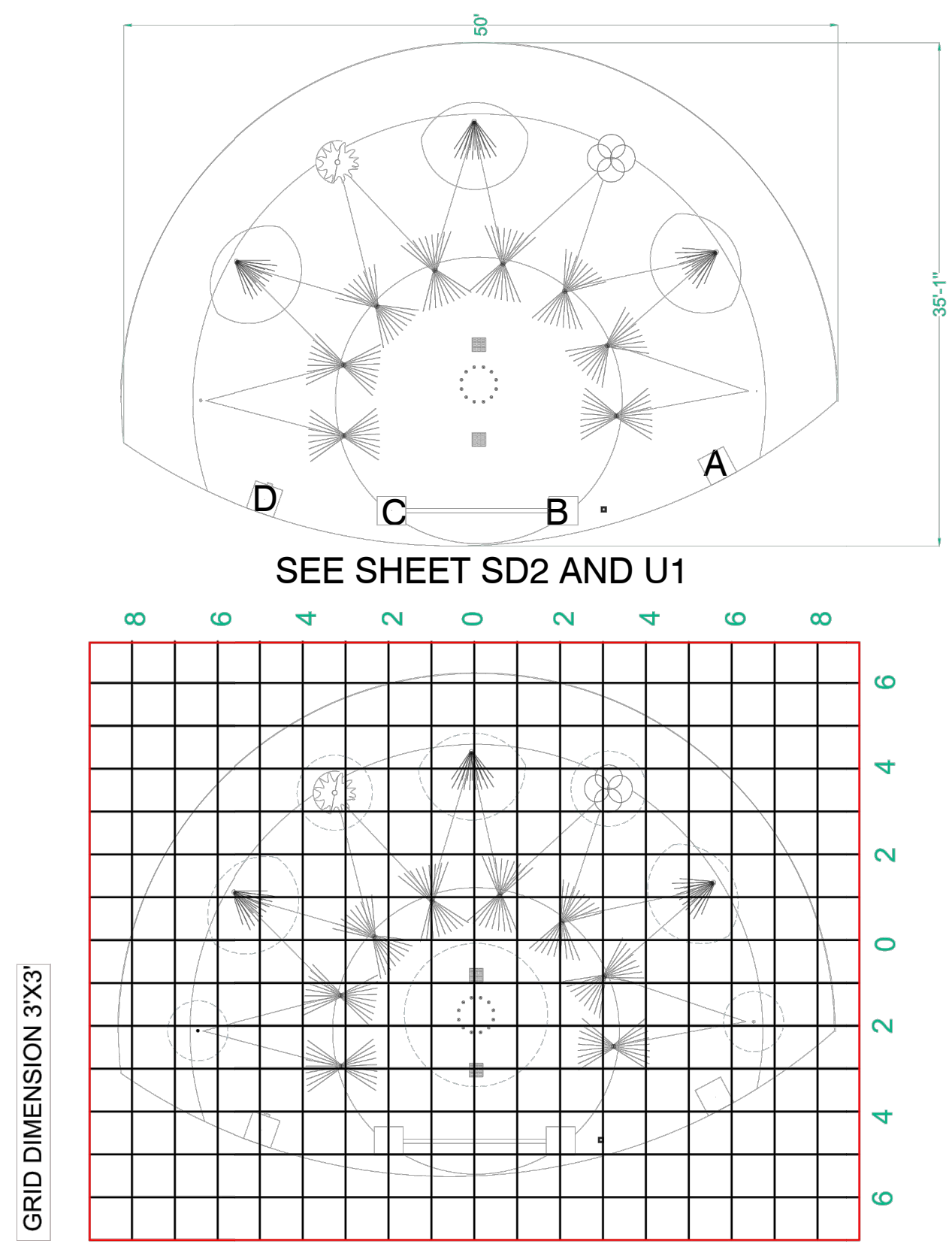
SPRAY AREA: 1270 SQFT  
 TOTAL AREA: 1646 SQFT



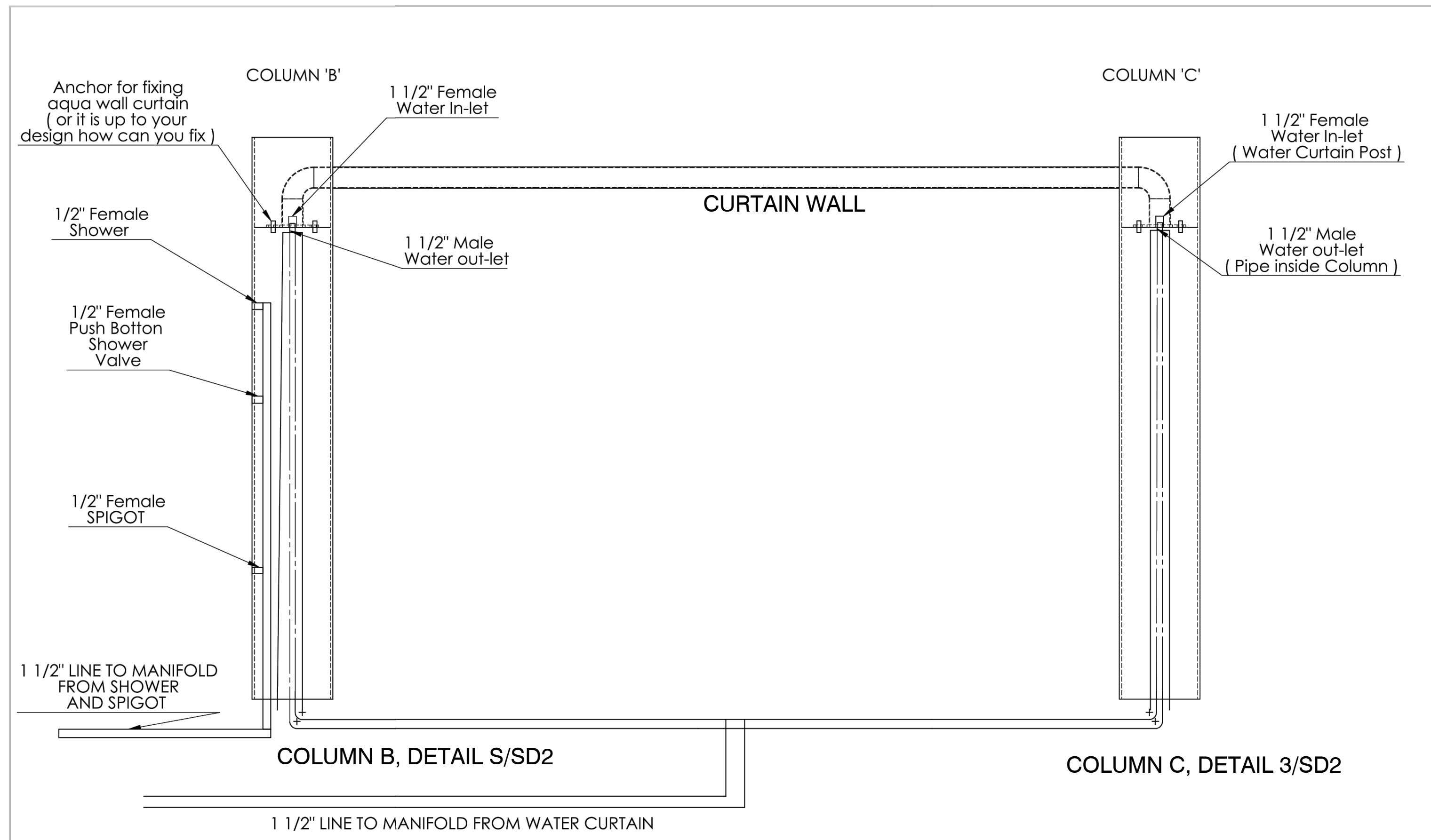
ITEM NO	ITEM CODE	DESCRIPTION	QTY	UNIT
1	S-40.03	JUMPING JET	2	FT
2	S-40.11	AQUA PEACOCK	3	FT
3	S-40.17	AQUA MIST	1	FT
4	S-40.21	AQUA CONE	8	FT
5	S-40.04	AQUA SPLIT III	8	FT
6	S-40.05	AQUA WALL CURTAIN	1	FT
7	B	SHOWER	1	FT
8	C	PUSH BOTTOM SHOWER VALVE	1	FT
9	D	WATER SPOUT	1	FT
10	A	ACTIVATOR CURTAIN	1	FT
11	B	ACTIVATOR CURTAIN	1	FT
12	D	DRAIN TO SERVER	1	FT
13	S-16.06	DRAIN BOX 3'X3'	1	FT
14	-	VAULT	1	FT
TOTAL			26	FT

GENERAL LAYOUT	PROJECT NAME	PROJECT NO.	DATE	UNIT	SHEET
Ashford Splash Pad	2019-3820	13.04.2020	FT	2	

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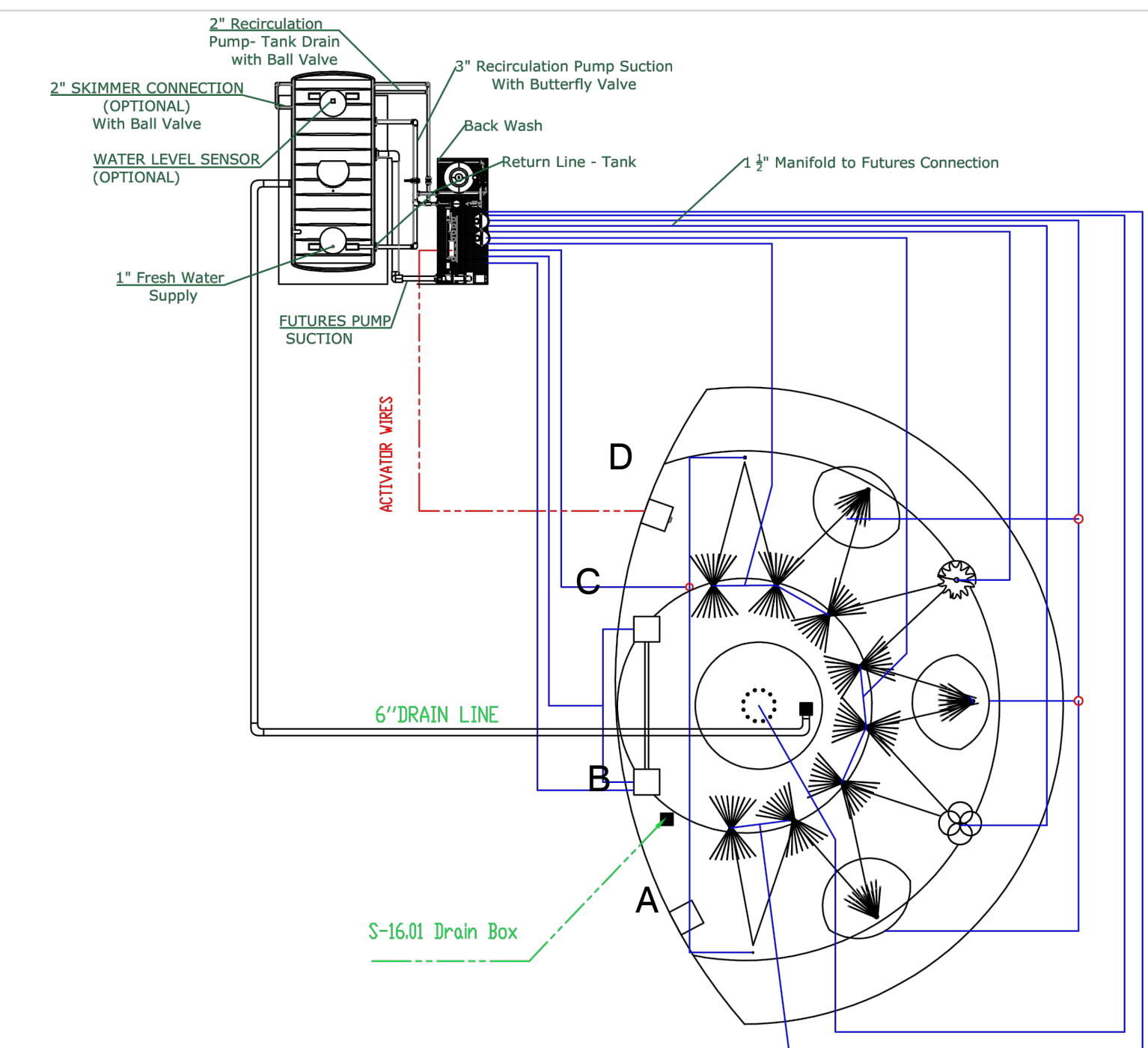
DATE	DESCRIPTION	DATE	DESCRIPTION
2010.01.21	DRAIN BOX INSTALLATION		



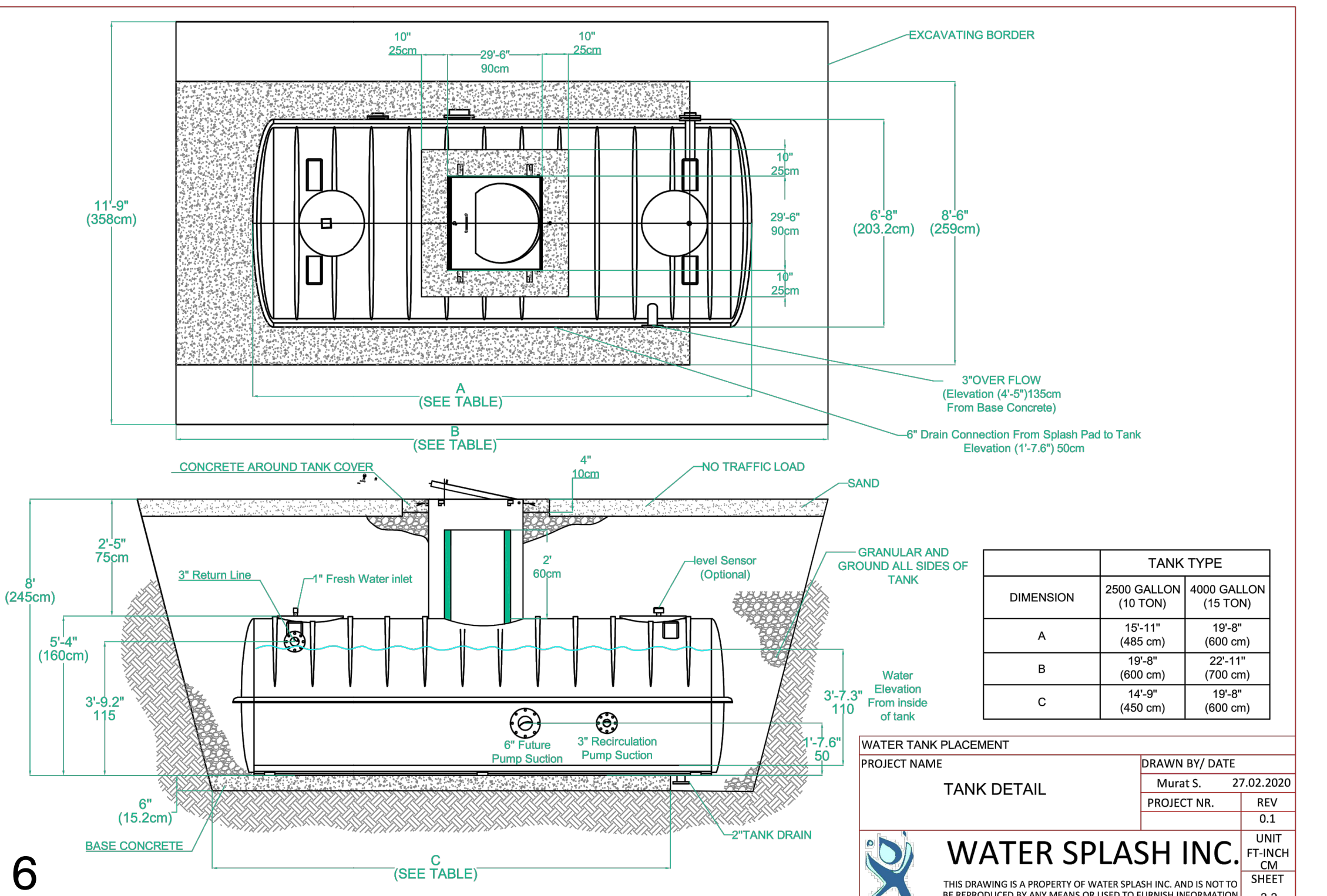
DATE	DESCRIPTION	DATE	DESCRIPTION
17.06.2019	Ashford Aqua Wall Curtain Installation		

LINE NO	PRODUCT NO	LINE SIZE	GPM
1	Aqua Wall Curtain	1 1/2"	52
2	Shower and Water Spigot	1 1/2"	20
3	Jumping Jet	3/4"	4
4	Aqua Split III	1 1/2"	15
5	Aqua Split III	1 1/2"	15
6	Aqua Split III	1 1/2"	15
7	Aqua Split III	1 1/2"	15
8	Aqua Split III	1 1/2"	15
9	Aqua Split III	1 1/2"	15
10	Aqua Split III	1 1/2"	15

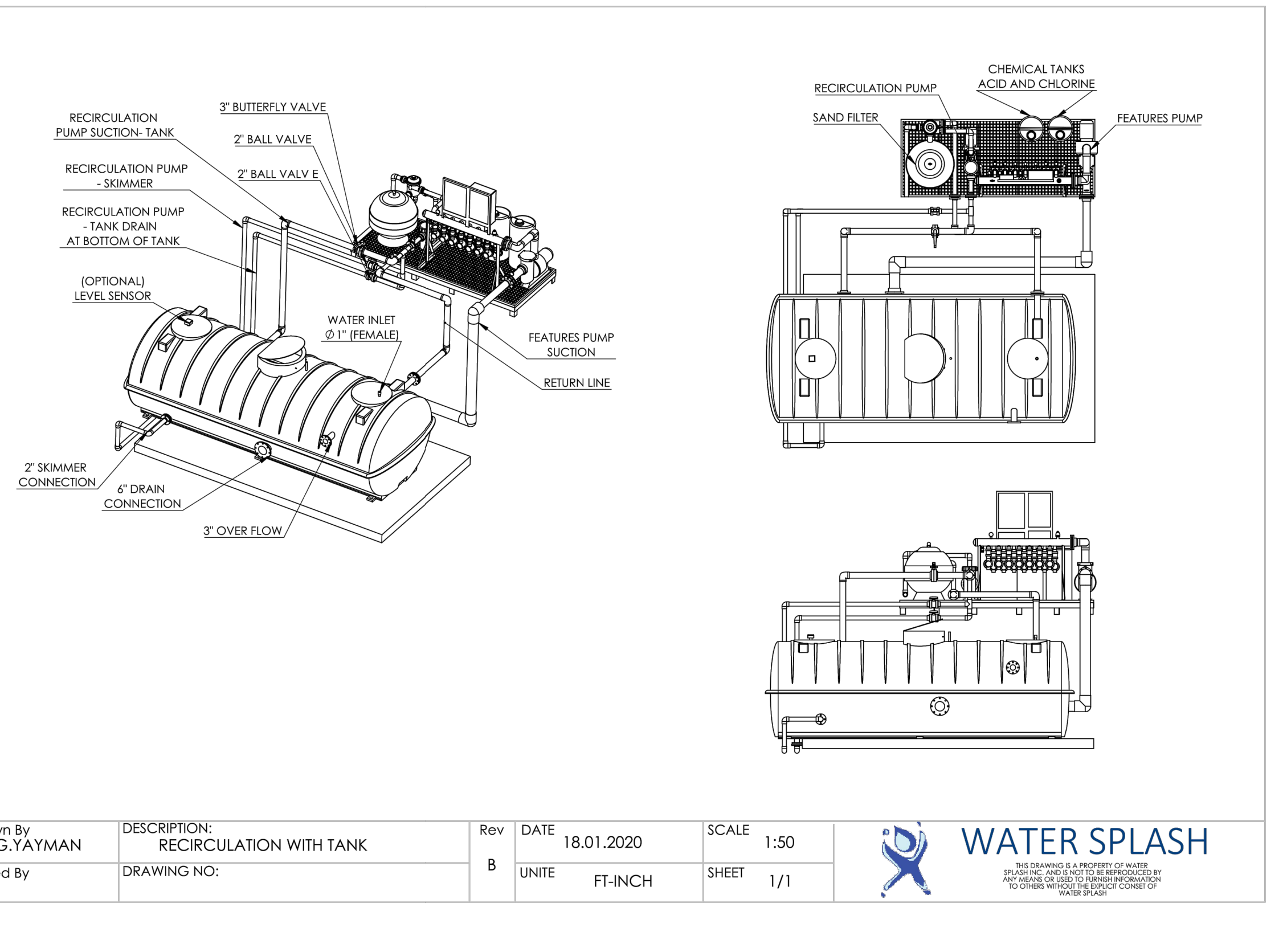
Water Connections:  
 a: 1" fresh water line (pressure regulator and backflow required)  
 b: 3" tank overflow line  
 c: 4" line to features pump suction (check valve required inside the tank)  
 d: 3" line to recirculation pump suction (check valve required inside the tank)  
 e: 3" line return to tank from filter  
 f: 3" waste water line form filter block/wall use backflow presenter or proper g/p valve  
 g: 5" line from drain boxes to tank (with rain 2% slope)



