

# ADDENDUM #1

**Date:** August 8, 2019  
**City of Brookhaven RFP No.** RFQ 19-315  
**Project Name:** Briarwood Park Pool Project

This addendum supersedes and supplements all portions of the bidding documents and becomes part of the Contract Documents for the above-referenced project.

Failure to acknowledge this addendum in the Bid Form may result in the Bid being deemed non-responsive.

Where any original item is amended, voided, or superseded hereby, the provision of such item not so specifically amended, voided, or superseded shall remain in effect.

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## NARRATIVE:

**This addendum includes project clarifications, plan revisions due to permitting reviews, and responses to questions received by the Deadline for Questions (August 6, 2019 at 12:00 (noon) EST), .**

### Clarifications

1. Prior to the contractor taking control of the site, the City will remove several items from the site. All items remaining are to be removed and disposed of by the Contractor unless otherwise directed on the contract documents. The following items are anticipated to be removed by the City:
  - a. Pool Rules Signage
  - b. Security cameras
  - c. Refrigerator
  - d. Defibrillator, 1<sup>st</sup> aid cabinet, backboard
  - e. Safe
  - f. Office furniture, clock, fire extinguisher
  - g. Lifeguard stands and equipment
  - h. Lane Ropes
  - i. Bleachers (large bleacher on SE corner of the deck to be removed by contractor)
  - j. Picnic tables and lounge chairs
  - k. Pumps in pool pumphouse (See attached Image 1)
2. Please be aware that several alternates are now listed as Deduct Alternates. **The TOTAL BASE BID should include these items and if they are not selected the TOTAL BASE BID will be reduced by the amount itemized for each alternate deleted from the project.**
3. Special Provision 2
  - a. Remove: *The contractor will be responsible for contracting with a certified firm to conduct structural Special Inspections as required by the contract documents.*
  - b. Replace with: *The City will contract with a firm to provide required structural Special Inspections. It is the contractor's responsibility to schedule the testing with the designated firm for required inspections.*

Project Drawing Revisions

1. The following sheets have been removed and replaced to address a drafting error showing a duplicate water fountain. The revised sheets are noted with **A1 – 08/08/2019 – ADDENDUM 1 REVISIONS**
  - a. A0.4 – CODE REVIEW, COMMCHEC & LIFE SAFETY PLAN
  - b. A2.1 – FLOOR PLAN - DIMENSIONS
  - c. A2.2 – FLOOR PLAN - NOTED
  - d. A3.1 – EXTERIOR ELEVATIONS
  
2. The following sheets are to be removed and replaced due to revisions showing additional conduit for a Camera and PA system, and a revision to the light pole locations. The revised sheets are clouded and noted with **A1 – 08/08/2019 – ADDENDUM 1 REVISIONS**
  - a. E1.0 – SITE ELECTRICAL PLAN
  - b. E2.1 – POWER PLAN
  - c. E3.0 – ELECTRICAL LEGEND, NOTES, SCHEDULES
  
3. The following sheets are to be removed and replaced due to revisions required during permit review by the City of Brookhaven, DeKalb County, and Georgia Soil and Water Conservation Commission. The revised sheets are clouded and noted with **P1 – 07/31/2019 – PERMIT REVISIONS**
  - a. C0.00 – COVER SHEET – *updated sheet index, added GPS coordinates for Construction Entrance, Revised owner's contact.*
  - b. C2.10 – ESPC PLAN SHEET KEY – *revised notes, added text for stream buffers*
  - c. C2.11 – ESPC PHASE I – *revised sediment basin, notes for silt fence, and calcs*
  - d. C2.21 – ESPC PHASE II – *revised sediment basin, notes for silt fence, and calcs*
  - e. C2.31 – ESPC PHASE III – *revised notes for silt fence, DS4 to DS3, and calcs*
  - f. C2.41 – ESPC NOTES – *revised notes*
  - g. C2.90 – DRAINAGE & ESPC DETAILS – *revised GSWCC Level II Certified Professional*
  - h. C2.91 – DRAINAGE & ESPC DETAILS – *added and revised details*
  - i. C2.92 – DRAINAGE & ESPC DETAILS – *revised details and notes*
  - j. C2.93 – DRAINAGE & ESPC DETAILS – *revised details and notes*
  - k. C2.94 – DRAINAGE & ESPC DETAILS – *new sheet with details and notes previously on C2.92*
  - l. C2.95 – DRAINAGE & ESPC DETAILS – *new sheet with water quality unit details*
  - m. C2.96 – PIPE CHARTS – *new pipe chart sheet*
  - n. C5.01 – UTILITY PLAN – *Added Clean Out, 1% Min. Slope on sanitary sewer service, and exterior RPZ on the water line between the meter and the building connection.*
  