DATE	DESCRIPTION	DATE	DESCRIPTION
17.06.2019	2019-3820 Ashford Splash Pad		

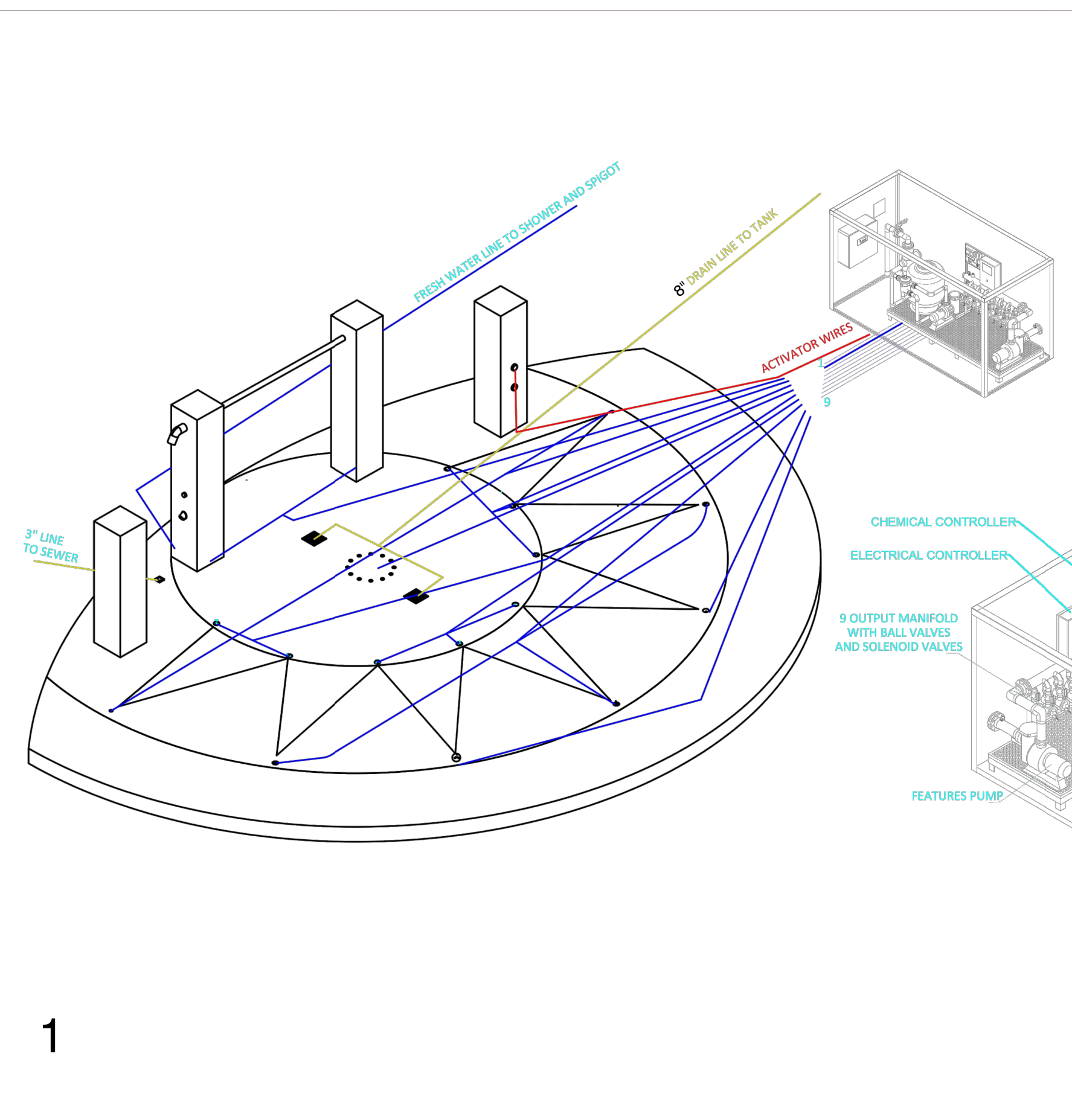


DATE	DESCRIPTION	DATE	DESCRIPTION
27.02.2020	TANK DETAIL		

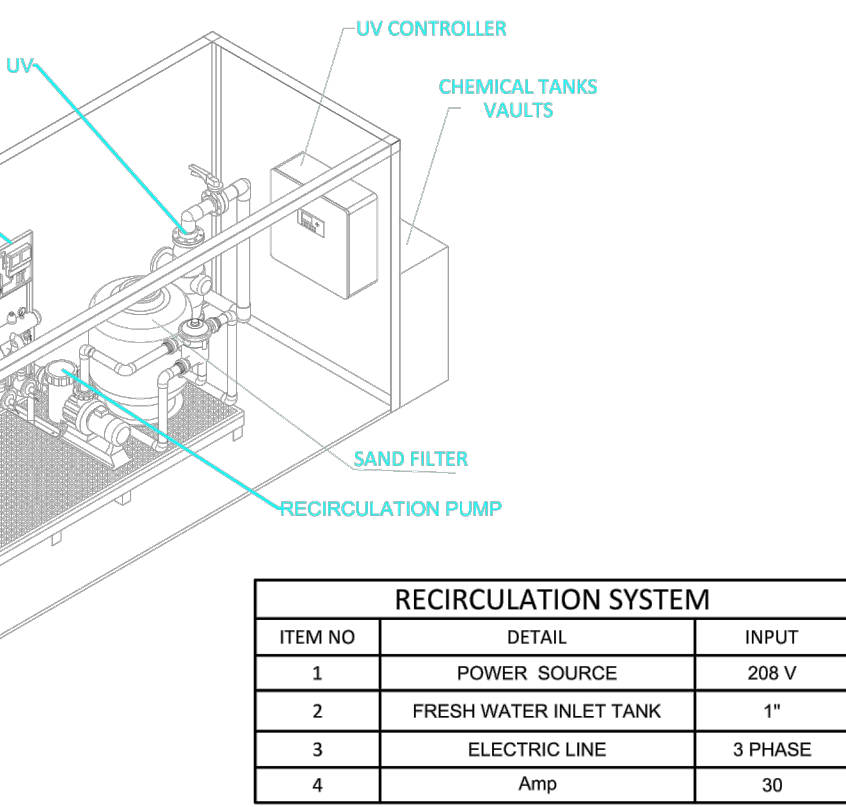


DATE	DESCRIPTION	DATE	DESCRIPTION
18.01.2020	RECIRCULATION WITH TANK		

**ARCHITECTURE ENGINEERING PLANNING**  
**CPLTEAM.COM**  
 CITY OF BROOKHAVEN  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319  
 PROJECT NUMBER: 15089.00  
 SHEET: SD4  
 DATE: 03/07/19  
 DRAWN: JP  
 CHECKED: JM  
 SCALE: AS SHOWN  
 SHEET TITLE: SITE DETAILS



LINE NO.	ITEM CODE	DESCRIPTION	QTY	LINE TYPE
1	S-05.03	JUMPING JET	2	1 1/2"
2	S-05.11	AQUA PEACOCK	3	1 1/2"
3	S-05.07	AQUA MIST	1	1 1/2"
4	S-05.21	AQUA CONE	1	1 1/2"
5-6-7	S-05.06.04	AQUA SPLIT III	8	1 1/2"
8	S-05.03	CIRCULAR SHOWER	1	1 1/2"
9	A	AQUA WALL CURTAIN	1	1 1/2"
B		SHOWER	1	3/4"
C		PUSH BOTTON SHOWER VALVE	1	3/4"
D		WATER SPIGOT	1	3/4"
A		ACTIVATOR CURTAIN	1	3/4"
B		ACTIVATOR SPLASH PAD	1	3/4"
-		DRAIN TO SEWER	1	3"
S-18.06		DRAIN BOX 24"x24"	2	6"
-		VAULT	1	-

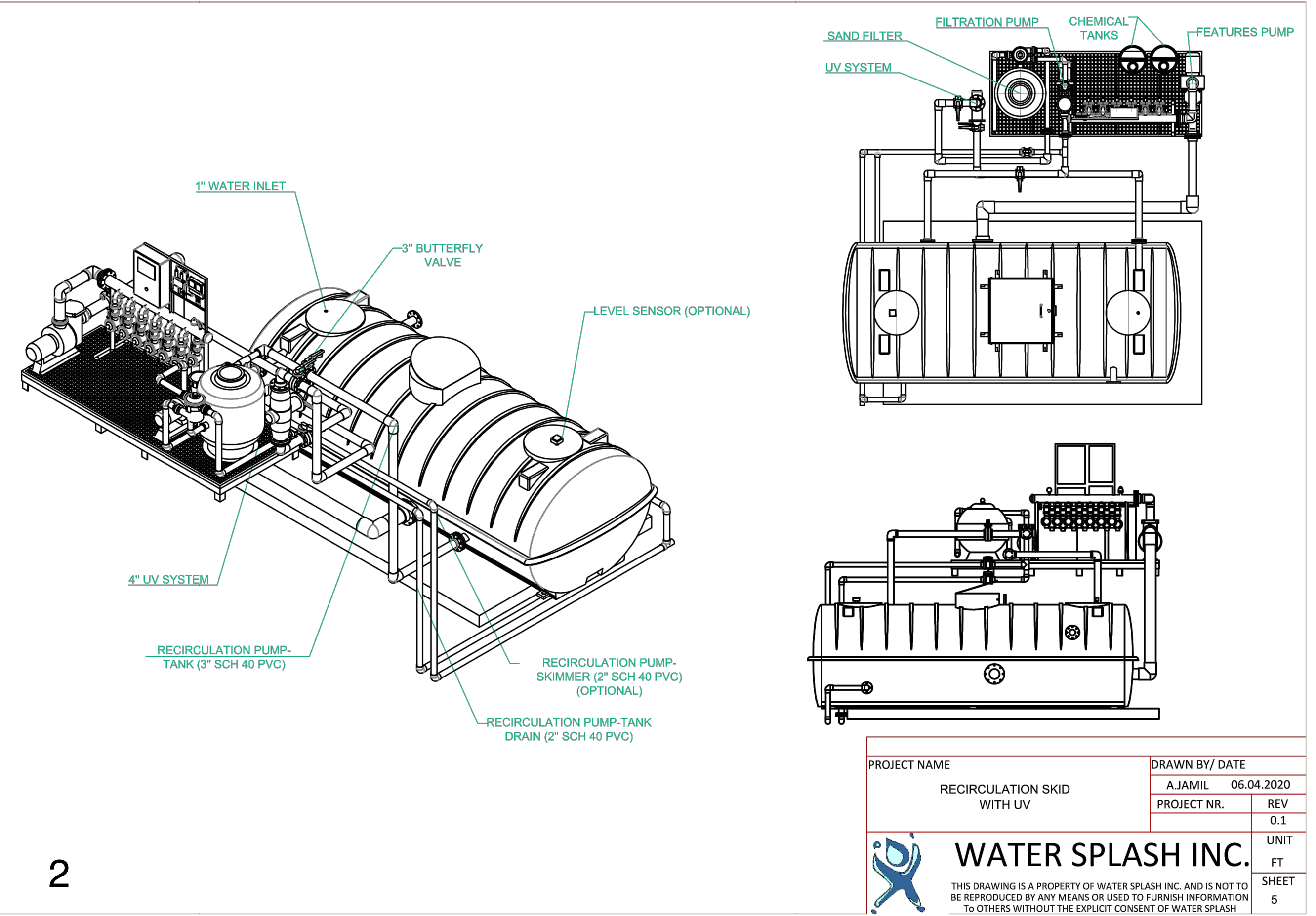


ITEM NO.	DETAIL	INPUT
1	POWER SOURCE	208 V
2	FRESH WATER INLET TANK	
3	ELECTRIC LINE	3 PHASE
4	Amp	30

PROJECT NAME: Ashford Splash Pad  
 DRAWN BY/ DATE: G.YAYMAN 13.04.2020  
 PROJECT NR.: 2019-3820  
 REV: B  
 UNIT: FT  
 SHEET: 3

**WATER SPLASH INC.**

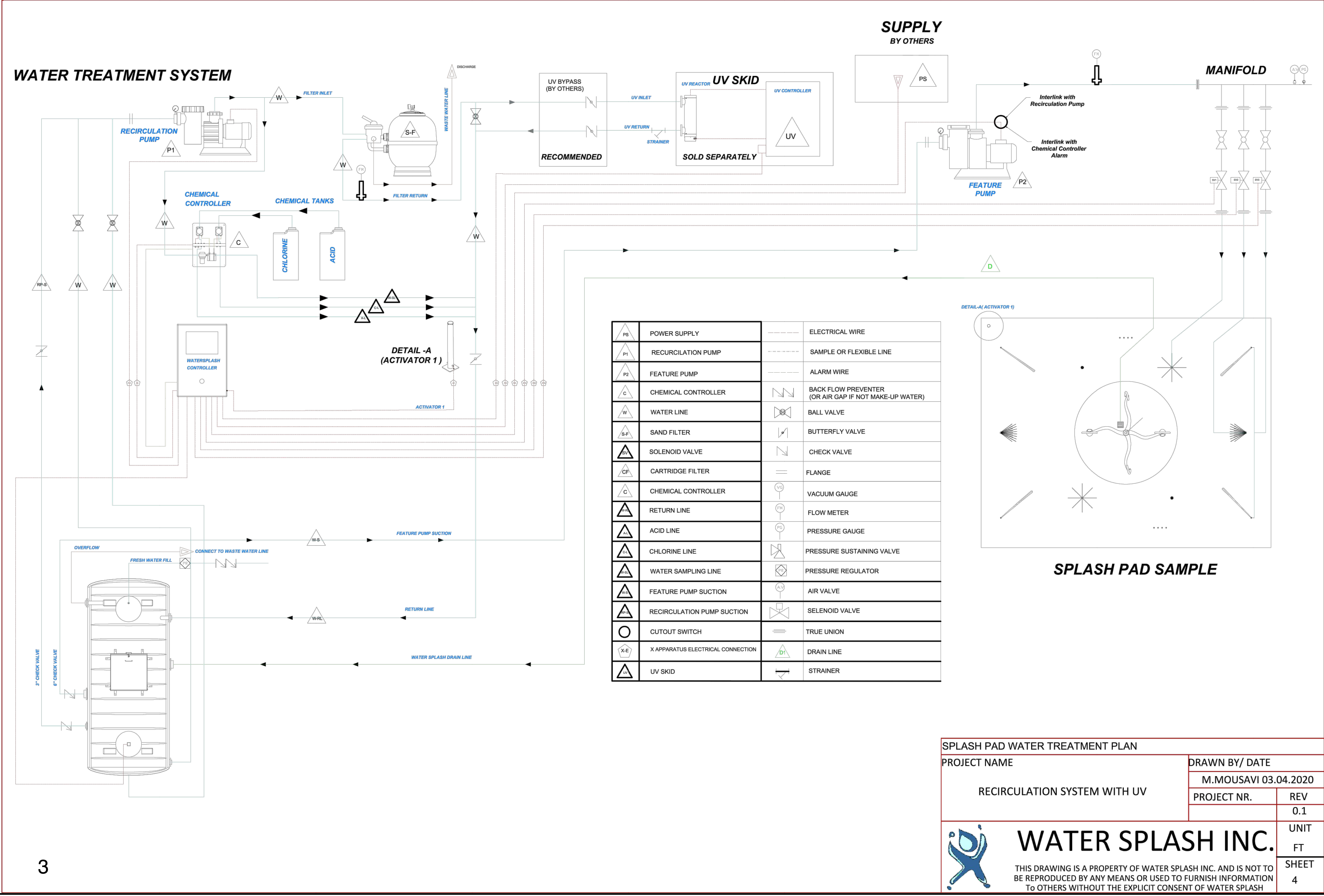
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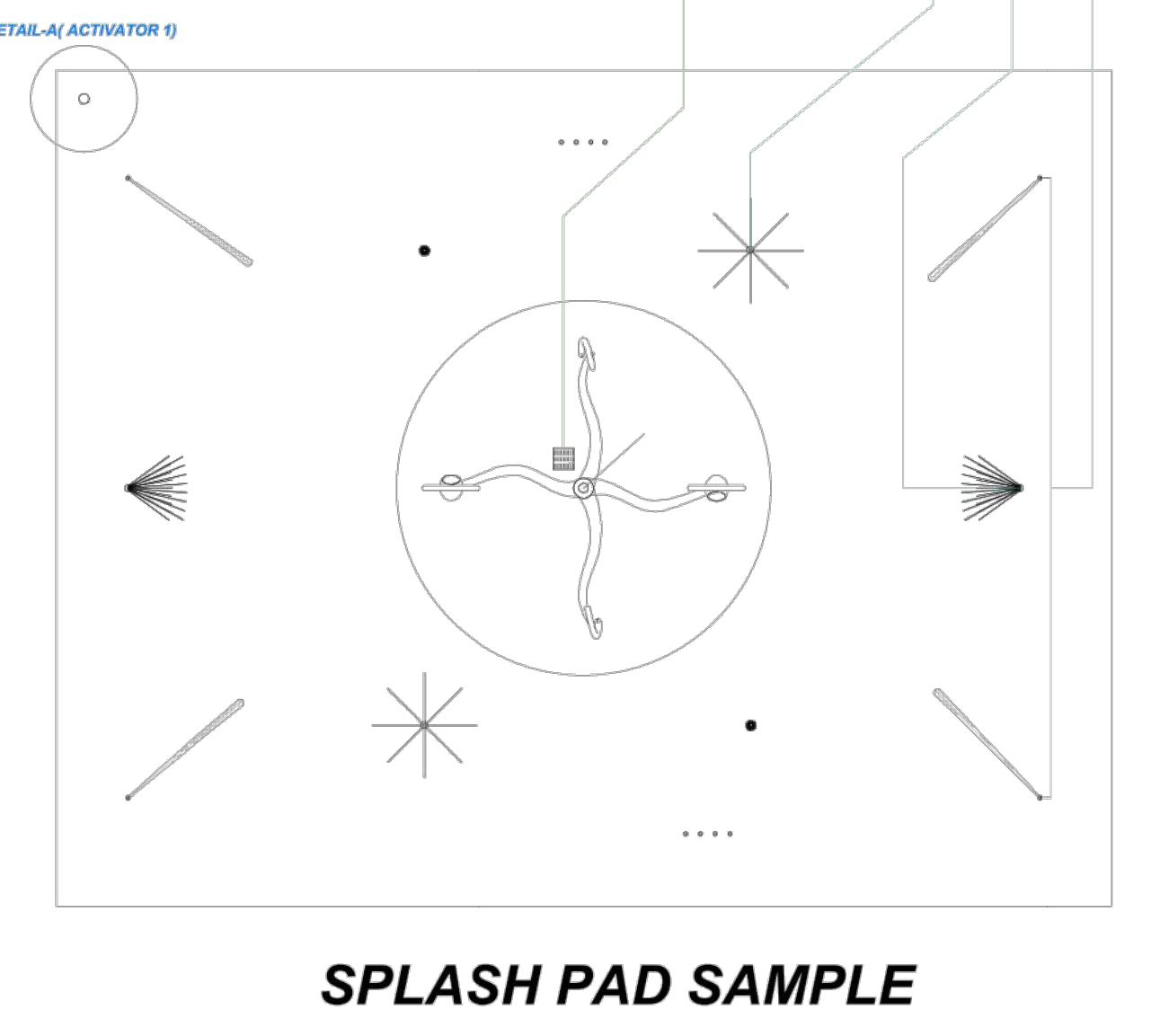
PROJECT NAME	DRAWN BY/ DATE
RECIRCULATION SKID WITH UV	A.JAMIL 06.04.2020
PROJECT NR.	REV
	UNIT
	FT
	SHEET
	5

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PS	POWER SUPPLY	---	ELECTRICAL WIRE
P1	RECIRCULATION PUMP	---	SAMPLE OR FLEXIBLE LINE
P2	FEATURE PUMP	---	ALARM WIRE
C	CHEMICAL CONTROLLER	---	BACK FLOW PREVENTER (OR AIR GAP IF NOT MAKE-UP WATER)
W	WATER LINE	---	BALL VALVE
S-F	SAND FILTER	---	BUTTERFLY VALVE
Δ	SOLENOID VALVE	---	CHECK VALVE
CF	CARTRIDGE FILTER	---	FLANGE
C	CHEMICAL CONTROLLER	---	VACUUM GAUGE
Δ	RETURN LINE	---	FLOW METER
Δ	ACID LINE	---	PRESSURE GAUGE
Δ	CHLORINE LINE	---	PRESSURE SUSTAINING VALVE
Δ	WATER SAMPLING LINE	---	PRESSURE REGULATOR
Δ	FEATURE PUMP SUCTION	---	AIR VALVE
Δ	RECIRCULATION PUMP SUCTION	---	SOLENOID VALVE
○	CUTOUT SWITCH	---	TRUE UNION
X-E	X APPARATUS ELECTRICAL CONNECTION	---	DRAIN LINE
Δ	UV SKID	---	STRAINER



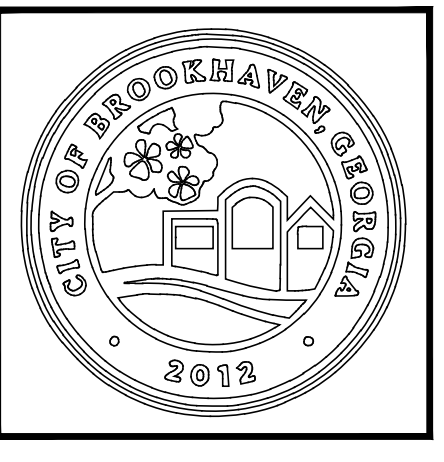
**SPLASH PAD WATER TREATMENT PLAN**

PROJECT NAME	DRAWN BY/ DATE
RECIRCULATION SYSTEM WITH UV	M.MOUSAVI 03.04.2020
	PROJECT NR.
	REV
	UNIT
	FT
	SHEET
	4

**WATER SPLASH INC.**

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Drawing Name: S:\Projects\Brookhaven\_City\Ashford Park\A.D. Design\01 Job Info\CAD\Ashford Park Layout.dwg  
 Date last accessed: 4/17/2020 1:39 PM  
 Date last plotted: 4/17/2020 2:01 PM  
 Plotted By: Joseph Powell



No.	Date	Description
3	3-10-20	Permit Revision

**DRAWINGS SCHEDULE**

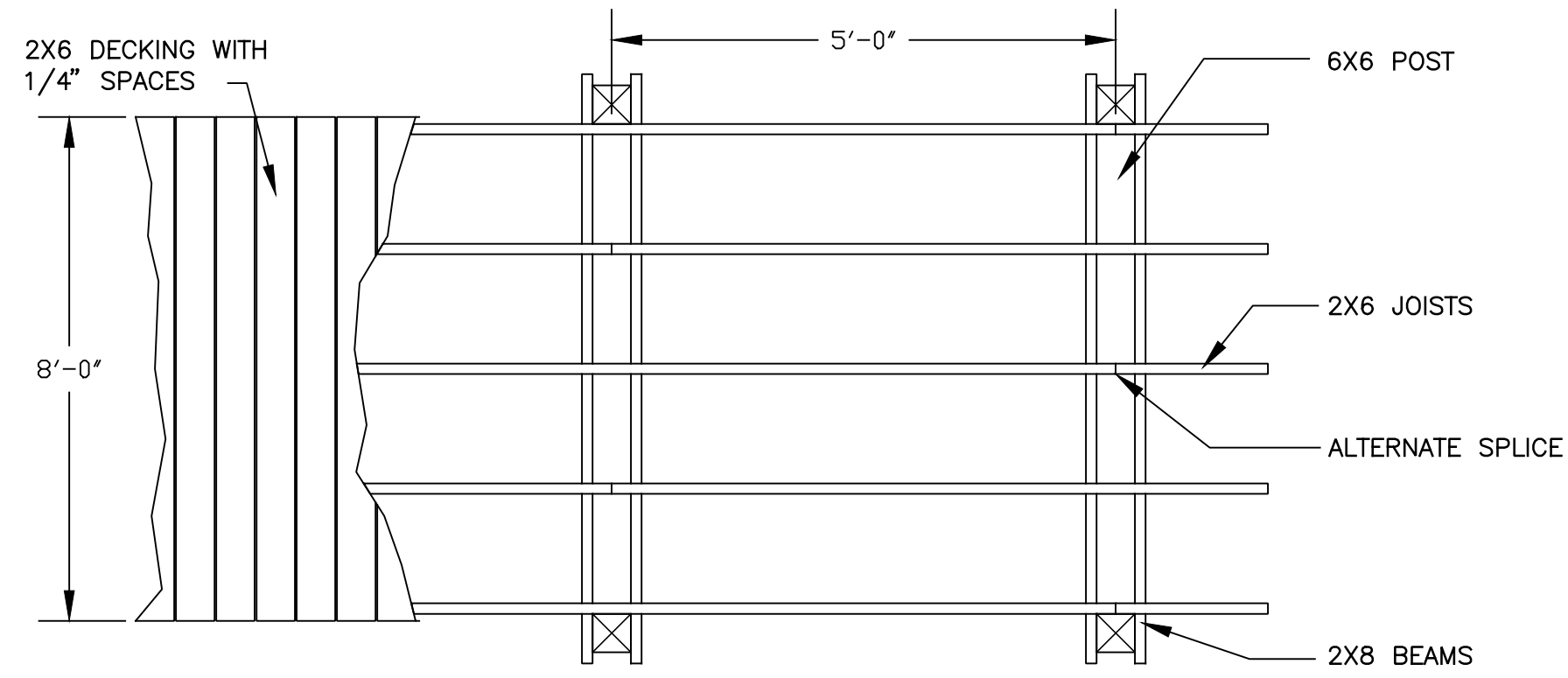
No.	Date	Description
3	3-10-20	Permit Revision

**CITY OF BROOKHAVEN**  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

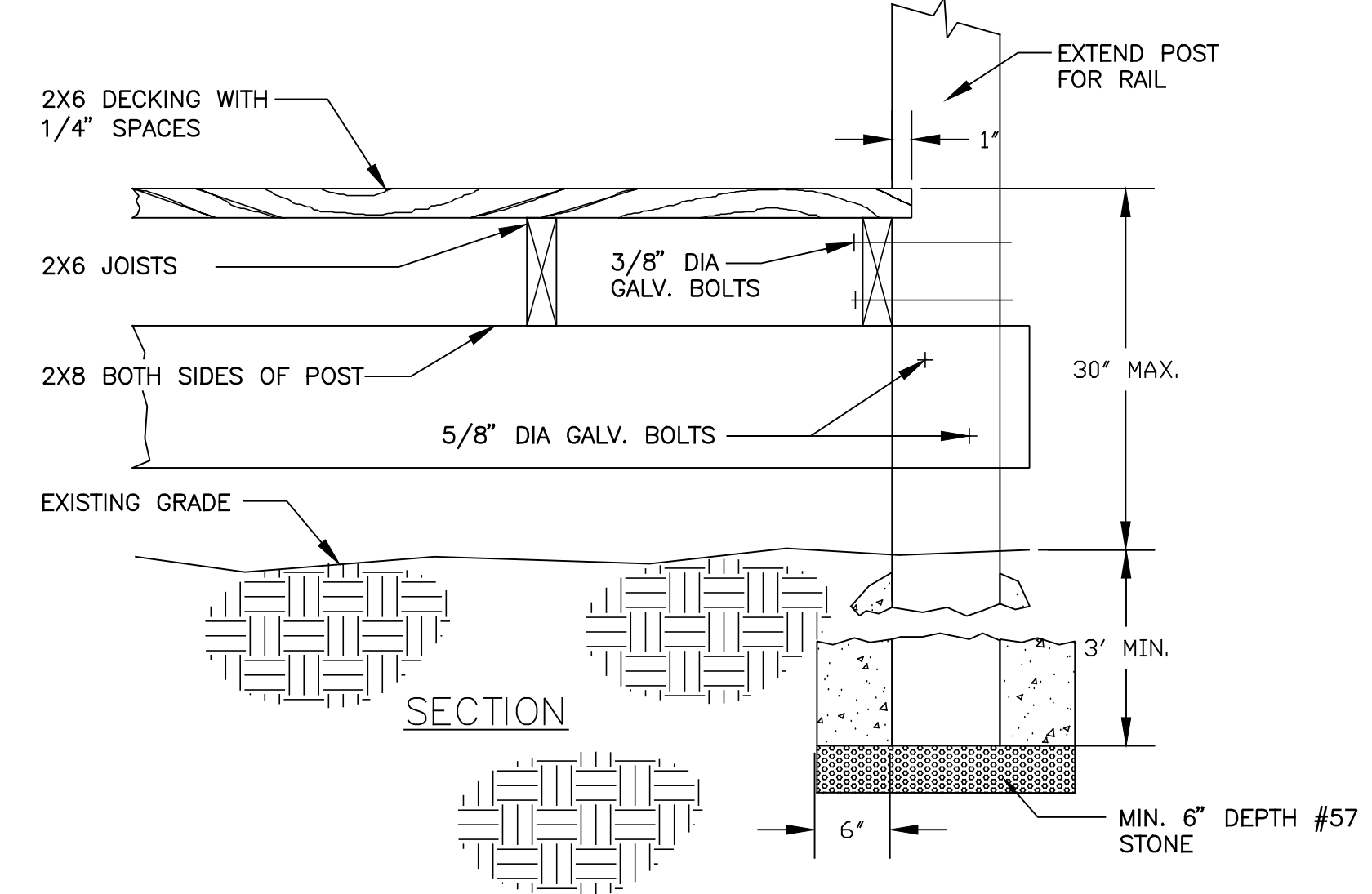
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03/07/19	JP	JM

SCALE: AS SHOWN  
 SHEET TITLE: SITE DETAILS

PROJECT NUMBER	15089.00
DRAWING NUMBER	SD5



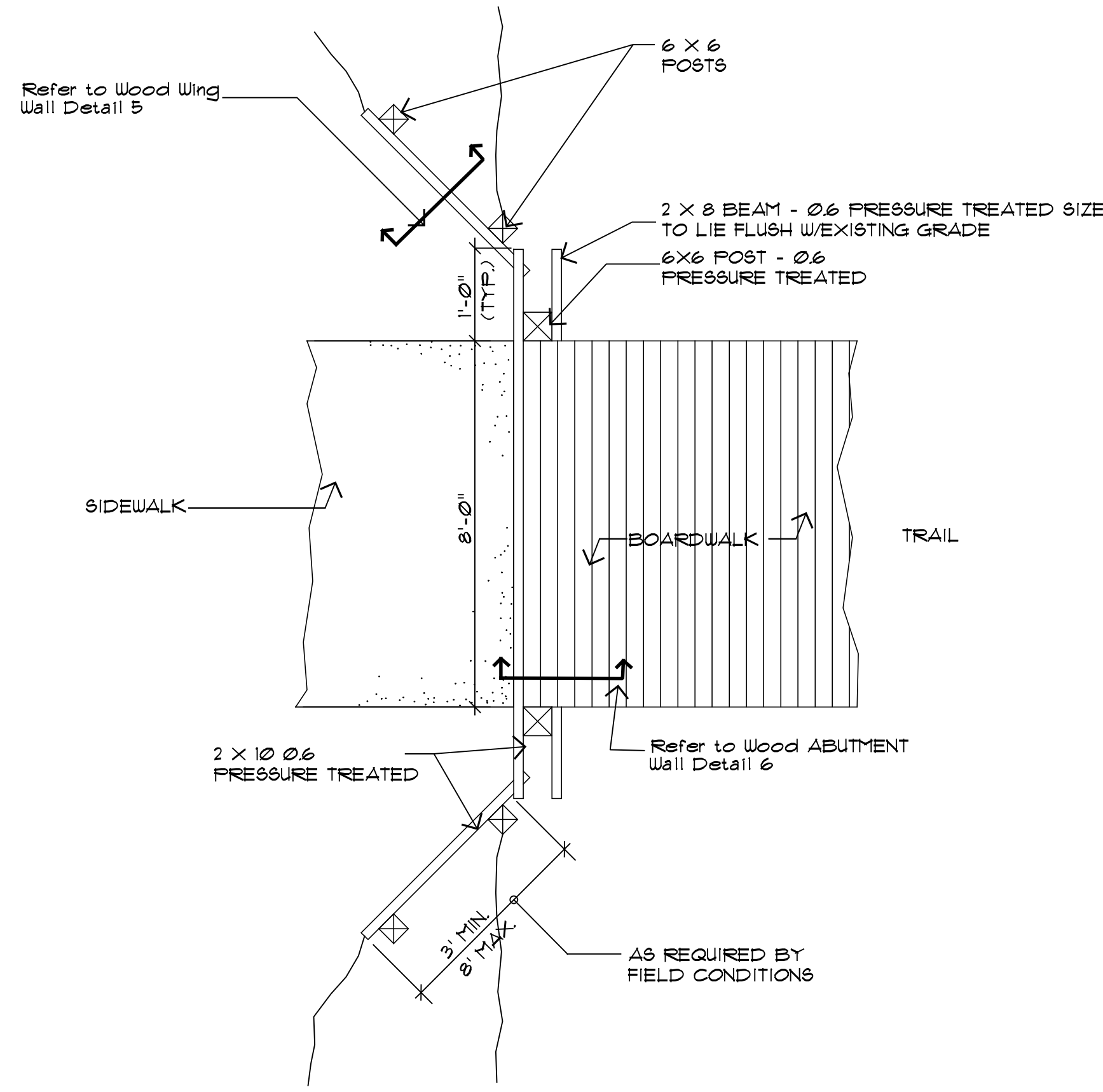
TYPICAL PLAN



SECTION

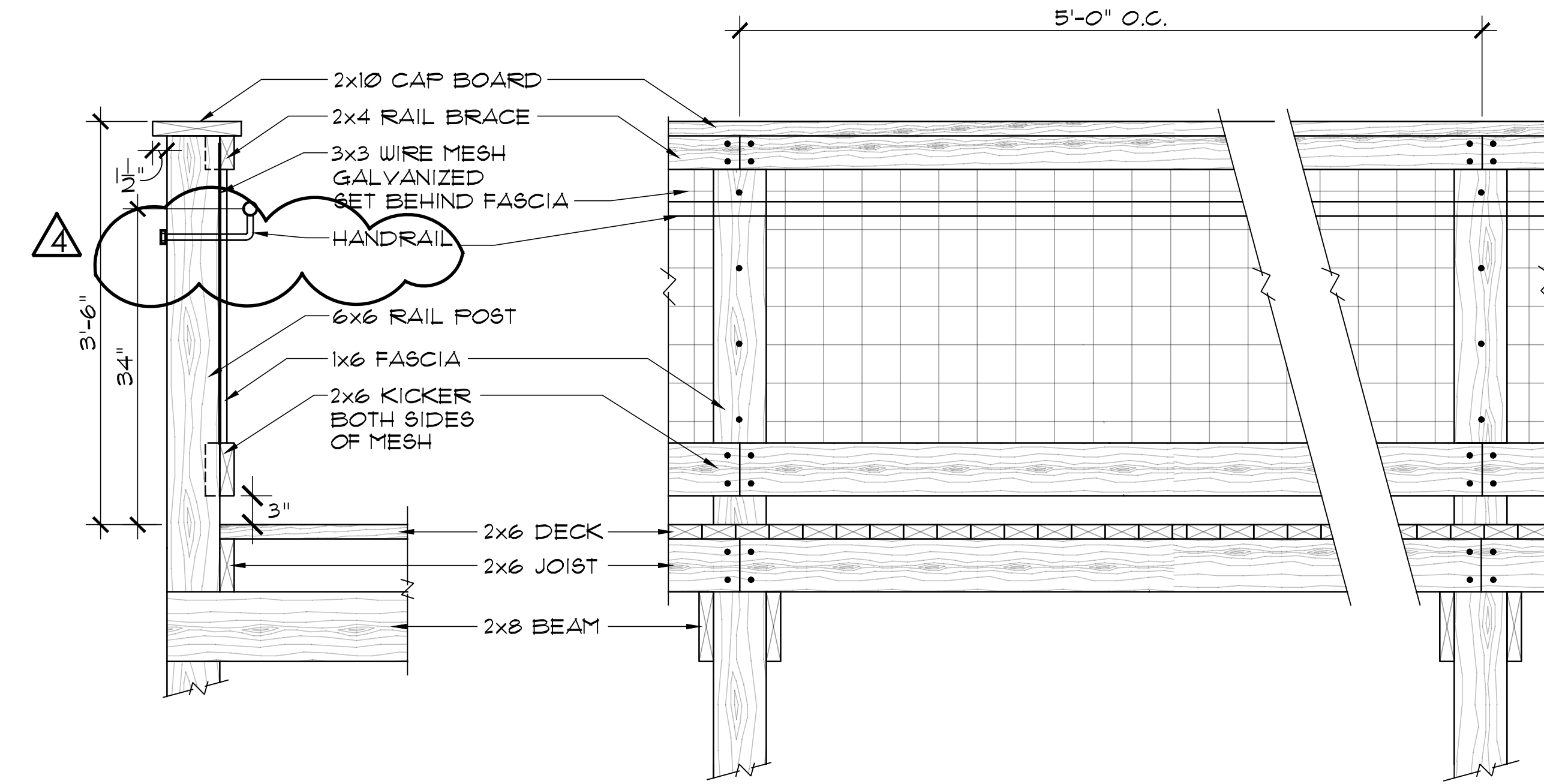
1 BOARDWALK WITH RAIL

NTS



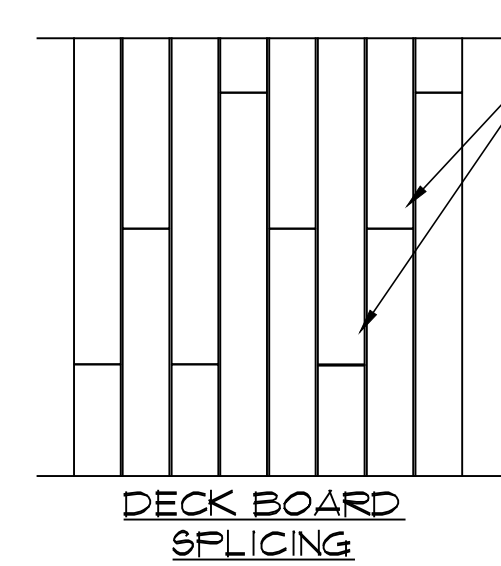
2 BOARDWALK ABUTMENT

NTS

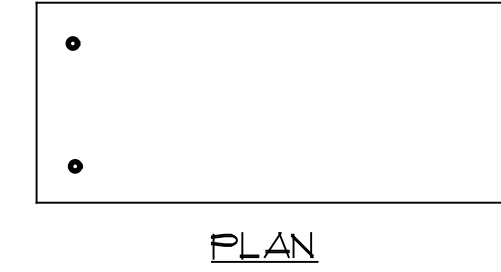


3 WOOD RAILING

NOT TO SCALE

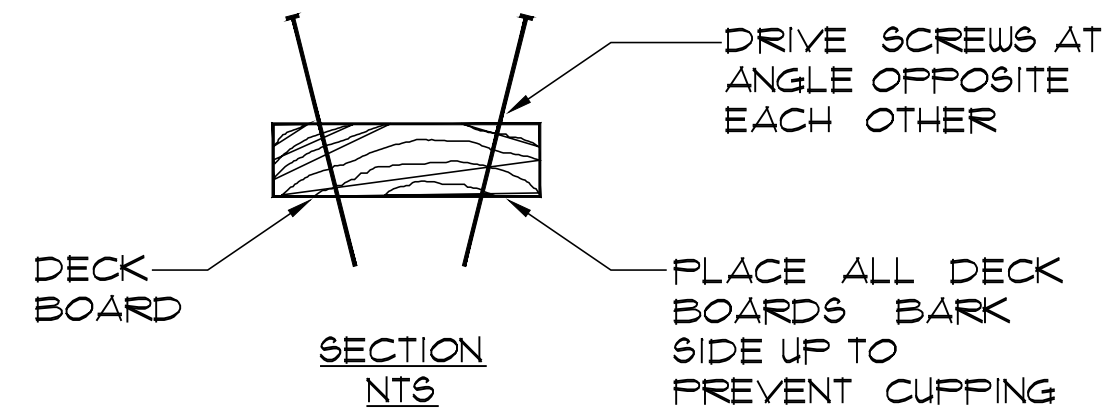


DECK BOARD SPLICING

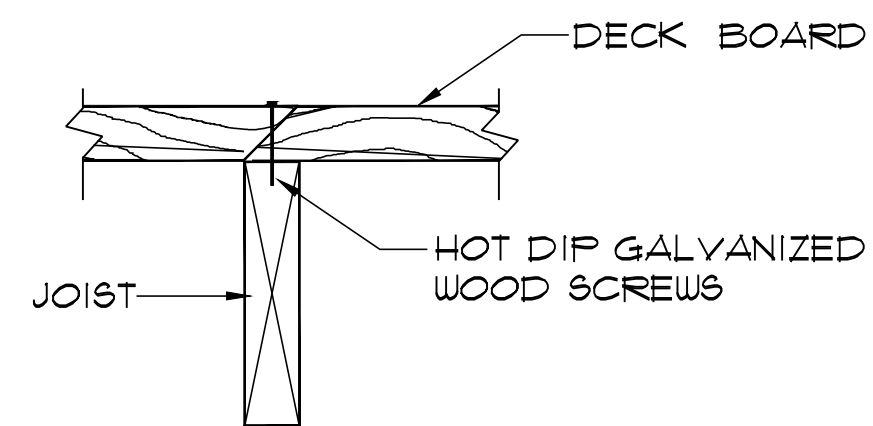


PLAN

SPlice in boards of deck over joists. SPlice points shall be alternating and random. No 2 adjacent boards shall be spliced over same joist. NOTE: WHERE LENGTH EXCEEDS 16' ONLY