4. SHEET S1.1 – FOUNDATION PLAN: Revised to provide detail and section call outs for stairs into pump pit.
5. SHEET S2.3 – PIT STAIR SECTIONS AND DETAILS: New sheet adding information for stairs into pump pit.
6. SHEET C4.03 – SITE DETAILS: note added to Detail 3 identifying umbrella size as 7' – 6" Diameter.
7. SHEET C4.03 – SITE DETAILS: note added to Detail 7 identifying the pavilion size as 24' Diameter.

Project Specification Revisions

1. Remove and replace **SECTION 01 23 00 – ALTERNATES**
  - a. *Revised to change Alternates 1 – 10 to deduct alternates.*
2. Remove and replace **SECTION 01 50 00 – TEMPORARY FACILITIES AND CONTROLS**
  - a. **PART 1.1.A.4** has been revised with the following text: *Provide separate heat / air-conditioned space for City's representative with office space, desk with task chair, 2-drawer lockable file cabinet, table for construction plans, drawings, and specifications. Space may be end of the contractor's trailer with separate exterior lockable access door and locking interior door. (No phone, fax, internet, water, etc. is necessary).*
  - b. **PART 1.5 – SITE SECURITY** has been revised to include 'Site Enclosure Fence'.

Received Bidder Questions

**NOTE TO BIDDERS: QUESTIONS THAT ARE NOT COVERED IN THIS ADDENDUM, BUT WERE RECEIVED PRIOR TO THE DEADLINE FOR QUESTIONS, WILL BE RESPONDED TO WITH A SUBSEQUENT ADDENDUM.**