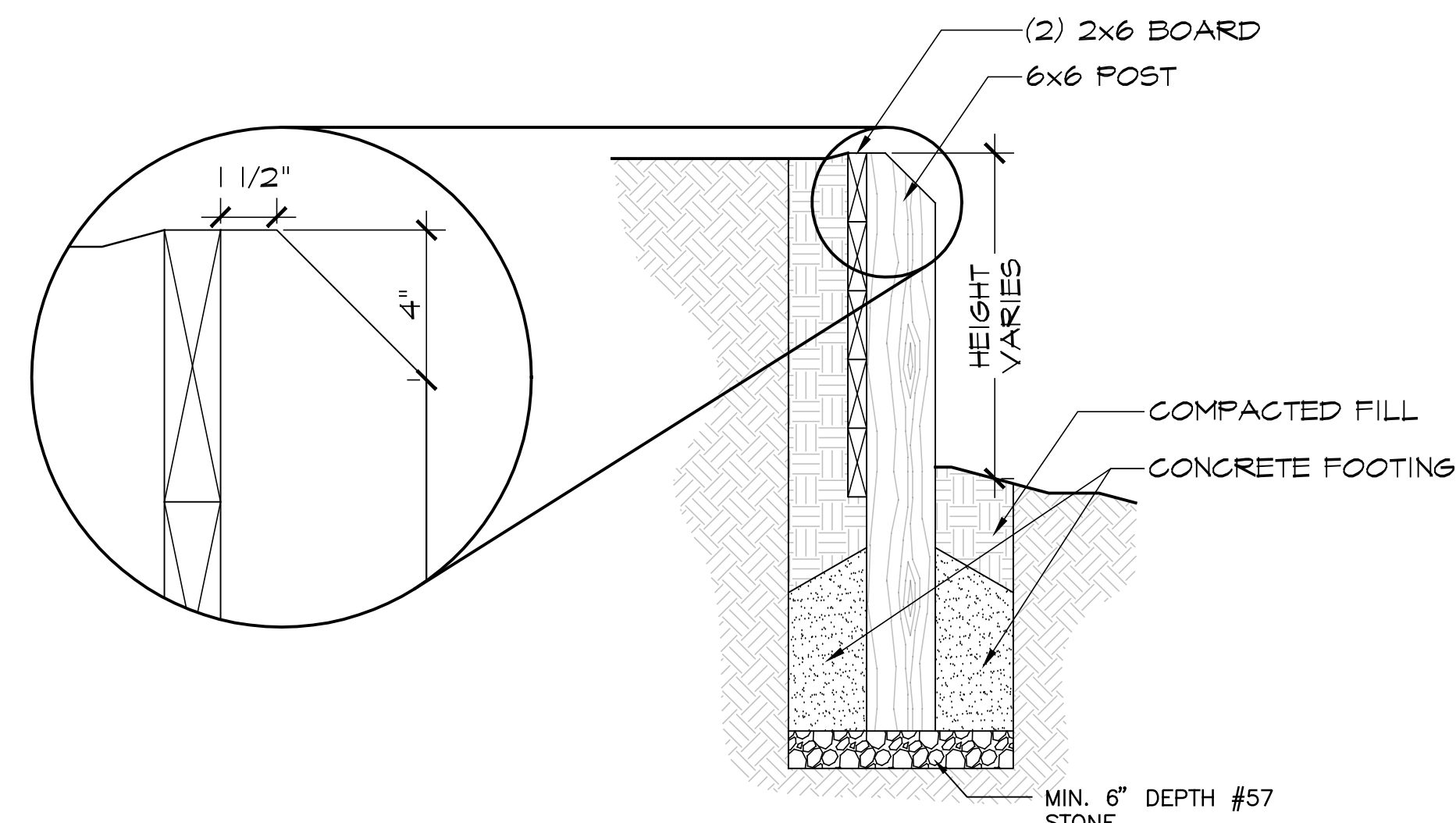
SECTION NTS



SECTION NTS

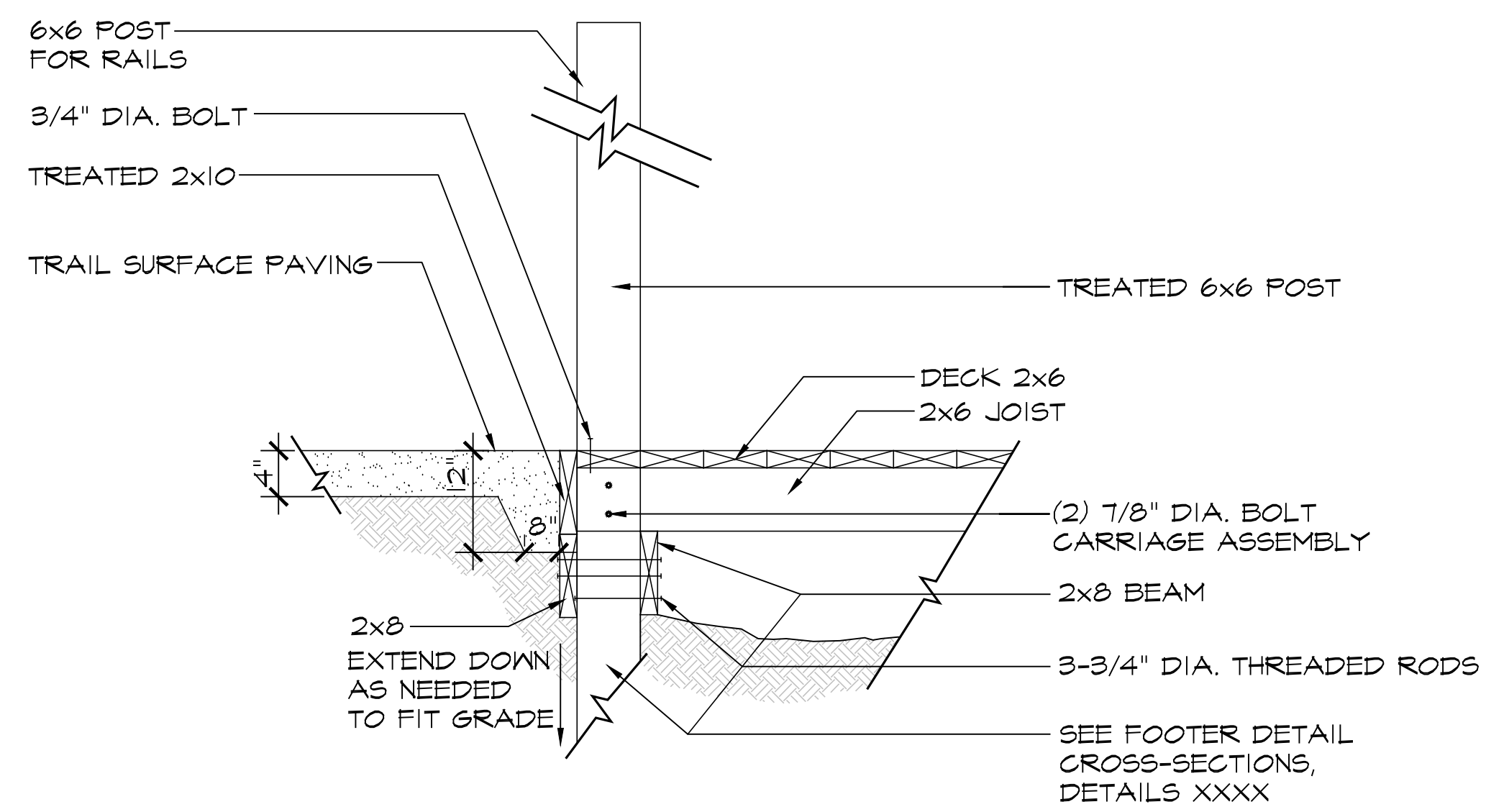
4 TYP. DECKING DETAILS

NOT TO SCALE



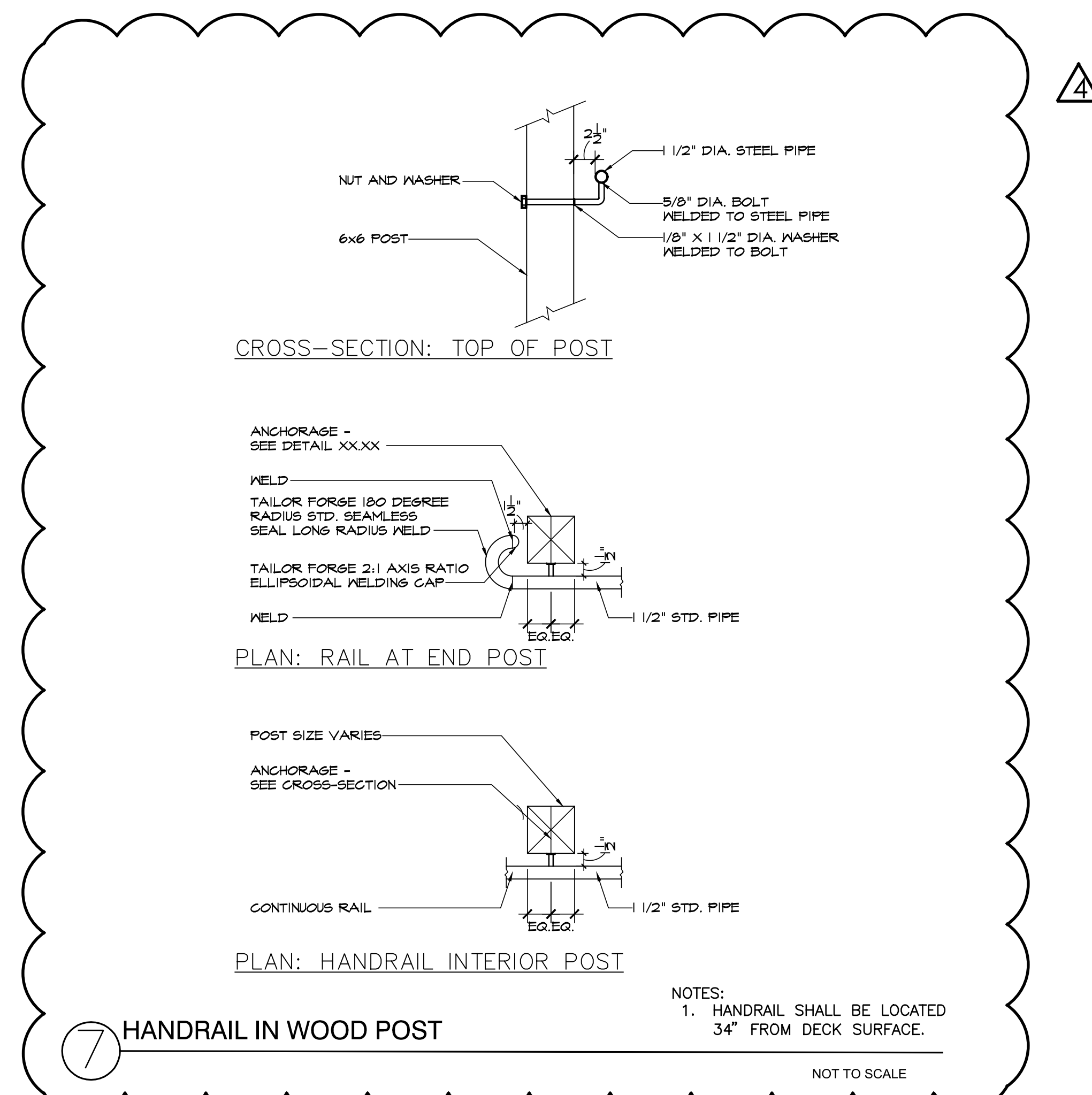
5 TYP. WING WALL

NOT TO SCALE



6 TYP. WOOD ABUTMENT

NOT TO SCALE



7 HANDRAIL IN WOOD POST

NOT TO SCALE

NOTES:  
1. HANDRAIL SHALL BE LOCATED 34" FROM DECK SURFACE.

- NOTES:
- ALL WOOD MEMBERS SHALL BE 0.6 PRESSURE TREATED FOR BELOW GROUND CONTACT.
  - ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
  - ALL LUMBER SHALL BE SOUTHERN PINE NO. 1 DENSE DESIGN LIVE LOAD = 110 PSF.

DRAWINGS SCHEDULE

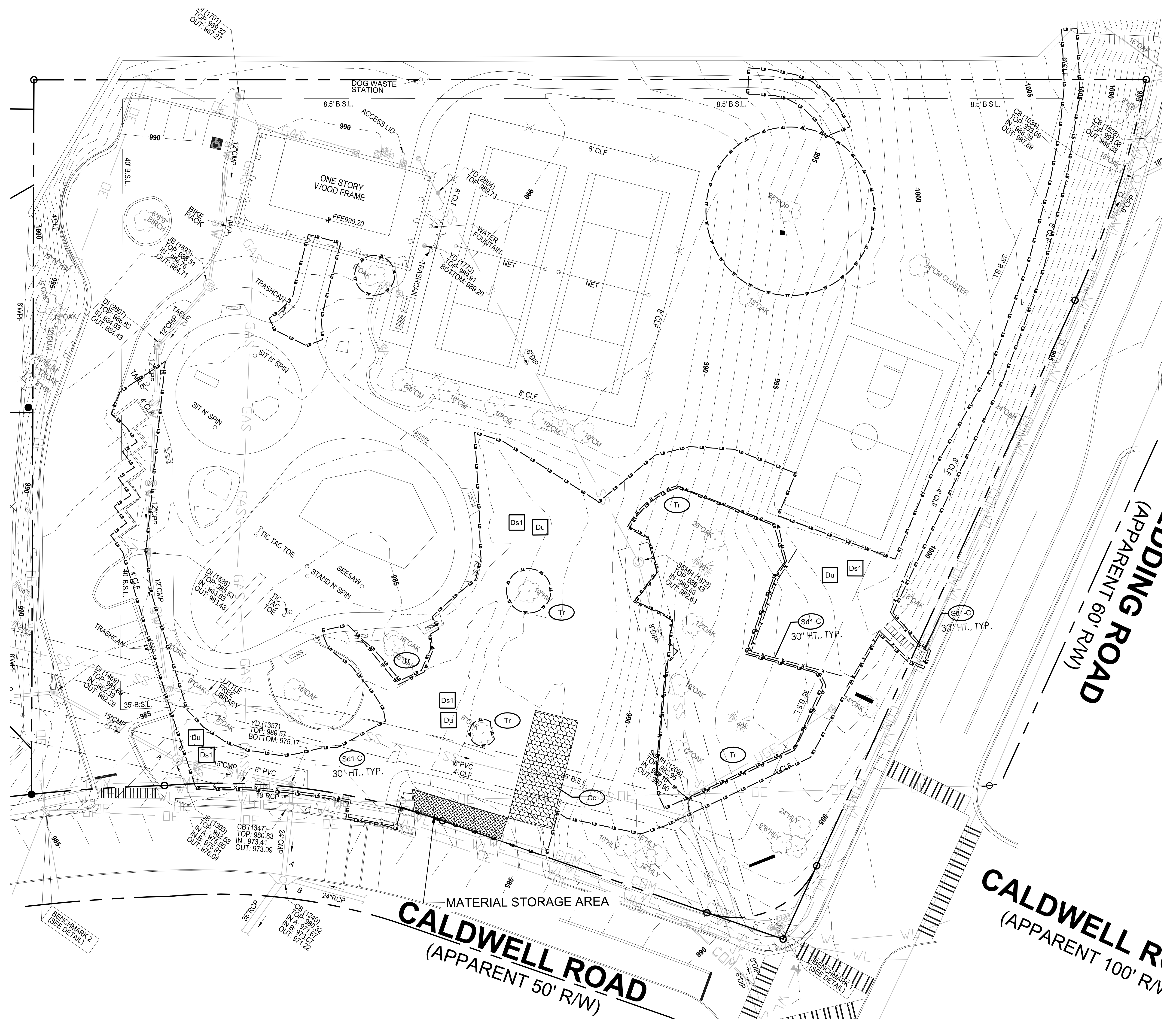
No.	Date	Description
4	3-27-20	Building Permit Revision

**EROSION CONTROL AND DRAINAGE NOTES:**

1. EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND ALL CONCRETE PATHS HAVE BEEN CONSTRUCTED.
2. ANY FAILURE OF ANY EROSION CONTROL DEVICE TO FUNCTION AS INTENDED FOR ANY REASON SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY THE CONTRACTOR AS NECESSARY.
4. ALL DISTURBED AREAS ARE TO BE GRASSED AS SOON AS CONSTRUCTION PHASE PERMITS. TEMPORARY MULCHING SHALL BE UTILIZED DURING THE PERIOD OF GERMINATION OF GRASS SEEDINGS USING STRAW OR HAY MULCH, JUTE MATTING OR SYNTHETIC FIBERS.
5. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL CONFORM TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND ANY APPLICABLE LOCAL REGULATIONS.
6. EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE, MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF PROJECT, AND REPLACED WHEN EFFECTIVENESS IS REDUCED TO 80%.
7. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SUITABLE PERENNIAL VEGETATION, ACCORDING TO SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY FOLLOWING THE COMPLETION OF GRADING.
8. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED TO CONTROL SEDIMENT AND SILT FROM LEAVING THE SITE AS DETERMINED NECESSARY BY THE REGULATING GOVERNING AUTHORITY.
9. STRIPPING OF VEGETATION, GRADING OR OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.
11. ALL SEDIMENT COLLECTED DURING MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE OR SPREAD IN LANDSCAPED OR NATURALLY VEGETATED AREAS, SEEDED AND COVERED WITH STRAW.
12. DETENTION FACILITIES AND EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE DEVICES SHALL BE MOVED AND ADJUSTED AS NEEDED TO KEEP A FUNCTIONING SYSTEM THROUGHOUT CONSTRUCTION.
13. EROSION CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO CONSTRUCTION EXITS, SILT FENCE, STORM INLET/OUTLET PROTECTION, DIVERSION DIKE OR DOWNDRAINS ON LONG STEEP SLOPES AND TEMPORARY GRASSING. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
14. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
15. MAINTENANCE OF ALL SOIL, EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.
16. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
17. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
18. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
19. EROSION CONTROL DEVICES SHALL BE CLEARED WHEN THE SILT EXCEEDS 6" IN DEPTH.
20. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REFLECT GENERALLY ACCEPTED PRACTICES. THE PLANS DO NOT GUARANTEE THAT THESE MEASURES WILL INSURE COMPLIANCE WITH THE WATER QUALITY REGULATIONS IN THE RECEIVING STREAM IMMEDIATELY DOWNSTREAM OF THE PROJECT.
21. TEMPORARY SEDIMENT BASIN(S) ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
22. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
23. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
24. PERMANENT VEGETATION SHALL BE PLANTED IF AREA IS LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.
25. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
26. CONCRETE WASHDOWN NOT ALLOWED ON SITE.
27. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.
28. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
29. STATE WATERS ARE WITHIN 200 FEET OF THE SITE.
30. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE.
31. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMANDS, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
32. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.
33. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.
34. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

**PROPOSED CONSTRUCTION SHALL COMPLY WITH 2010 ADA FOR ACCESSIBLE DESIGN AND THE FOLLOWING SECTIONS:**

1. AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO COMPLY WITH SECTION 206 FROM THE PARKING SPACE TO THE SPLASH PAD TO INCLUDE SECTION 206.2.17, PLAY AREAS
2. ACCESSIBLE PARKING SHALL BE PROVIDED TO COMPLY WITH SECTION 208 AND CHAPTER 5
3. PLAY AREAS SHALL COMPLY WITH SECTION 240



CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Co	CONSTRUCTION EXIT		Co	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER		Sd1	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP		Sd2	An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Tr	TREE PROTECTION		Tr	To protect desirable trees from injury during construction activity.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.

**DISTURBANCE LIMITS:**

- INITIAL PHASE = 0.85 ACRES
- INTERMEDIATE = 0.85 ACRES
- FINAL PHASE = 0.85 ACRES

**EROSION CONTROL INSTALLATION/REMOVAL**

EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. AFTER SILT FENCE IS INSTALLED, CLEARING WILL BE DONE AS NEEDED TO PERFORM THE MINOR GRADING. THE EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED CONTINUOUSLY AND CAN ONLY BE REMOVED AFTER FINAL SITE STABILIZATION.

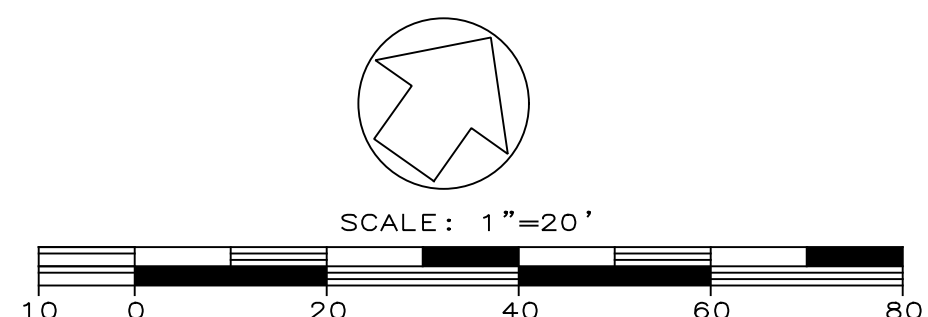
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SOIL SURVEY: THE USGS SOIL SURVEY CATEGORIZES ALL SOILS WITHIN THE PROJECT AREA TO BE:

Ud—URBAN LAND  
Map Unit Composition  
Urban land: 100 percent

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
Jeffrey W Mueller  
Level II Certified Design Professional  
CERTIFICATION NUMBER: 00000939  
ISSUED: 05/18/2018 EXPIRES: 05/18/2021



**GEORGIA811**  
Utilities Protection Center, Inc.  
1-800-282-7411  
Know what's below.  
Call before you dig.

NOTE: SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #16 095.

ARCHITECTURE  
ENGINEERING  
PLANNING  
CPLTeam.com



**DRAWINGS SCHEDULE**

No.	Date	Description
1	11-26-19	City Permit Revision
2	1-2-20	City Permit Revision
3	3-10-20	Permit Revision

GEORGIA REGISTERED PROFESSIONAL ENGINEER  
JEFFREY W. MUELLER  
4/17/2020

CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319

DATE: 03/07/19 DRAWN: JP CHECKED: JM  
SCALE: AS SHOWN  
SHEET TITLE: INITIAL EROSION CONTROL PLAN

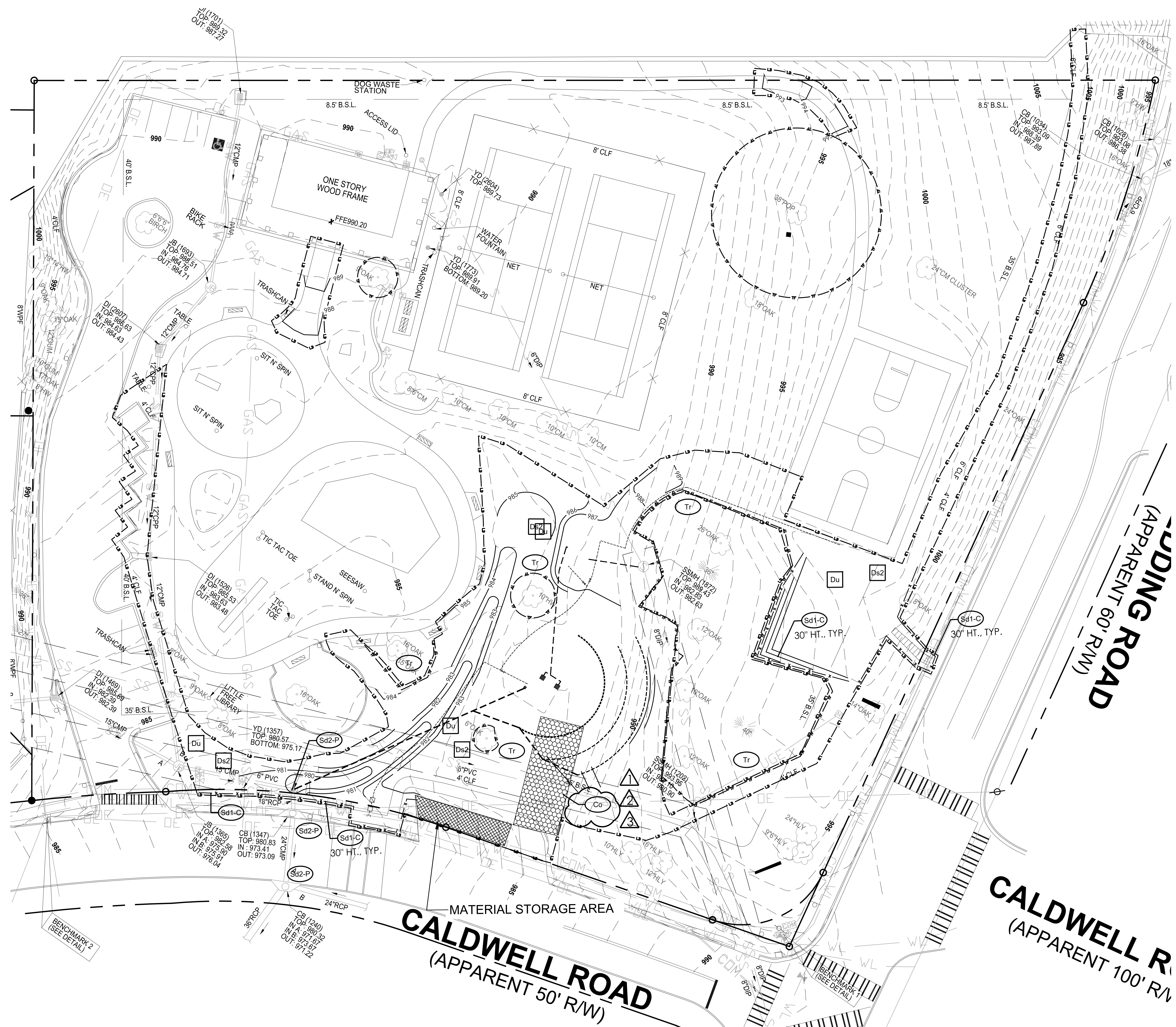
PROJECT NUMBER: 15089.00  
ER1  
DRAWING NUMBER



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**DISTURBANCE LIMITS:**  
 INITIAL PHASE = 0.85 ACRES  
 INTERMEDIATE = 0.85 ACRES  
 FINAL PHASE = 0.85 ACRES

**EROSION CONTROL INSTALLATION/REMOVAL**

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**DESCRIPTION OF CONTROLS AND MEASURES**

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**SOIL SURVEY:**  
 THE USGS SOIL SURVEY CATEGORIZES ALL SOILS WITHIN THE PROJECT AREA TO BE:  
 Ud—URBAN LAND  
 Map Unit Composition  
 Urban land: 100 percent

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
**Jeffrey W. Mueller**  
 Level II Certified Design Professional  
 CERTIFICATION NUMBER: 00000939  
 ISSUED: 05/18/2018 EXPIRES: 05/18/2021

SCALE: 1"=20'

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 1-800-282-7411  
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**NOTE:**  
 SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #16 095.

**ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 CPTeam.com**



**DRAWINGS SCHEDULE**

No.	Date	Description
1	11-26-19	City Permit Revision
2	1-2-20	City Permit Revision
3	3-10-20	Permit Revision



**GEORGIA**  
 REGISTERED PROFESSIONAL ENGINEER  
**JEFFREY W. MUELLER**  
 4/17/2020

**CITY OF BROOKHAVEN**  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

DATE: 03/07/19 DRAWN: JP CHECKED: JM  
 SCALE: AS SHOWN  
 SHEET TITLE: INTERMEDIATE EROSION CONTROL PLAN

PROJECT NUMBER: 15089.00  
**ER2**  
 DRAWING NUMBER

**EROSION CONTROL AND DRAINAGE NOTES:**

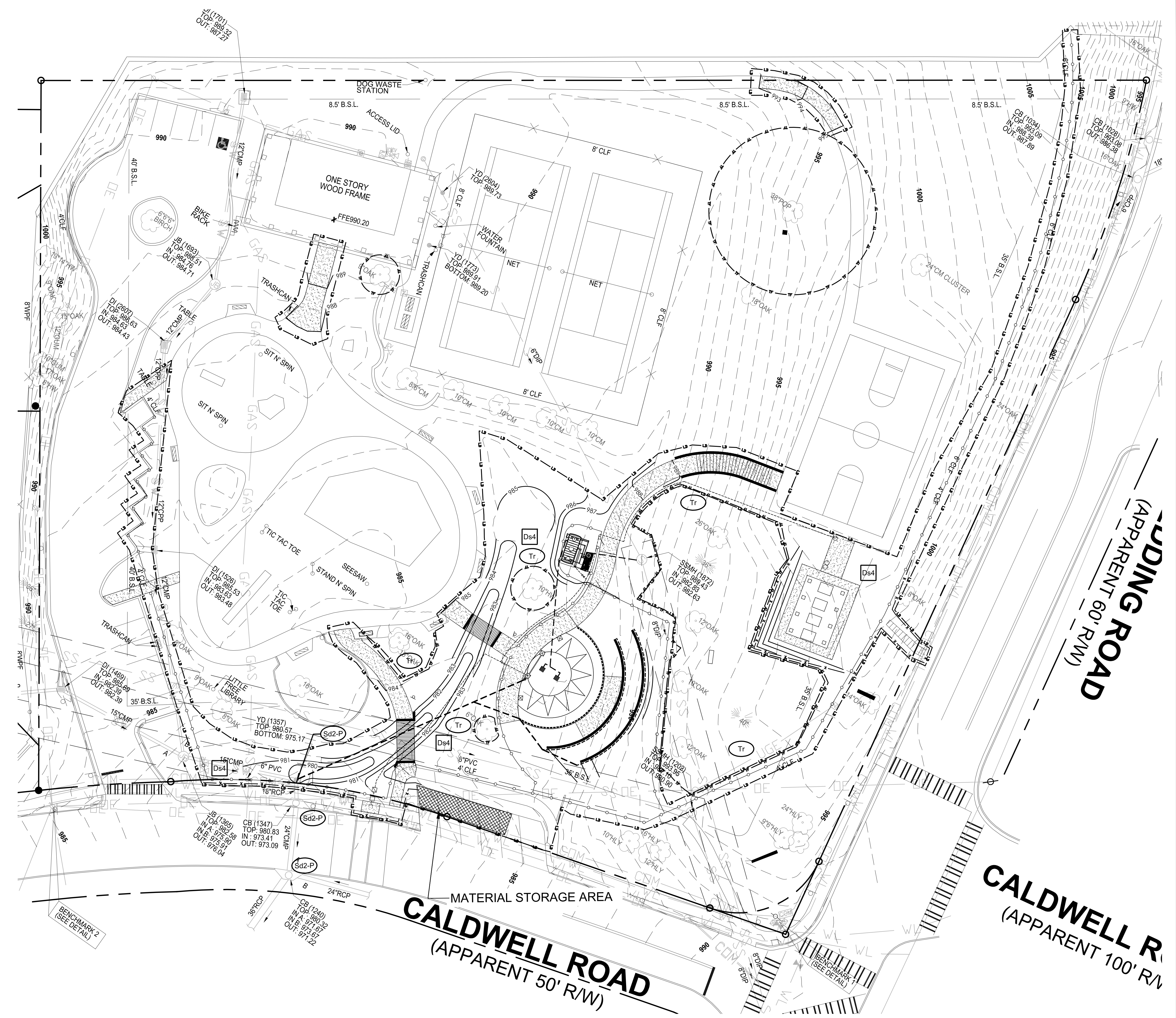
- EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND ALL CONCRETE PATHS HAVE BEEN CONSTRUCTED.
- ANY FAILURE OF ANY EROSION CONTROL DEVICE TO FUNCTION AS INTENDED FOR ANY REASON SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY THE CONTRACTOR AS NECESSARY.
- ALL DISTURBED AREAS ARE TO BE GRASSED AS SOON AS CONSTRUCTION PHASE PERMITS. TEMPORARY MULCHING SHALL BE UTILIZED DURING THE PERIOD OF GERMINATION OF GRASS SEEDINGS USING STRAW OR HAY MULCH, JUTE MATTING OR SYNTHETIC FIBERS.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL CONFORM TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND ANY APPLICABLE LOCAL REGULATIONS.
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE, MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF PROJECT, AND REPLACED WHEN EFFECTIVENESS IS REDUCED TO 50%.
- ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SUITABLE PERENNIAL VEGETATION, ACCORDING TO SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY FOLLOWING THE COMPLETION OF GRADING.
- ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED TO CONTROL SEDIMENT AND SILT FROM LEAVING THE SITE AS DETERMINED NECESSARY BY THE REGULATING GOVERNING AUTHORITY.
- STRIPPING OF VEGETATION, GRADING OR OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.
- ALL SEDIMENT COLLECTED DURING MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE OR SPREAD IN LANDSCAPED OR NATURALLY VEGETATED AREAS, SEEDS AND COVERED WITH STRAW.
- DETENTION FACILITIES AND EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF OTHER CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE DEVICES SHALL BE MOVED AND ADJUSTED AS NEEDED TO KEEP A FUNCTIONING SYSTEM THROUGHOUT CONSTRUCTION.
- EROSION CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO CONSTRUCTION EXITS, SILT FENCE, STORM INLET/OUTLET PROTECTION, DIVERSION DIKE OR DOWNDRAINS ON LONG STEEP SLOPES AND TEMPORARY GRASSING. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- EROSION CONTROL DEVICES SHALL BE CLEANED WHEN THE SILT EXCEEDS 6" IN DEPTH.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REFLECT GENERALLY ACCEPTED PRACTICES, THE PLANS DO NOT GUARANTEE THAT THESE MEASURES WILL INSURE COMPLIANCE WITH THE WATER QUALITY REGULATIONS IN THE RECEIVING STREAM IMMEDIATELY DOWNSTREAM OF THE PROJECT.
- TEMPORARY SEDIMENT BASIN(S) ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
- SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- PERMANENT VEGETATION SHALL BE PLANTED IF AREA IS LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCES SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
- CONCRETE WASHDOWN NOT ALLOWED ON SITE.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- STATE WATERS ARE WITHIN 200 FEET OF THE SITE.
- PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMANDS, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.
- FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

PROPOSED CONSTRUCTION SHALL COMPLY WITH 2010 ADA FOR ACCESSIBLE DESIGN AND THE FOLLOWING SECTIONS:  
 1. AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO COMPLY WITH SECTION 206 FROM THE PARKING SPACE TO THE SPLASH PAD TO INCLUDE SECTION 206.2.17, PLAY AREAS  
 2. ACCESSIBLE PARKING SHALL BE PROVIDED TO COMPLY WITH SECTION 206 AND CHAPTER 6  
 3. PLAY AREAS SHALL COMPLY WITH SECTION 240

**IMPERVIOUS SURFACE:**

- TOTAL NEW IMPERVIOUS SURFACE = 4,325 SF

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Co	CONSTRUCTION EXIT		Co	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER		Sd1	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP		Sd2	An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Tr	TREE PROTECTION		Tr	To protect desirable trees from injury during construction activity.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.



**DISTURBANCE LIMITS:**

- INITIAL PHASE = 0.85 ACRES
- INTERMEDIATE = 0.85 ACRES
- FINAL PHASE = 0.85 ACRES

**EROSION CONTROL INSTALLATION/REMOVAL**

EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE EROSION AND SEDIMENT CONTROL MEASURES CAN ONLY BE REMOVED AFTER FINAL SITE STABILIZATION.

**DESCRIPTION OF CONTROLS AND MEASURES**

FIRST, EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE. AFTER SILT FENCE IS INSTALLED, CLEARING WILL BE DONE AS NEEDED TO PERFORM THE MINOR GRADING. THE EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED CONTINUOUSLY AND CAN ONLY BE REMOVED AFTER FINAL SITE STABILIZATION.

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.

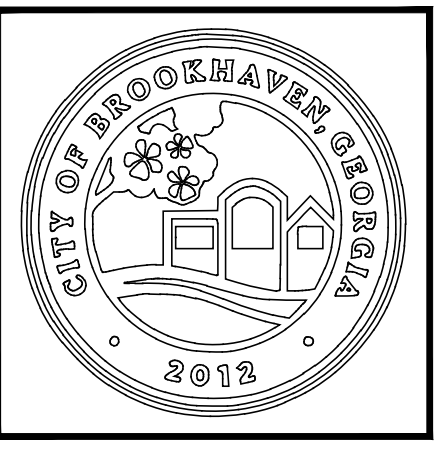
**SOIL SURVEY:**  
 THE USGS SOIL SURVEY CATEGORIZES ALL SOILS WITHIN THE PROJECT AREA TO BE:  
 Ud—URBAN LAND  
 Map Unit Composition  
 Urban land: 100 percent

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
**Jeffrey W Mueller**  
 Level II Certified Design Professional  
 CERTIFICATION NUMBER: 00000939  
 EXPIRES: 05/15/2025

SCALE: 1"=20'  
  
**GEORGIA811**  
 Utilities Protection Center, Inc.  
 1-800-282-7411  
 Know what's below.  
 Call before you dig.

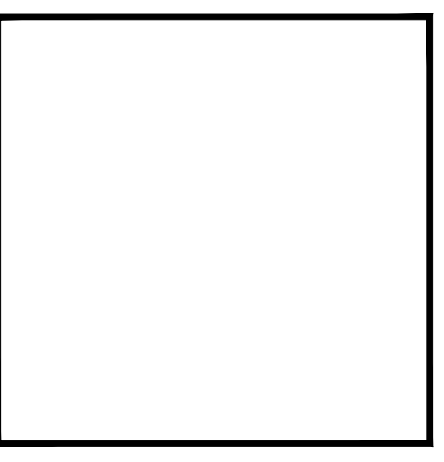
NOTE:  
 SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #16 095.

**ARCHITECTURE  
 ENGINEERING  
 PLANNING**  
**CPLTeam.com**  
 2015 LICENSED PROFESSIONAL ENGINEER, STATE OF GEORGIA, 30085 001 0000



**DRAWINGS SCHEDULE**

No.	Date	Description
1	11-26-19	City Permit Revision
2	1-2-20	City Permit Revision
3	3-10-20	Permit Revision



**GEORGIA**  
 REGISTERED PROFESSIONAL ENGINEER  
**JEFFREY W. MUELLER**  
 4/17/2020

**CITY OF BROOKHAVEN**  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

DATE: 03/07/19 DRAWN: JP CHECKED: JM  
 SCALE: AS SHOWN  
 SHEET TITLE: FINAL EROSION CONTROL PLAN

PROJECT NUMBER: 15089.00  
**ER3**  
 DRAWING NUMBER





DRAWINGS SCHEDULE

No.	Date	Description

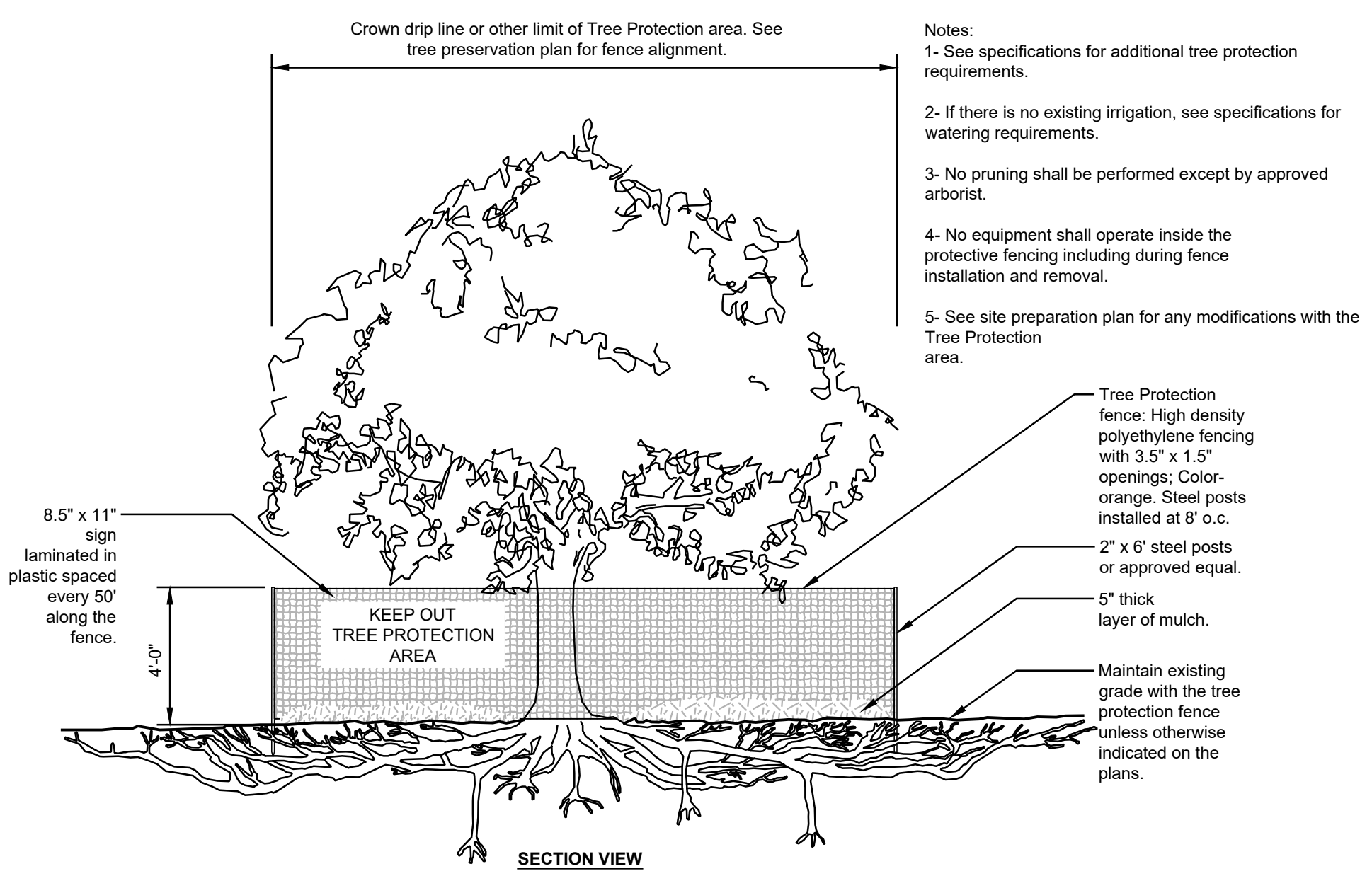


CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319

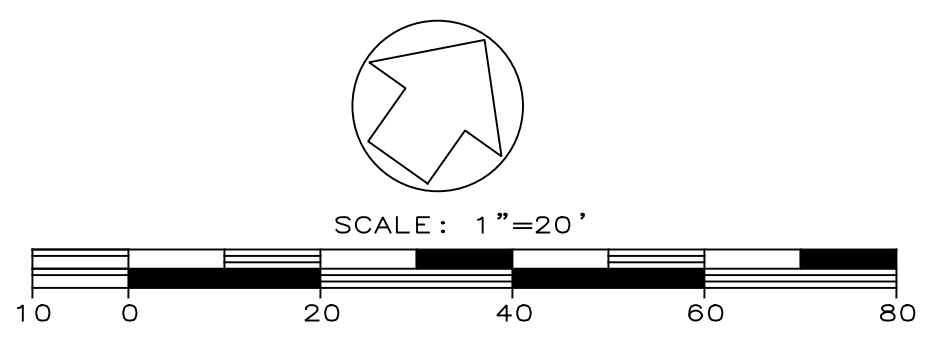
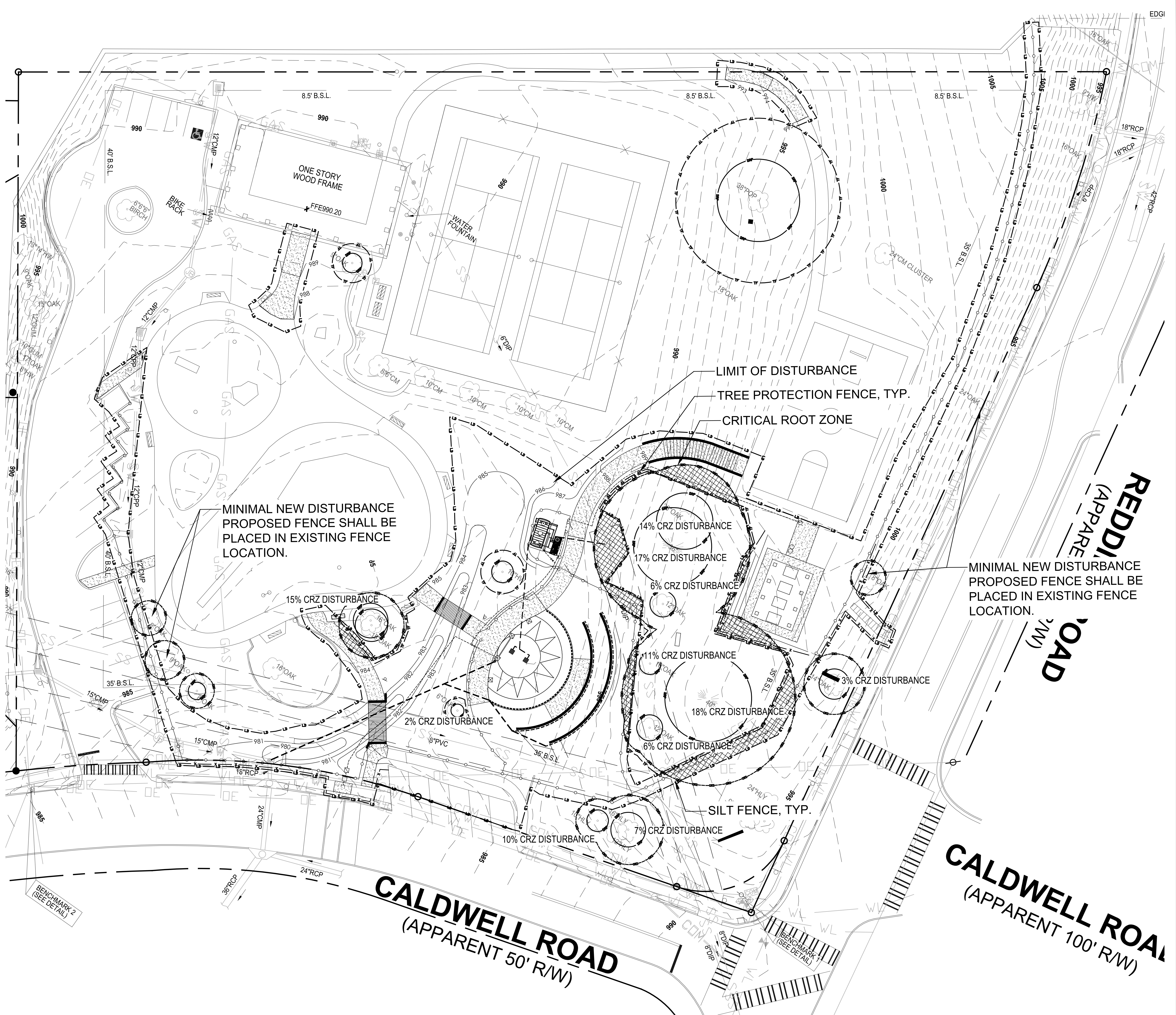
DATE	DRAWN	CHECKED
03/07/19	JP	JM

SCALE: AS SHOWN  
SHEET TITLE: TREE PROTECTION AND REPLACEMENT PLAN

PROJECT NUMBER 15089.00
TPR 1
DRAWING NUMBER



**1 TREE PROTECTION**  
1/4" = 1'-0"



**NOTE:**  
SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #TM 16 095.

**GEORGIA811**  
Utilities Protection Center, Inc.  
1-800-282-7411  
Know what's below.  
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**SITE DENSITY**

SITE AREA = 3.4 AC.
REQUIRED = 3.4 X 120 INCHES = 408"
EXISTING SITE DENSITY = 662"
NO TREES REMOVED OR DESTROYED.
EXISTING SITE DENSITY EXCEEDS SATISFIES DENSITY REQUIREMENT

**SPECIMEN TREES**

NO SPECIMEN TREES REMOVED
---------------------------

Drawing Name: S:\Project\Brookhaven\_C\Ashford Park\Design\01 Job Info\CAD\Ashford Park\Layout.dwg  
 Date last accessed: 4/17/2020 1:39 PM  
 Date last plotted: 4/17/2020 2:02 PM  
 Plotted by: Joseph Powell

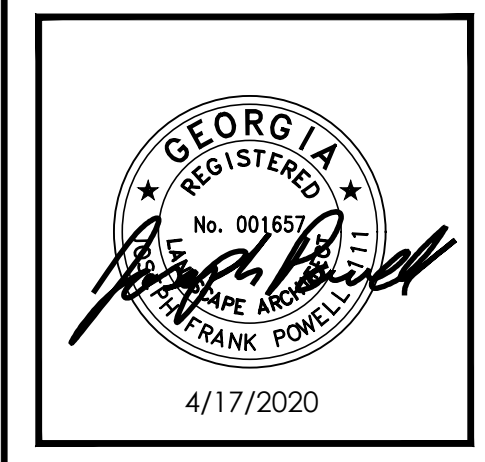






DRAWINGS SCHEDULE

No.	Date	Description

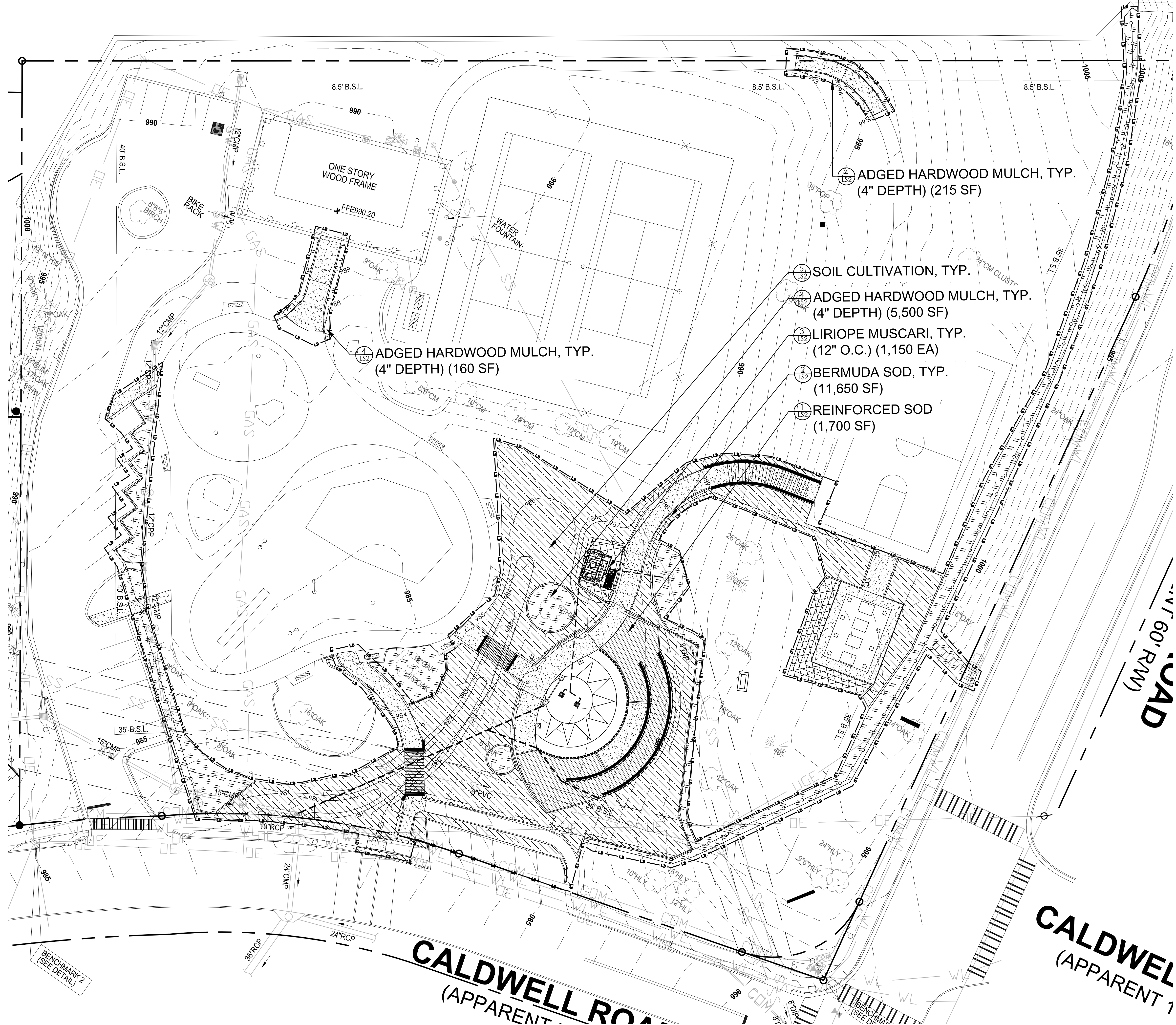


4/17/2020

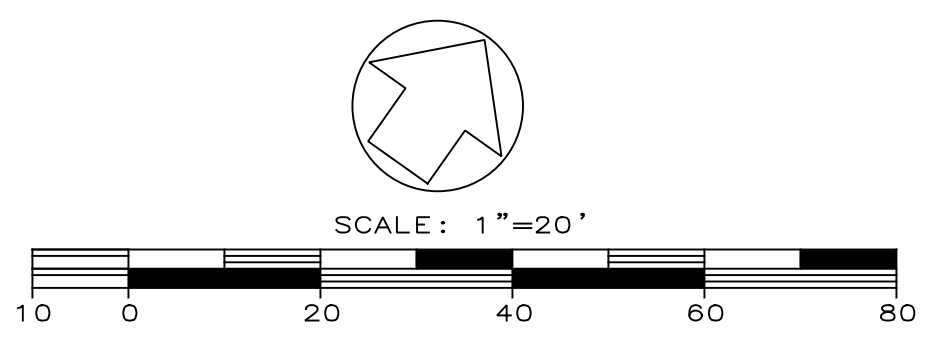
**CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319**

DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE		
LANDSCAPE PLAN		

PROJECT NUMBER	15089.00
SHEET NUMBER	LS3
DRAWING NUMBER	



**IRRIGATION:**  
 1. Contractor to install temporary irrigation system.  
 2. Temporary irrigation shall be limited to a period of one year, be placed BELOW ground, be equipped with reduced pressure backflow prevention, have a meter installed and be removed by the contractor after the one year period is reached or when sod is established.  
 3. SEE NOTES ON SHEET LS2



NOTE:  
 SURVEY CONDUCTED BY TERRAMARK LAND SURVEYING INC., 1396 BELLS FERRY ROAD, MARIETTA, GEORGIA 30066, 770-421-1927, DRAWING #TM 16 095.