1. What is the engineer's estimated cost for this project?
  - a. *The estimated cost for this project is not being provided to prospective bidders at this time.*
2. How to obtain a pool contractor certification or find a certified pool contractor in DeKalb County?
  - a. *Contact the DeKalb County Board of Health, Environmental Health division for process to become a certified pool contractor for the County or to request a list of certified contractors. See response to question 37 for additional information on certified pool contractor requirements.*
3. Where are the existing 3 shade structures to be reused and located in the new layout?
  - a. *(2) structures are to be reinstalled along the west edge of the lap pool, as shown on C1.00. The third will be turned over to the city for use elsewhere.*
4. What size are the table umbrellas, Option is 7 /12' diameter or 9' diameter?
  - a. *7' - 6" Diameter (a note has been added to the detail on sheet C4.03 to clarify this in the contract documents).*
5. What size is the Octagon Pavilion?
  - a. *24' Diameter (a note has been added to the detail on sheet C4.03 to clarify this on the contract documents).*
6. Can we get the Demo Plan shown at meeting? I don't see in the Bid Docs.
  - a. *The Demolition and Tree Protection Plan (Sheet C0.02) was included with the documents posted to the City's Website ([https://www.brookhavenga.gov/rfps?field\\_bid\\_rfp\\_status\\_value\\_1=open](https://www.brookhavenga.gov/rfps?field_bid_rfp_status_value_1=open)).*
7. Will there be a need for tree removal services at the construction site?
  - a. *There is (1) tree identified for removal with this project and several others impacted. It is recommended that the Contractor work with the City Arborist for work around existing trees to remain, as identified in the Brookhaven Tree Protection Code.*
8. Sheet C5.01 states to "connect to existing Dekalb County Sanitary Sewer". The Demo Plan (C0.02) doesn't show an existing sewer manhole in the location of the connection. Is it the intent for the utility contractor to set a new doghouse manhole at this location as shown on the drawing on C5.01? If a new manhole is required, is there an approximate depth of the existing sanitary sewer line invert to the top of the proposed manhole.
  - a. *The intent is for the contractor to provide a new connection as provided on Sheet C5.02 – Deep Service Connection Detail. A manhole is not required, however, per County Comments, a clean out will be required (as shown on the revised C5.01 Utility Plan)*
9. Are substitutes for metal roofing allowed? Please see attachment regarding Substitution for Metal Roofing.
  - a. *Pending*
10. Will the owner be responsible for power service and transformer to the site? Typically, the owner is responsible and the contractor is to coordinate per the notes on the E-Drawings.
  - a. *The owner will coordinate with Georgia Power to set the transformer and extend service to the transformer. The contractor is responsible for running power from the transformer / meter to the building.*
11. Are there any plans for the existing pool structure that can be provided?
  - a. *No existing plans are available beyond what was shown on the survey.*
12. How will un-suitable be handled? Rock or soft soils? Please clarify.
  - a. *Unsuitable soils will be handled as defined in Section 01 22 00 – UNIT PRICES. Note that the quantity of each material is to be verified by a third-party testing agency.*
13. Will the owner be providing third party inspections and testing?
  - a. *Yes. See Special Provision 2 including Addendum 1 revision above.*
14. Will the owner be responsible for all water, sewer, and electrical tap and installation fees?
  - a. *In the event that tap fees are required, they will be paid by the City*
15. Will the City be covering the building and demolition permit fees?
  - a. *All permits fees required for construction through the City will be waived. Permits required from DeKalb County Health or other jurisdictions to be paid for by the Contractor.*
16. Has an asbestos survey been performed on the existing site?
  - a. *No*

17. Does the owner have a designated place on site to store the shade structures?
  - a. *No, the two structures to be reused are the contractor's responsibility. The City will take possession of the third immediately upon removal.*
18. The plans call for 8'tall fencing. The specs call for 10' tall fencing please clarify.
  - a. *Site Fencing to be 8' tall.*
19. Page 10 paragraph 5 of the RFQ says to capture the requirements of the RFQ in one location at the beginning of the RFQ. What does this mean and can you give us an example?
  - a. *This refers to the 'Bidding Instructions'. Failure to adhere to these could result in a bid being deemed 'Non-Responsive'.*
20. *Will the City waive the permitting fees for this project?*
  - a. *See response to question 15.*
21. Is this considered a sales tax-exempt project?
  - a. *Pending*
22. Is pollution and asbestos liability insurance required?
  - a. *Yes, refer to Page 24, Section 5 of the RFQ.*
23. Is professional Liability insurance required?
  - a. *Yes, refer to Page 24, Section 6 of the RFQ.*
24. Is an employee Fidelity bond required?
  - a. *Yes, refer to page 25, Section 7 of the RFQ*
25. Insurance requirements on page 24 conflict with coverages required on pages 49 and 50. Can we get clarification? Specifically: Workers comp calls for \$1,000,000 in coverage in one section and \$500,000 in another, Professional liability \$1,000,000 in one section and 3,000,000 in another, General liability calls for \$2,000,000 aggregate in one section and not in the other, Umbrella insurance is required in one section and not in another.
  - a. *The requirements are revised as shown below:*

**Page 49, Section 13.7.1 (1) is replaced by:**

*Commercial General Liability Insurance, including contractual liability insurance, product and completed operations, personal and advertising injury, and any other type of liability for which this Contract applies with limits of liability of not less than \$1,000,000 each occurrence / \$2,000,000 policy aggregate for personal injury, bodily injury, and property damage. Commercial General Liability Insurance shall be written on an "occurrence" form.*

**Page 49, Section 13.7.1 The following is added:**

*Umbrella Insurance with limits of liability excess of Employer's Liability Insurance, Commercial General Liability Insurance and Automobile Liability Insurance in the amount of not less than \$3,000,000.*

**Page 49, Section 13.7.2 (1) is replaced by:**

*Workers' Compensation & Employer's Liability Insurance. Workers' Compensation Insurance in compliance with the applicable Workers' Compensation Act(s) of the state(s) wherein the work is to be performed or where jurisdiction could apply in amounts required by statutes. Employer's Liability Insurance, with limits of liability of not less than \$1,000,000 per accident for bodily injury or disease*

**Page 49, Section 13.7.3 is replaced by:**

*Professional (Errors and Omissions) Insurance- For Professional Services and for all Design/Build Projects with limits of liability of not less than \$3,000,000 per occurrence or claim / \$3,000,000 policy aggregate. Such policy shall also include coverage for losses arising from the breach of information security or cyber liability (including Errors & Omissions, Security and Privacy Liability and Media Liability), whether combined with the Professional Liability policy or placed as a separate policy but carrying the same limits of liability. Such coverage shall insure damage, injury and loss caused by error, omission or negligent acts, including all prior acts without limitation, related to the professional services to be provided under this Contract. The policy shall be amended to include independent contractors providing professional services on behalf of or at the direction of the Contractor. The definition of Contractual Liability shall be amended to state that liability under a contract of professional services is covered. Further, coverage shall be afforded for fraudulent acts, misappropriation of trade*

- secrets, internet professional services, computer attacks, personal injury, regulatory actions, wrongful acts, contractual liability, privacy policy, and insured versus insured. The Contractor shall ensure that coverage under this policy continues for a period of thirty-six (36) months after completion of services.*
26. Is there a detail for the concrete stairs in the pool pit area? What type of nosing required.
    - a. *Refer to revised sheet S1.1 – FOUNDATION PLAN and new sheet S2.3 PIT STAIR SECTIONS AND DETAILS.*
  27. What is the anticipated construction start date?
    - a. *It is anticipated that the project and selected contractor can be presented to the City Council on September 10, 2019. The contractor must still work toward the required May 11, 2020, completion date.*
  28. Will Davis Bacon Wage Scale and/or Certified Payroll requirements be applied to this project?
    - a. *No*
  29. Will the General Contractor be responsible to include the costs of any tap fees, meter fees, impact fees, permit fees, etc....?
    - a. *Pending*
  30. Will the General Contractor be responsible to include the costs of soils testing, construction materials testing, and/or special inspections?
    - a. *No. The City will pay the testing and inspections cost directly to the City contracted testing firm. See Special Provision 2 including Addendum 1 revision above.*
  31. Will the General Contractor be responsible to include the costs to remove and replace any rock and/or unsuitable soils that may be encountered during construction or will this work be performed on a change order basis?
    - a. *Unsuitable soils will be handled as defined in Section 01 22 00 – UNIT PRICES. Note that the quantity of each material is to be verified by a third- party testing agency. If the quantity of these items extends beyond what is included in the contract sum, the additional material will be priced based on the unit pricing provided with the bid.*
  32. The demolition plans call for some items to be salvaged by the contractor for re-use in the new construction. Are there any existing materials/equipment that will be removed/salvaged by the Owner before demolition begins?
    - a. *Yes, see clarification number 1 of this addendum for list of items to be removed by the Owner.*
  33. Can the existing pool be filled with soils from the excavation of the new pool if the quality of soil will allow?
    - a. *If existing soils are determined to meet all requirements for fill materials under the pool and pool deck, they may be used to fill the space from the old pool. NOTE THAT ALL CONCRETE ASSOCIATED WITH THE EXISTING POOL / POOL SHELL / POOL DECK IS TO BE DEMOLISHED AND REMOVED FROM THE SITE.*
  34. Many of the 2x12 roof rafters are longer than readily available. It is almost impossible to find them longer than 20'. Would an 11 7/8" I-Joist be an acceptable option? Solid rim band could be utilized around the perimeter and all the sections and details should be easily modified to accommodate this.
    - a. *Pending*
  35. Please provide additional information on the Aluminum Building Signage on 1/A8.1: Thickness of the sign? Additional details on the graphics?
    - a. *The sign shall be a minimum of 1/8" thick - thickness to be coordinated with overall sign dimensions and mounting. Sign board can be solid aluminum or aluminum faced composite board. Sign must be manufactured for outdoor installation and year-round exterior display. Sign to be installed on stand-offs with pucks / concealed fasteners sized and spaced for sign size and sign board used. Graphic is provided by owner. Sign must be reviewed and approved by owner and architect prior to manufacturer and installation.*
  36. Please confirm who furnishes and who installs the Floor Safe?
    - a. *The City will provide the existing safe for the contractor to install in the new building. The location will be coordinated during the base cabinet shop drawing process.*
  37. In an email exchange with Leon Smith (DeKalb County Environmental Health County Supervisor, Pool Program Manager, Division of Environmental Health) regarding the list of certified pool contractors, Leon Smith stated "The pool contractor must be certified by the DeKalb County Board of Health or certified by one of the metro Atlanta area Boards of Health. We would accept the pool contractor certification from Fulton county or Cobb, for example." Please confirm if this is correct?