**GEORGIA 811**  
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 1-800-282-7411  
 Know what's below.  
 Call before you dig.

Drawing Name: S:\Projects\Brookhaven, C\Ashford Park\Design\01 Job Info\CAD\Ashford Park\Layout.dwg  
 Date last accessed: 4/17/2020 1:39 PM  
 Date last plotted: 4/17/2020 2:03 PM  
 Plotted by: Joseph Powell



DRAWINGS SCHEDULE		
No.	Date	Description

**Polygon Wood Shelter Specification Form**

PROJECT NAME:	
PROJECT LOCATION:	
CUSTOMER NAME:	
E-MAIL:	
COMPANY:	
ADDRESS:	
ADDRESS 2:	
CITY:	
STATE:	ZIP:
PHONE:	FAX:
SEISMIC DESIGN:	BLDG CODE:

by **PORTERcorp**  
PORTERCORP, 406 N. 138th AVE., HOLLAND, MI 49424  
www.polygon.com 616-399-1963

**Low Pitched Gable Wood Shelter WLG**

**PAVILION COLUMN, TYP.**

INSTALL PER MANUFACTURES RECOMMENDATIONS

Standard Available Sizes					
<input type="checkbox"/> WLG 16X20	<input type="checkbox"/> WLG 20X36	<input type="checkbox"/> WLG 24X44	<input type="checkbox"/> WLG 30X60	<input type="checkbox"/> WLG 40X44	
<input type="checkbox"/> WLG 16X28	<input type="checkbox"/> WLG 20X44	<input type="checkbox"/> WLG 24X52	<input type="checkbox"/> WLG 36X36	<input type="checkbox"/> WLG 40X52	
<input type="checkbox"/> WLG 16X36	<input type="checkbox"/> WLG 20X52	<input type="checkbox"/> WLG 30X36	<input type="checkbox"/> WLG 36X44	<input type="checkbox"/> WLG 40X60	
<input type="checkbox"/> WLG 16X44	<input type="checkbox"/> WLG 24X28	<input type="checkbox"/> WLG 30X44	<input type="checkbox"/> WLG 36X52	<input type="checkbox"/> WLG 50X52	
<input type="checkbox"/> WLG 20X28	<input type="checkbox"/> WLG 24X36	<input type="checkbox"/> WLG 30X52	<input type="checkbox"/> WLG 36X60	<input type="checkbox"/> WLG 50X60	

**Sheet Index**

COVER SHEET / ORDER FORM
ELEVATION VIEWS
STRUCTURAL FRAME
COLUMN LAYOUT

See website for multi-rib roof color choices and wood stain choices. **www.polygon.com**

**SHELTER MODEL: WOOD RECTANGLE WLG**

SCALE: 1:40 REV LEVEL: A DATE: 9/1/2011

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by **PORTERcorp**  
PORTERCORP, 406 N. 138th AVE., HOLLAND, MI 49424  
www.polygon.com 616-399-1963

**COVER SHEET**

**NOTE: THIS IS A PLANNING LEVEL DRAWING.**

THE STRUCTURE SHOWN IS SUBJECT TO ON-GOING DESIGN REVIEW AND UPDATE. EXPECT SOME CHANGES TO MATERIAL SIZES AND GENERAL DIMENSIONS. ONLY USE DRAWINGS PROVIDED WITH ENGINEERED STRUCTURES FOR CONSTRUCTION.

**PAVILION COLUMN, TYP.**

INSTALL PER MANUFACTURES RECOMMENDATIONS

THIS SHELTER PROVIDES 560 SQ. FT. OF SHADE.

**SHELTER MODEL: WOOD RECTANGLE 20X28 WLG 20X28**

SCALE: 1:65 REV LEVEL: A DATE: 9/1/2011

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**ELEVATION VIEWS**

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**PAVILION COLUMN, TYP.**

INSTALL PER MANUFACTURES RECOMMENDATIONS

**SHELTER MODEL: WOOD RECTANGLE 20X28 WLG 20X28**

SCALE: 1:65 REV LEVEL: A DATE: 9/1/2011

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**FRAME VIEWS**

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**PAVILION COLUMN, TYP.**

INSTALL PER MANUFACTURES RECOMMENDATIONS

REFER TO ANCHOR AND FOOTING DESIGN FOR GENERAL INFORMATION ON BOTH ANCHOR ATTACHMENT AND TYPICAL FOOTING TYPES. ANCHOR ATTACHMENT AND FOOTING DESIGNS ARE SITE AND SITUATION SPECIFIC AND ARE INTEGRAL TO THE FINAL SHELTER DESIGN.

**DO NOT POUR FOOTING OR INSTALL ANCHOR BOLTS WITHOUT JOB SPECIFIC ANCHOR AND FOOTING DESIGN DRAWINGS.**

ALL POLYGON COLUMN ANCHORING SYSTEMS ARE OSHA COMPLIANT.

**SHELTER MODEL: WOOD RECTANGLE 20X28 WLG 20X28**

SCALE: 1:40 REV LEVEL: A DATE: 9/1/2011

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by **PORTERcorp**  
PORTERCORP, 406 N. 138th AVE., HOLLAND, MI 49424  
www.polygon.com 616-399-1963

**COLUMN LAYOUT**

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**PAVILION COLUMN, TYP.**

INSTALL PER MANUFACTURES RECOMMENDATIONS

**SHELTER MODEL: WOOD RECTANGLE 20X28 WLG 20X28**

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**SHELTER MODEL: WOOD RECTANGLE 20X28 WLG 20X28**

SCALE: 1:40 REV LEVEL: A DATE: 9/1/2011

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by **PORTERcorp**  
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www.polygon.com 616-399-1963

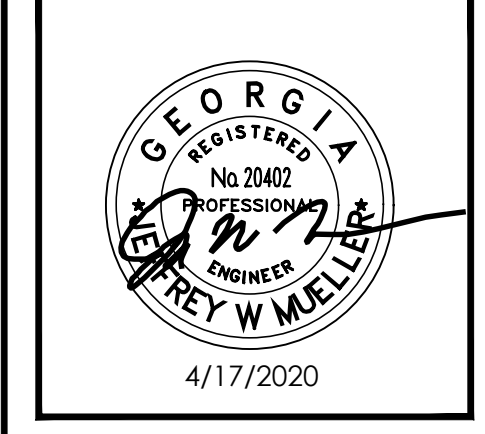
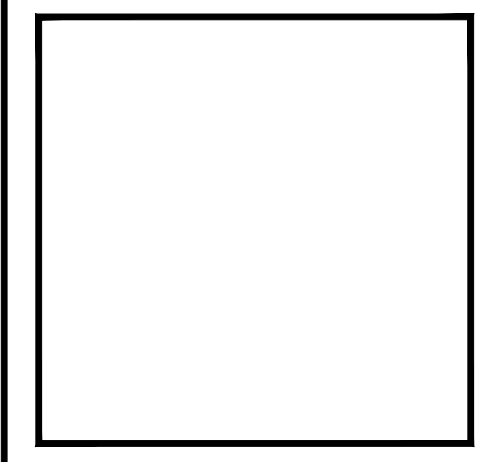
**COLUMN LAYOUT**

- NOTE
  - STANDARD WLG 20X28 IS FOR INFO ONLY. THE POLYGON STRUCTURE TO BE ORDERED AND INSTALLED IS
  - CUSTOM WLG 20X28 JOB NO. 500-2-19** WHICH INCLUDES THE FOLLOWING POLYGON MODIFICATIONS:
  - KYNAR MULTI-RIB METAL ROOF INSTEAD OF ASPHALT SHINGLES. ROOF COLOR TO BE SELECTED BY OWNER BEFORE ORDER IS PLACED.
  - 6:12 ROOF PITCH
  - STAINED TONGUE AND GROOVE ROOFING. STAIN COLOR TO BE SELECTED BY OWNER BEFORE ORDER IS PLACED.
  - STAINED WOOD COLUMNS AND TRUSSES. STAIN COLOR TO BE SELECTED BY OWNER BEFORE ORDER IS PLACED.
  - INCREASE UNDER EAVE HEIGHT TO 9'-0"
  - 10" WOOD POSTS WITH EMBLEMMENT STYLE-DIRECT BURY
  - STRUCTURAL CONNECTION PLATES AND HARDWARE ARE TO BE FACTORY FINISHED BLACK BY POLYGON.
  - POLYGON CONTACT FOR PLACING ORDER:
- ALLISON HASLEY  
HASLEY RECREATION, INC.  
P.O. BOX 488  
FLOWERY BRANCH, GA 30542  
770-965-4042 (OFFICE)  
770-338-0004 (CELL)

DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE PAVILION PLANS		

PROJECT NUMBER
15089.00
PV1
DRAWING NUMBER

No.	Date	Description

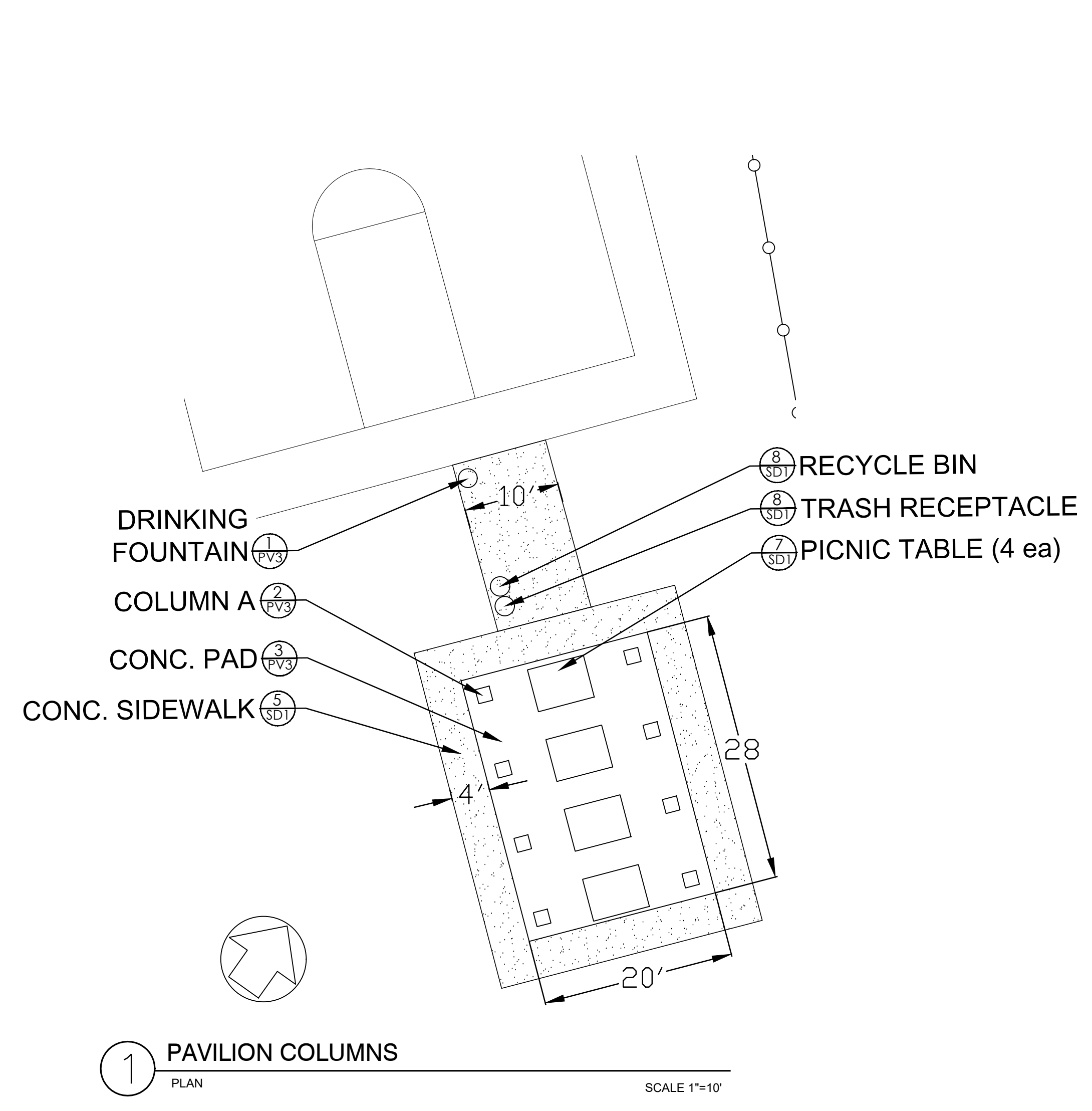


CITY OF BROOKHAVEN  
ASHFORD PARK SPLASH PAD  
2980 REDDING ROAD  
BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE PAVILION ELECTRICAL		

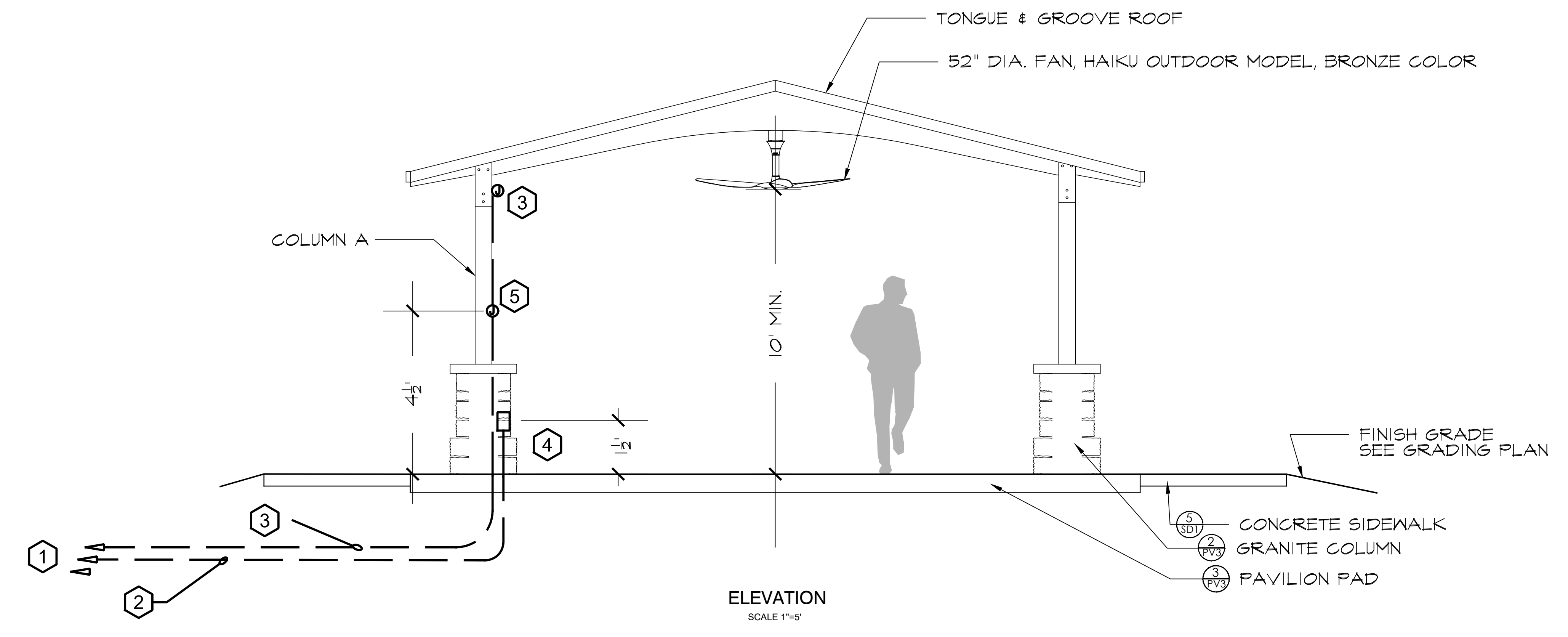
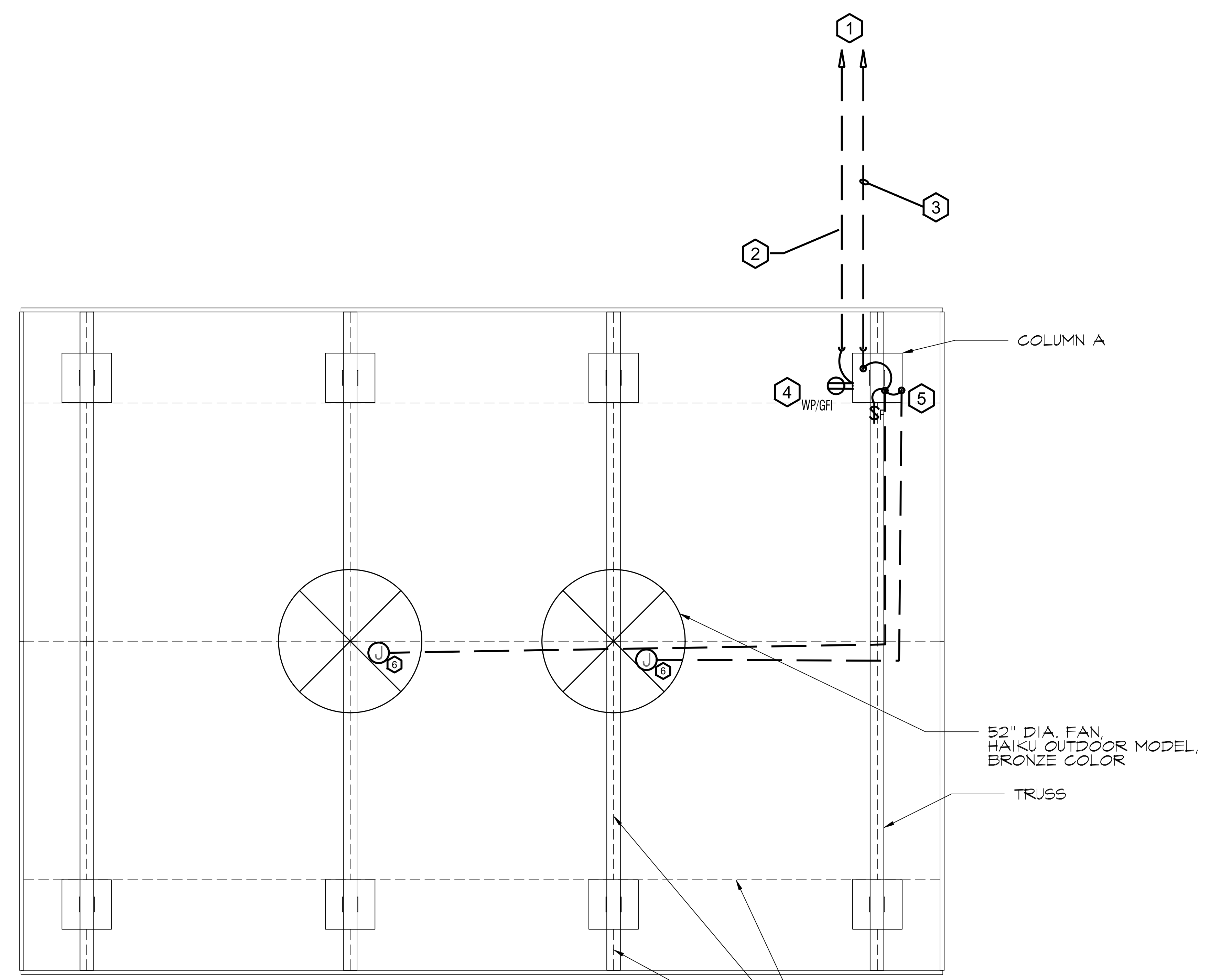
PROJECT NUMBER 15089.00
DRAWING NUMBER PV2