- a. *Yes. The Pool Contractor must provide evidence that they are certified or accepted by DeKalb County Board of Health within the RFQ response.*
- 38. The Floor Plan on A2.2 identifies the fence at Outdoor Yard A115 as "Alum. Picket Rail Gate & Fence". Detail 2/A4.5 describes this fence as "1x6 Cedar Wood Screen" with "4x4 Cedar Wood Posts". Please clarify which is correct?
  - a. *Provide wood fence as referenced on A3.1 - E11 and Detail 2/A4.5. Reference on the Floor Plan on A2.2 that identifies the fence at Outdoor Yard A115 as "Alum. Picket Rail Gate & Fence" is incorrect.*
- 39. On Page 15 of the bid documents, item 6 says to turn in with our bid a bid bond and payment and performance bond. The P and P bonds typically do not get included with the bid, only the bid bond. Please confirm.
  - a. *Pending*
- 40. Can you please clarify what type, brand and specific location of kitchen hood you want to see in the concessions area along with the appropriate fire suppression system and mounting location for that hood? Also is there any special exhaust duct, fire wrap, exhaust fan or MAU required for that hood?
  - a. *Pending*
- 41. On Sheet C1.00, there is a note to "provide Guardrail along length of wall" on the segmental retaining wall. The detail#1 on C4.04A, appears to show the actual railing being cored in the cap of the modular wall. Trying to attached the railing in this fashion on top of the modular wall is not a standard practice due to railing stability in the segmented wall. With that being said, is the sleeve-it system utilized behind the retaining wall acceptable in the installation of the guardrail? This is the system the manufactures have suggested in the past for handrail, guardrails, and fences
  - a. *In the location the guardrail is required, the slope coming down from the building does not allow the typical space needed for the sleeve-it system. Core drilling through the cap, extending the guardrail post down 3 coursed and grouting the 3 courses of the modular wall is an approved method of installing guardrail. Final review and approval of the guardrail / wall system to occur during the submittal review process.*
- 42. Is there a color for the retaining walls? The standard pricing color is Grey. Colors like Buff and Taupe are additional.
  - a. *Pending*
- 43. There appears to be a discrepancy on the Lower Concrete Retaining Wall at the northern part of the pool deck. Sheet C1.00 states "LOW CONCRETE WALL 78LF/4' HT. MAX." The Grading Plan on Sheet C2.00 appears to show a "MAX. WALL HT. 5.5'" However the same sheet, same plan shows a TW:921.50 and a BW: 915.00. This being a difference of 6.5'. There is also some confusion with what is truly the bottom of wall, is BW bottom of wall or finish ground grade? With that being said, can a wall envelope profile please be provided showing the actual amount of face feet of wall and depth of footing in the ground to better accurate determine cost?
  - a. *Pending*
- 44. There appears to be a discrepancy on the 70LF of Segmented Retaining Wall. Sheet C1.00 appears to show a Max. Height of 5' high. Sheet C2.00 appears to show a max height of 4.75'. Can a wall profile envelope be provided to better establish an actual square face feet of wall to be installed?
  - a. *Pending*
- 45. Can a wall profile envelope be provided on the 75LF of Segmented Retaining wall to better establish an actual square face feet of wall to be installed?
  - a. *Pending*
- 46. Will Alternative manufactures for the Shades, Shelter, Picnic Tables and Bleachers be considered?
  - a. *Pending*
- 47. Is there a process for equals to be approved prior to submittal?
  - a. *Pending*
- 48. What is the diameter of the Shelter? What is the eve height?
  - a. *Refer to question 5 for diameter, min. eve height to be 8' clear.*
- 49. Will a Knox box be required on the building? If so, what model?
  - a. *Pending*
- 50. Will an address be required on the building? If so, can a detail be provided?
  - a. *Pending*
- 51. Is there a process for equals to be approved prior to submittal?
  - a. *Pending*
- 52. Can you verify that the building does not require a sprinkler system?
  - a. *Pending*