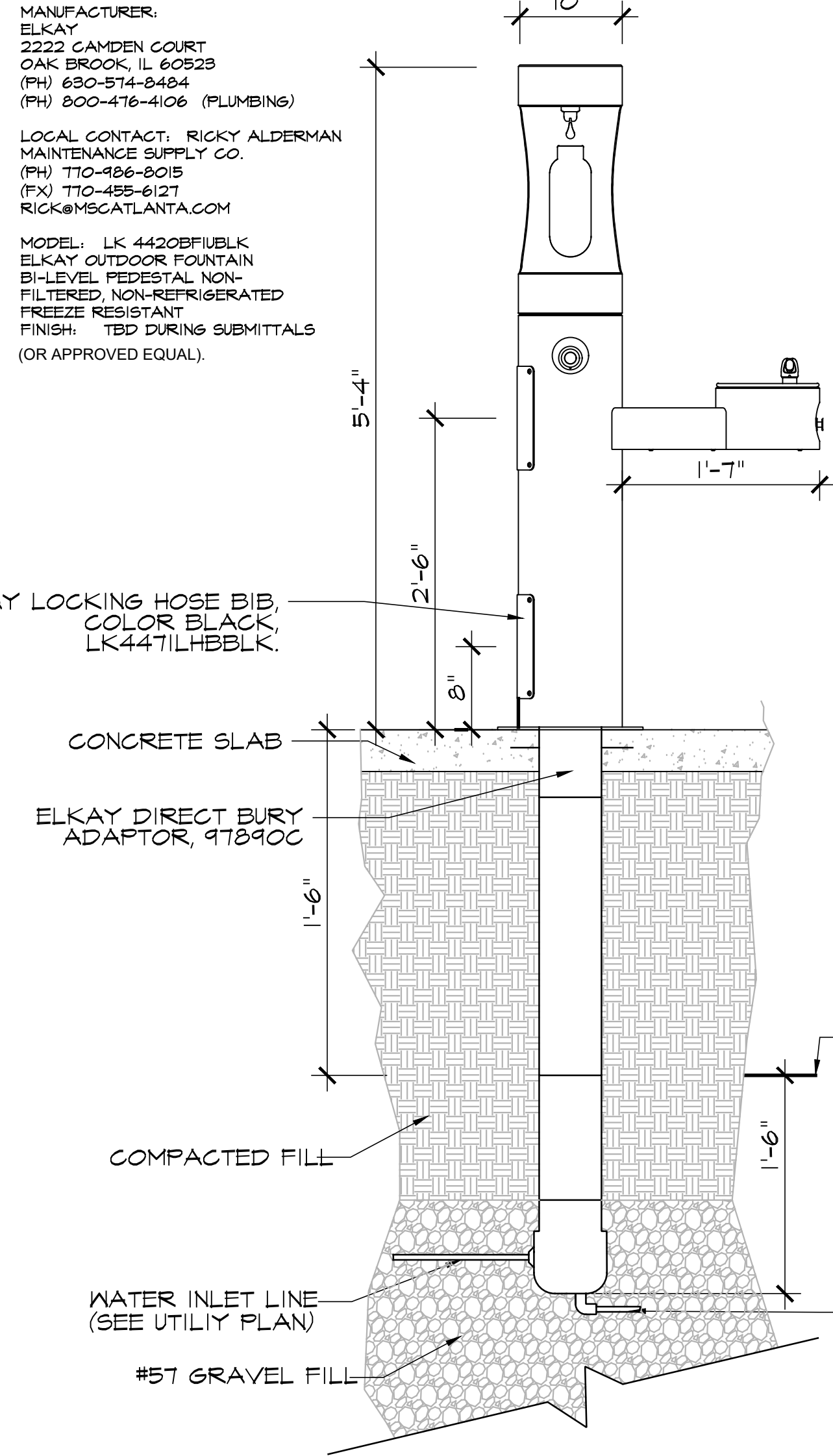
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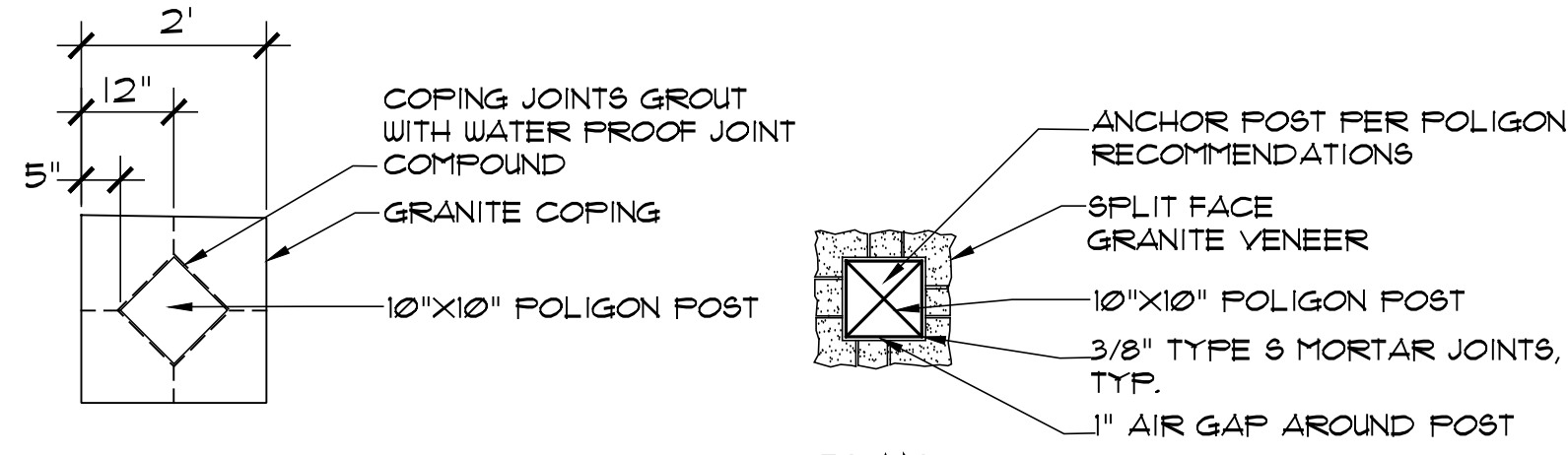
- CONSTRUCTION NOTES**
- 3/4" SCHED. 80 PVC CONDUIT, RUN 2 SETS IN SINGLE TRENCH, BURIED MINIMUM OF 24" BELOW GRADE. PLACE WARNING TAPE IN TRENCH 6" ABOVE CONDUIT. ALL PENETRATIONS THROUGH SLAB TO BE WITH GRC CONDUIT AND LONG SWEEP 90'S. SEE SHEETS E1-2 FOR CONNECTION. PROVIDE LOCK OUTS ON ALL CIRCUIT BREAKERS PROVIDING POWER TO PAVILION.
  - 2#10, #10G THHN IN 3/4" PVC STUBBED UP IN BASE OF COLUMN FOR RECEPTACLE CIRCUIT. ALL PENETRATIONS THROUGH SLAB TO BE WITH GRC CONDUIT AND LONG SWEEP GRC 90'S.
  - 2#10, #10G THHN IN 3/4" PVC STUBBED UP IN BASE OF COLUMN FOR LIGHTING AND CEILING FAN CIRCUIT. ALL PENETRATIONS THROUGH SLAB TO BE WITH GRC CONDUIT AND LONG SWEEP GRC 90'S.
  - NAFTA COMPLIANT TAMPER-RESISTANT/WEATHER-RESISTANT 20A SELF TEST DUPLEX GFCI, PASS & SEYMOUR MODEL 2097TRW1NA. COLOR TO BE DETERMINED BY ARCHITECT; RECEPTACLE TO BE ENCLOSED BY LOCKABLE SINGLE GANG EXTRA-DUTY WHILE-IN-USE WEATHERPROOF COVER, FROSTED PLASTIC, HUBBELL MODEL MW200.
  - HAIKU WALL CONTROL TIMER SWITCH FOR CEILING FANS. INSTALL GASKETED WEATHER RESISTANT FACE PLATE TO SWITCH.
  - J-BOX FOR EXTERIOR FANS.

- SHEET NOTES**
- THE INSTALLING CONTRACTOR SHALL OBSERVE ALL APPLICABLE CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO THE NATIONAL ELECTRIC CODE, NFPA 30A & 52 AND THE INTERNATIONAL FIRE CODE.
  - THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL WIRE, CONDUIT, LOW VOLTAGE TRANSFORMERS, HARDWARE AND ACCESSORIES REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM THAT MEETS THE DESIGN INTENT AS REQUIRED BY THE PROJECT SPECIFICATIONS.
  - REVIEW SITE CONDITIONS PRIOR TO LAYING OUT DEVICES AND EQUIPMENT.
  - DEVICES THAT ARE REQUIRED TO BE ADA ACCESSIBLE WILL BE INSTALLED PER ANSI A117.1



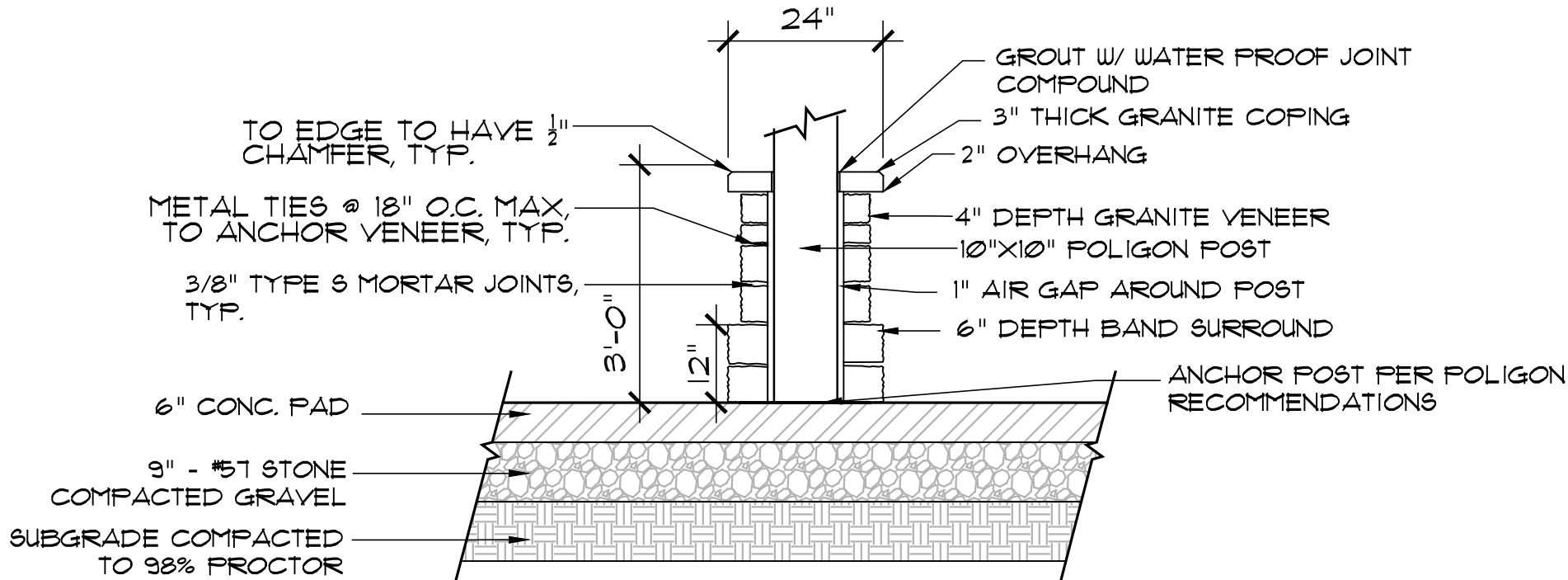


**1 DRINKING FOUNTAIN**  
SECTION  
SCALE 1"=1'-0"



**GRANITE COPING PLAN**

**PLAN**

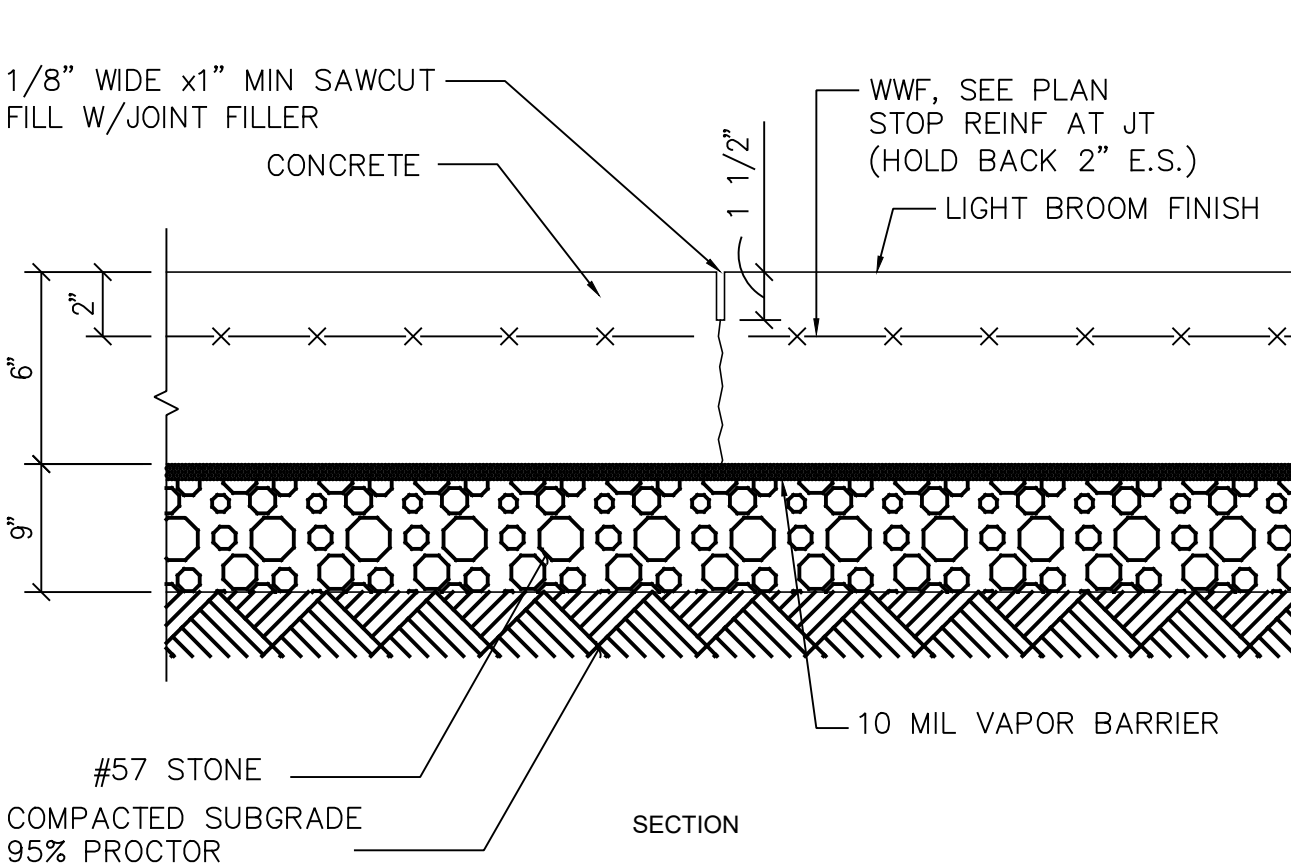
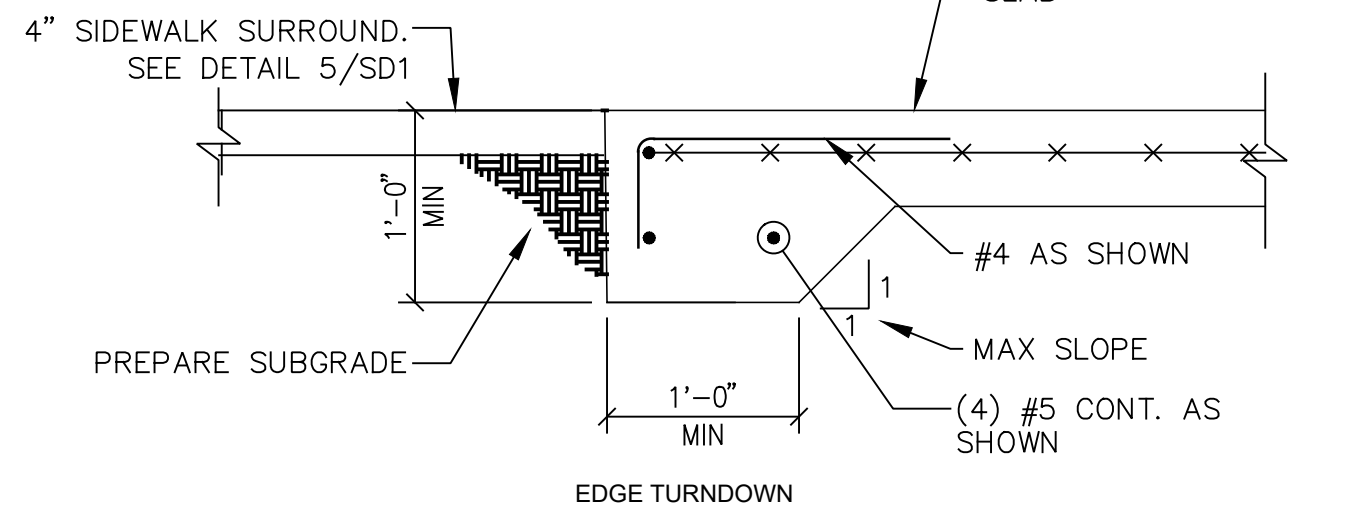


**SECTION**

**2 PAVILION COLUMN, TYP.**  
SECTION  
SCALE 1 1/2"=1'-0"

**PAVILION COLUMN MATERIAL NOTES:**

- BROOKHAVEN GRANITE SOURCE IS: DIMENSIONAL STONE, ELBERTON, GA. CONTACT: DALE WILLIS 706-213-8031.
- GRANITE VENEER: ELBERTON GRANITE RUBBLE, 2", 4" & 6" DEPTH X (WIDTH & HEIGHT VARIES BY STANDARD SIZES). SOLDER COURSE STONE 3" WIDTH X 4" DEPTH X 8" HEIGHT.
- GRANITE COPING: ELBERTON GRANITE, STONE THICKNESS - 3". FINISHES - TOP = THERMAL, FRONT TOP EDGE = EASED, FACE = SPLIT-FACE, BACK & BOTTOM = SPLIT-FACE, SIDES = SAWN.
- WALL VENEER & COPING TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- MORTAR COLOR TO MATCH GRANITE.
- MORTAR COLOR SELECTION TO BE APPROVED BY LANDSCAPE ARCHITECT /OWNER PRIOR TO CONSTRUCTION.



**NOTE:**  
1. SAWCUT SLAB AS SOON AS POSSIBLE AFTER FINISHING. WITHIN 1 HR IN HOT WEATHER, WITHIN 4 HR IN COLD WEATHER.

**3 CONCRETE PAVILION PAD**  
SECTION  
N.T.S.

**CAST-IN-PLACE CONCRETE NOTES**

- ALL CONCRETE WORK, CONSTRUCTION AND REINFORCING DETAILS SHALL CONFORM TO THE 2012 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS AND "THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS (ACI-318).
- ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS BELOW:  
28 DAY COMPRESSIVE STRENGTH: 3,000 PSI MIN.  
MAXIMUM WATER CEMENT RATIO: 0.45  
MAXIMUM SLUMP: 3 INCHES  
TOTAL AIR CONTENT: 6 1/2 +/- 1 1/2 %
- THE ALLOWABLE MAXIMUM SLUMP SHOWN ABOVE SHALL BE PRIOR TO ADDING SUPERPLASTICIZER AS APPLICABLE.
- ALL CONCRETE AGGREGATES SHALL BE NORMAL-WEIGHT.
- MAXIMIZE SIZE OF COARSE AGGREGATE SHALL BE 3/8".
- PROVIDE 1/2" CHAMFERS ON ALL EXPOSED CORNERS OF CONCRETE.
- ALL CONCRETE SHALL RECEIVE A MEDIUM BROOM FINISH.
- ALL REINFORCING STEEL SHALL BE GRADE 60 KSI, ASTM A615.
- WHERE PERMITTED WITH PRIOR APPROVAL FROM THE ENGINEER OF RECORD, HILTI HIT-500 EPOXY ADHESIVE ANCHORING SYSTEM SHALL BE USED FOR INSTALLATION OF ALL REINFORCING STEEL INTO EXISTING CONCRETE. REFER TO MANUFACTURER SPECIFICATIONS FOR INSTALLATION INSTRUCTIONS.

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 Date last plotted: 4/17/2020 2:03 PM  
 Plotted By: Joseph Powell



**DRAWINGS SCHEDULE**

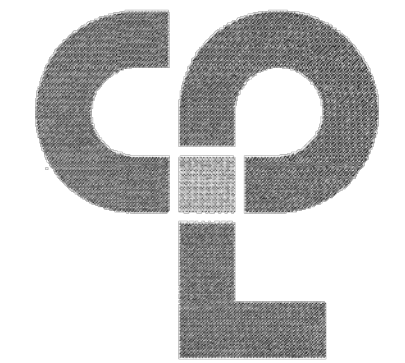
No.	Date	Description



**CITY OF BROOKHAVEN**  
**ASHFORD PARK SPLASH PAD**  
 2980 REDDING ROAD  
 BROOKHAVEN, GEORGIA 30319

DATE	DRAWN	CHECKED
03/07/19	JP	JM
SCALE AS SHOWN		
SHEET TITLE		
PAVILION DETAILS		

PROJECT NUMBER	15089.00
PV3	
DRAWING NUMBER	



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 FAX (770) 831-9243  
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**LEGEND**

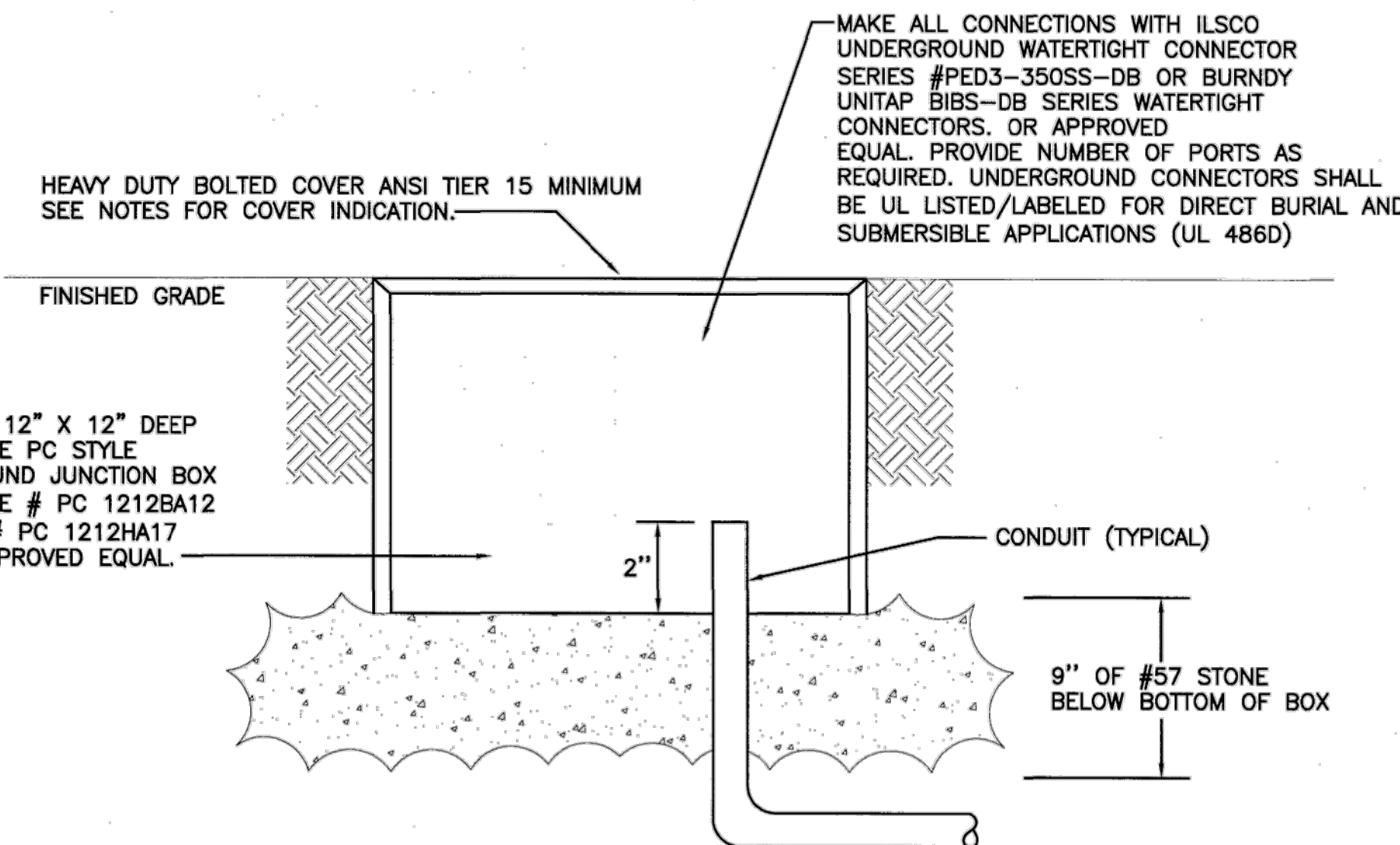
- UNDERGROUND CONDUIT. SEE NOTE BELOW.
- 20AMP 125V, STRAIGHT BLADE 3 WIRE GROUNDING DUPLEX OUTLET. NUMBER INDICATES CIRCUIT.
- WP - INDICATES WEATHERPROOF
- GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- QUAD OUTLET (DOUBLE DUPLEX), SAME DESCRIPTION AS ABOVE.
- INGROUND J-BOX.
- PANELBOARD.
- TFRAC - TYPICAL FOR REMAINDER OF CIRCUIT.
- 36781 A AVAILABLE
- 30' - LENGTH OF FEEDER IN FEET.

NOTE: SHORT HASH MARKS INDICATE NUMBER OF #12 CU. HOT CONDUCTORS, LONG HASH MARKS INDICATE #12 CU. NEUTRAL CONDUCTOR, RESPECTIVELY. GROUND CONDUCTOR NOT SHOWN. NO HASH MARKS INDICATE 3#12 CU. CONDUCTORS (A HOT, NEUTRAL AND GROUND), UNLESS OTHERWISE NOTED. 1/2" CONDUIT MINIMUM.

**NOTES:**

1. ALL EQUIPOTENTIAL BONDING CONDUCTORS SHALL BE #8 HARD DRAWN BARE COPPER. CONNECT TO ALL METALLIC COMPONENTS WITHIN THE SPRAY PAD AND EXTENDING 3' HORIZONTALLY FROM THE SPRAY PAD AS PER THE NATIONAL ELECTRICAL CODE ARTICLE 680, PARAGRAPH 680.26 EQUIPOTENTIAL BONDING.
2. MOUNT METER SOCKET AND PANELBOARD A ONTO FENCE POST AS REQUIRED. USE GALVANIZED MATERIALS FOR CONNECTIONS TO FENCE POST AS REQUIRED.

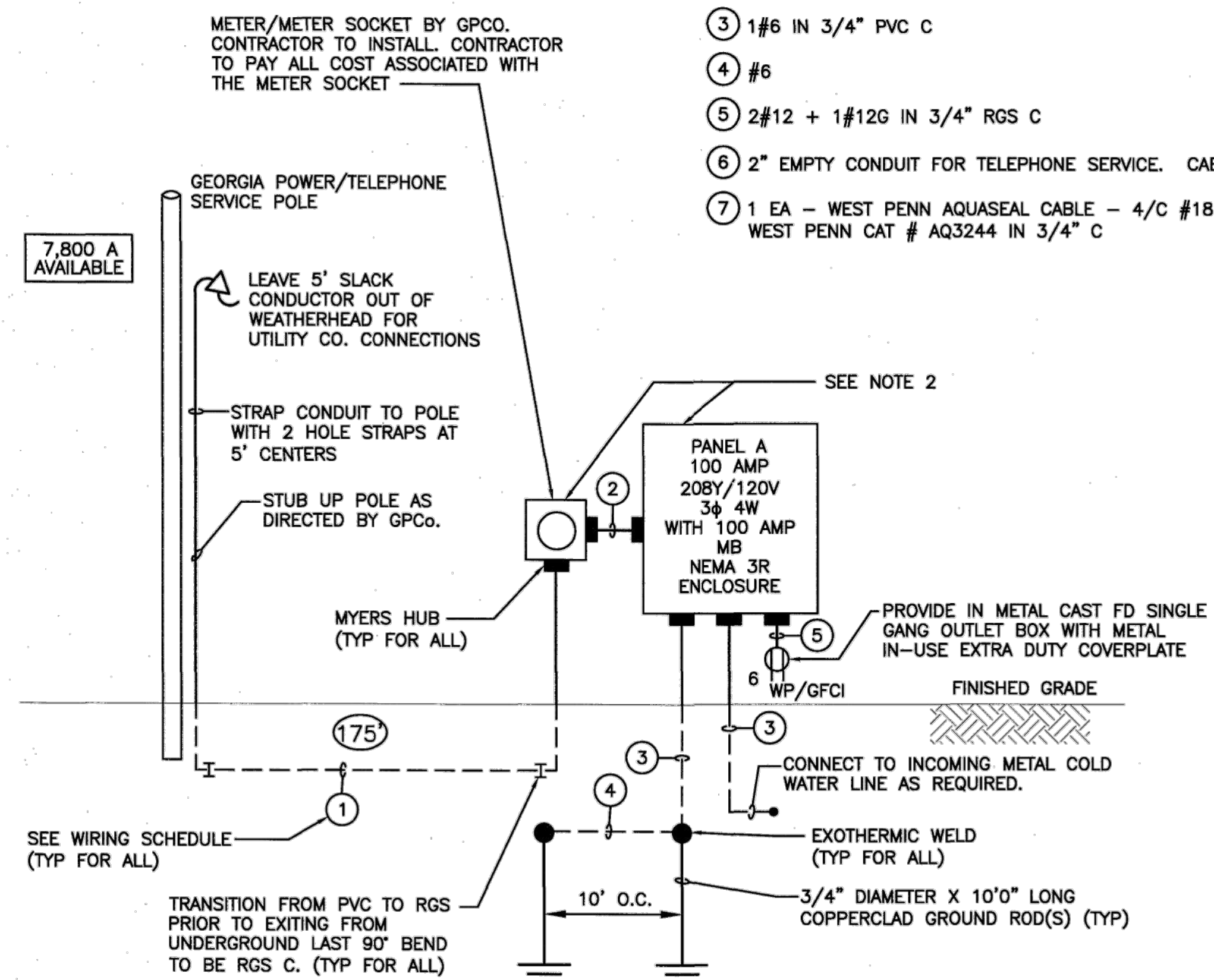
PANEL A																					
VOLTAGE: 208Y/120V AMPS: 100A MB MOUNTING: SURFACE NEMA 3R ENCLOSURE																					
3 PHASE, 4 WIRE TOTAL LOAD: 17.7 KVA																					
No.	SERVES	LTG	RCPT	MTR	A/C	KITCH	MISC	TRIP	P	PH	BRKR	LOAD (KVA)	SERVES	No.							
1	SITE OUTLETS		1.80					20	1	3.60				2							
3	EM PHONE							1	20	2.50			4								
5	PAVILION POWER							1	20	3.00			6								
7								1	20	2.88			8								
9	SPLASH PAD EQUIPMENT							30	3	2.88			10								
11								1	20	2.88			12								
											6.48	5.38	5.88	12.64	0.00	0.00	0.00	5.10	0.00	CONNECTED KVA	17.74



**TYPICAL IN GROUND JUNCTION BOX INSTALLATION DETAIL**  
 SCALE: N.T.S.

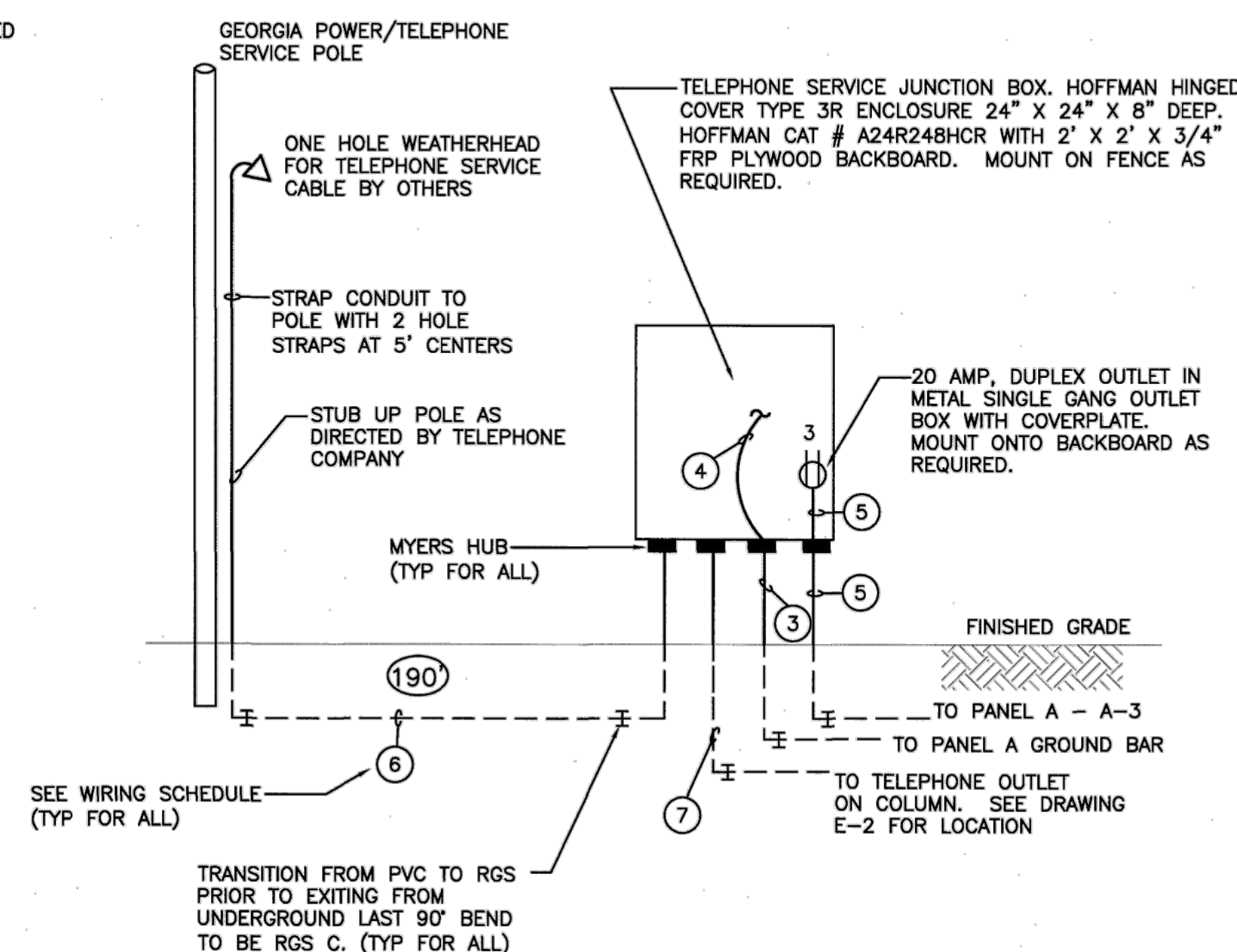
**WIRING SCHEDULE**

- 1 3#1/0 IN 1 1/2" C
- 2 3#1/0 + 1#6G IN 1 1/2" RGS C
- 3 1#6 IN 3/4" PVC C
- 4 #6
- 5 2#12 + 1#12G IN 3/4" RGS C
- 6 2" EMPTY CONDUIT FOR TELEPHONE SERVICE. CABLE BY OTHERS
- 7 1 EA - WEST PENN AQUASEAL CABLE - 4/C #18 SHIELDED WEST PENN CAT # A03244 IN 3/4" C

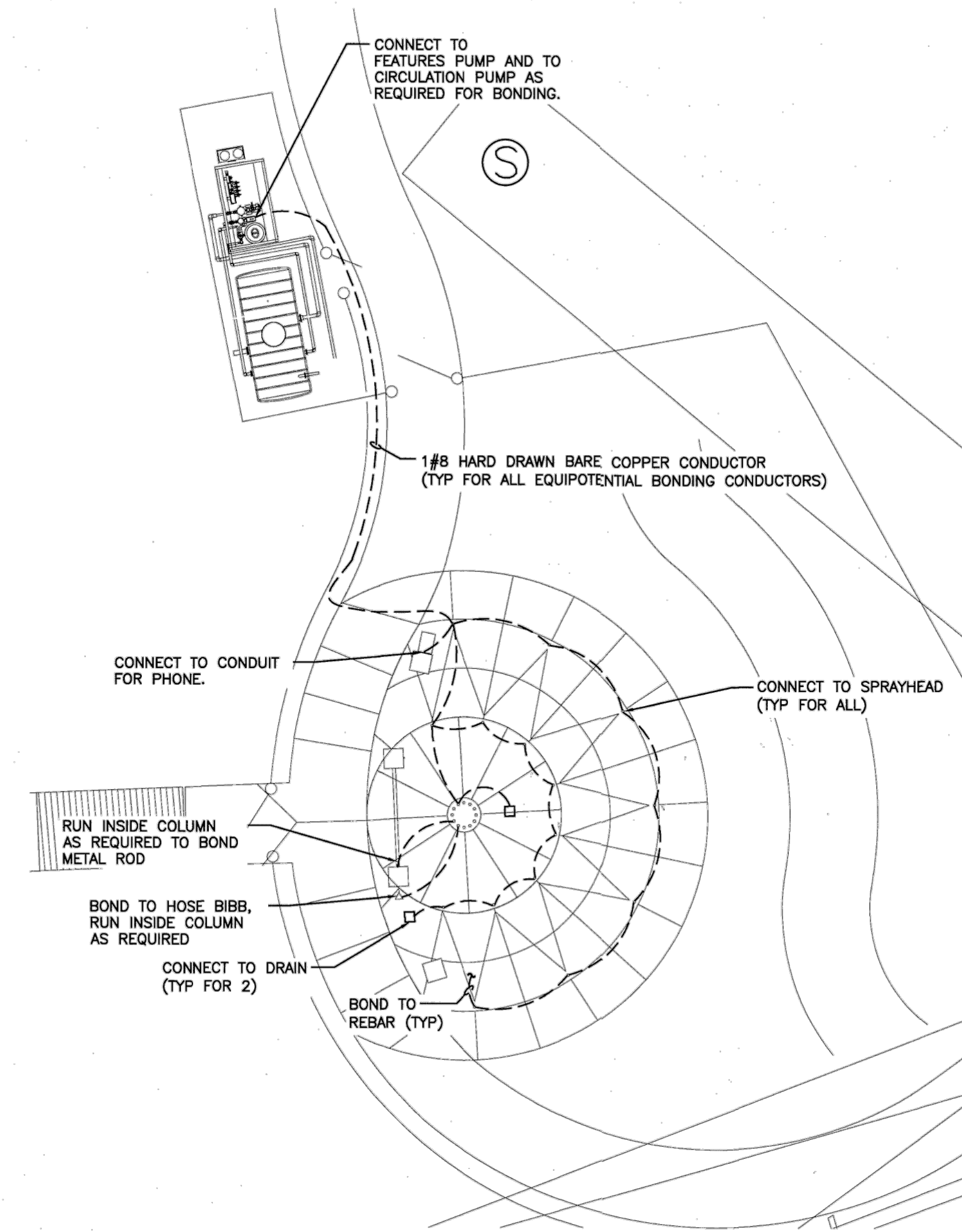


**1 POWER RISER DIAGRAM**  
 SCALE: N.T.S.

PANEL A TO BE FULLY RATED 10 KAIC



**4 TELEPHONE SERVICE RISER DIAGRAM**  
 SCALE: N.T.S.



**3 EQUIPOTENTIAL BONDING PLAN**  
 SCALE: 1"=10'-0"

ASHFORD PARK SPLASH PAD ELECTRICAL

DATE	DRAWN	CHECKED
07/17/19	PJN	
SCALE AS NOTED		
SHEET TITLE		
LEGEND, RISERS, DETAILS AND EQUIPOTENTIAL BONDING PLAN		

W&A PROJECT NUMBER - 19041

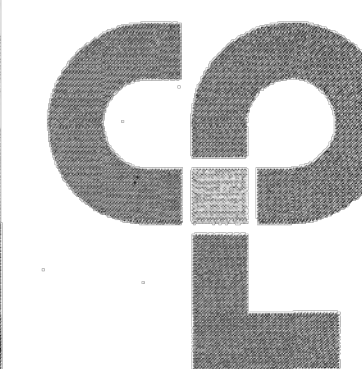
2300 Lake Park Dr, Suite 250  
 Smyrna, Georgia 30080

Voice 770-458-3005 Fax 770-458-8388  
 WOMACK & ASSOCIATES  
 COA #PEF00630 EXP - 06/30/2020

PLOT SCALE: 1"=10' 0"

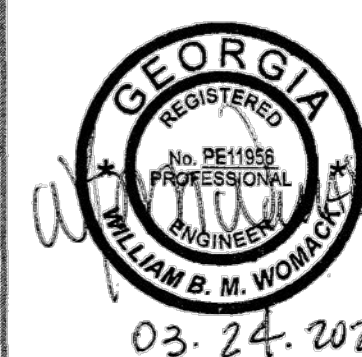
PROJECT NUMBER
E-1
DRAWING NUMBER

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 Date last plotted: 3/24/2020 11:21 AM  
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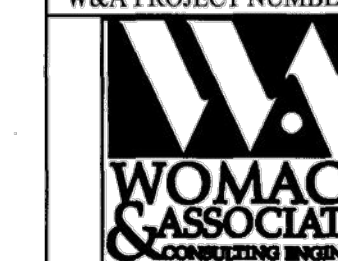
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FAX (770) 831-9243  
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ASHFORD PARK SPLASH  
PAD ELECTRICAL

DATE	DRAWN	CHECKED
07/17/19	PJN	
SCALE AS SHOWN		
SHEET TITLE		
ELECTRICAL SITE PLAN		

W&A PROJECT NUMBER -19041



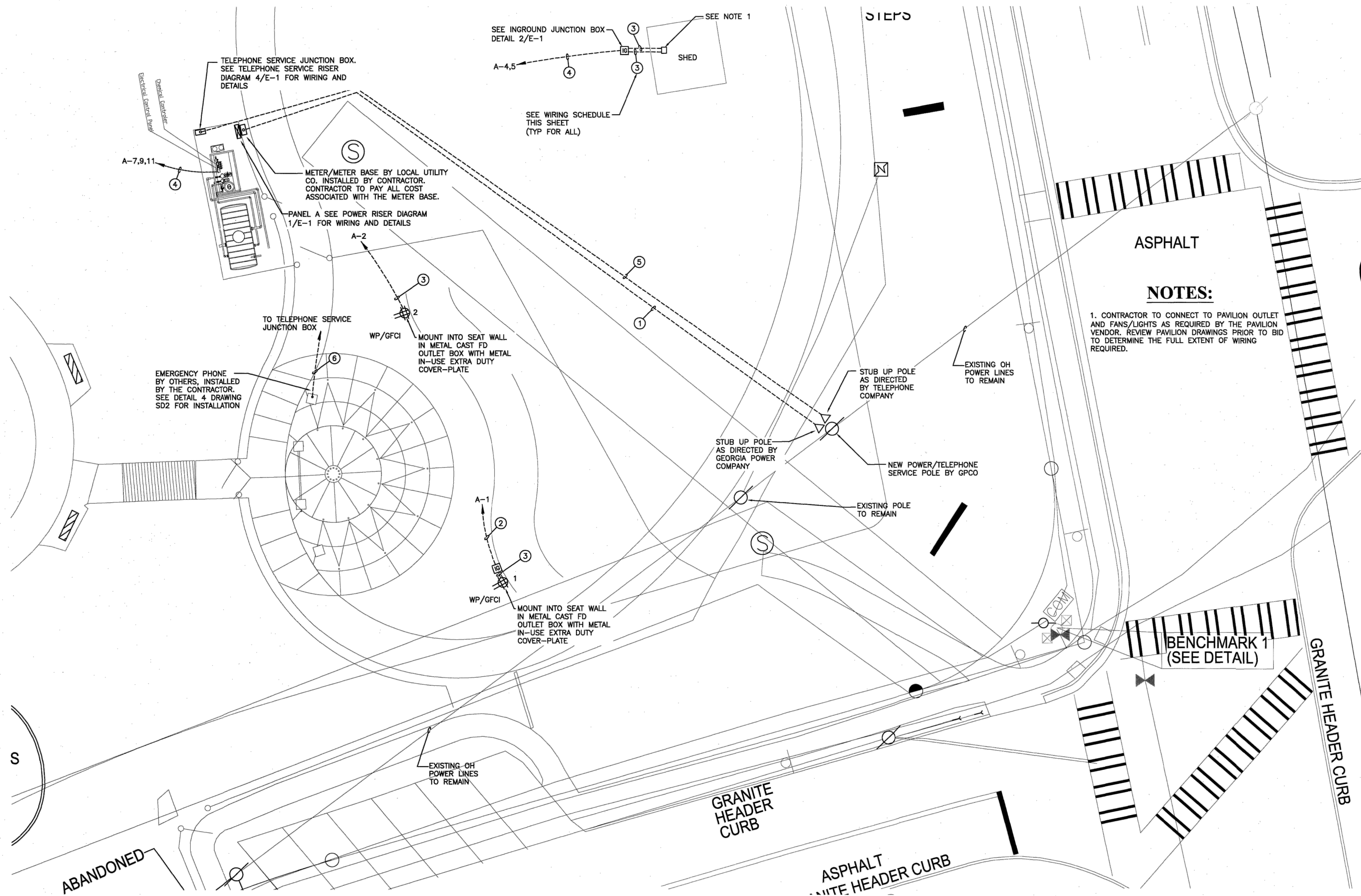
2300 Lake Park Dr, Suite 250  
Smyrna, Georgia 30080

Voice 770-458-3005 Fax 770-458-8388

WOMACK & ASSOCIATES  
COA #PEF006530 EXP - 06/30/2020

PLOT SCALE: 1" = 10' 0"

PROJECT NUMBER
E-2
DRAWING NUMBER



**1 ELECTRICAL SITE PLAN**  
E-2 SCALE: 1"=10'-0"

**WIRING SCHEDULE**

- ① 3#1/0 IN 1 1/2" C
- ② 2#8 + 1#8G IN 3/4" C
- ③ 2#10 + 1#10G IN 3/4" C
- ④ 4#10 + 1#10G IN 3/4" C
- ⑤ 2" EMPTY CONDUIT FOR TELEPHONE SERVICE. CABLE BY OTHERS
- ⑥ 1 EA - WEST PENN AQUASEAL CABLE - 4/C #18 SHIELDED - WEST PENN CAT # AQ3244 IN 3/4" C.

**NOTES:**

1. CONTRACTOR TO CONNECT TO PAVILION OUTLET AND FANS/LIGHTS AS REQUIRED BY THE PAVILION VENDOR. REVIEW PAVILION DRAWINGS PRIOR TO BID TO DETERMINE THE FULL EXTENT OF WIRING REQUIRED.

Plotted By: Bill

Date last plotted: 3/24/2020 11:25 AM

Date last accessed: 3/24/2020 11:25 AM

Drawing Name: C:\ServerData\Projects\W&A\2019\19041 - Ashford Park Splash Pad Electrical\ACAD\19041 E-2 R - Ashford Park.dwg