53. Can you verify that the building does not get a fire alarm system?
  - a. *Pending*
54. Will permits and any tap fees be purchased and paid for by City or County?
  - a. *Refer to question 14 for response about tap fees, refer to question 15 for response about Permits.*
55. Will the city be responsible for all fees associated with bringing in power to site to service said facility?
  - a. *Refer to question 10 for response about power service to the Transformer.*

Substitution Requests – APPROVED

**(NOTE: SEVERAL SUBSTITUTIONS HAVE BEEN SUBMITTED AND ARE BEING REVIEWED FOR CONFORMANCE TO THE CONTRACT DOCUMENTS.)**

1. None

Substitution Requests – DENIED

1. None

Attachments

1. General:
  - a. Image 1 – Pump to be removed by City
2. Plan Sheets:
  - a. A0.04 – CODE REVIEW, COMMCHEC & LIFE SAFETY PLAN
  - b. A2.1 – FLOOR PLAN - DIMENSIONS
  - c. A2.2 – FLOOR PLAN - NOTED
  - d. A3.1 – EXTERIOR ELEVATIONS
  - e. S1.1 – FOUNDATION PLAN
  - f. S2.3 – PIT STAIR SECTIONS AND DETAILS
  - g. E1.0 – SITE ELECTRICAL PLAN
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  - p. C2.90 – DRAINAGE & ESPC DETAILS
  - q. C2.91 - DRAINAGE & ESPC DETAILS
  - r. C2.92 - DRAINAGE & ESPC DETAILS
  - s. C2.93 - DRAINAGE & ESPC DETAILS
  - t. C2.94 - DRAINAGE & ESPC DETAILS
  - u. C2.95 - DRAINAGE & ESPC DETAILS
  - v. C2.96 – PIPE CHART
  - w. C5.01 – UTILITY PLAN
3. Specification Sections:
  - a. SECTION 01 23 00 – ALTERNATES
  - b. SECTION 01 50 00 – TEMPORARY FACILITIES AND CONTROLS
4. Exhibits:
  - a. None

NOTE: Receipt of this Addendum must be acknowledged on the Bid Form.

**END OF ADDENDUM**

BRIARWOOD POOL

ADDENDUM 1

IMAGE 1

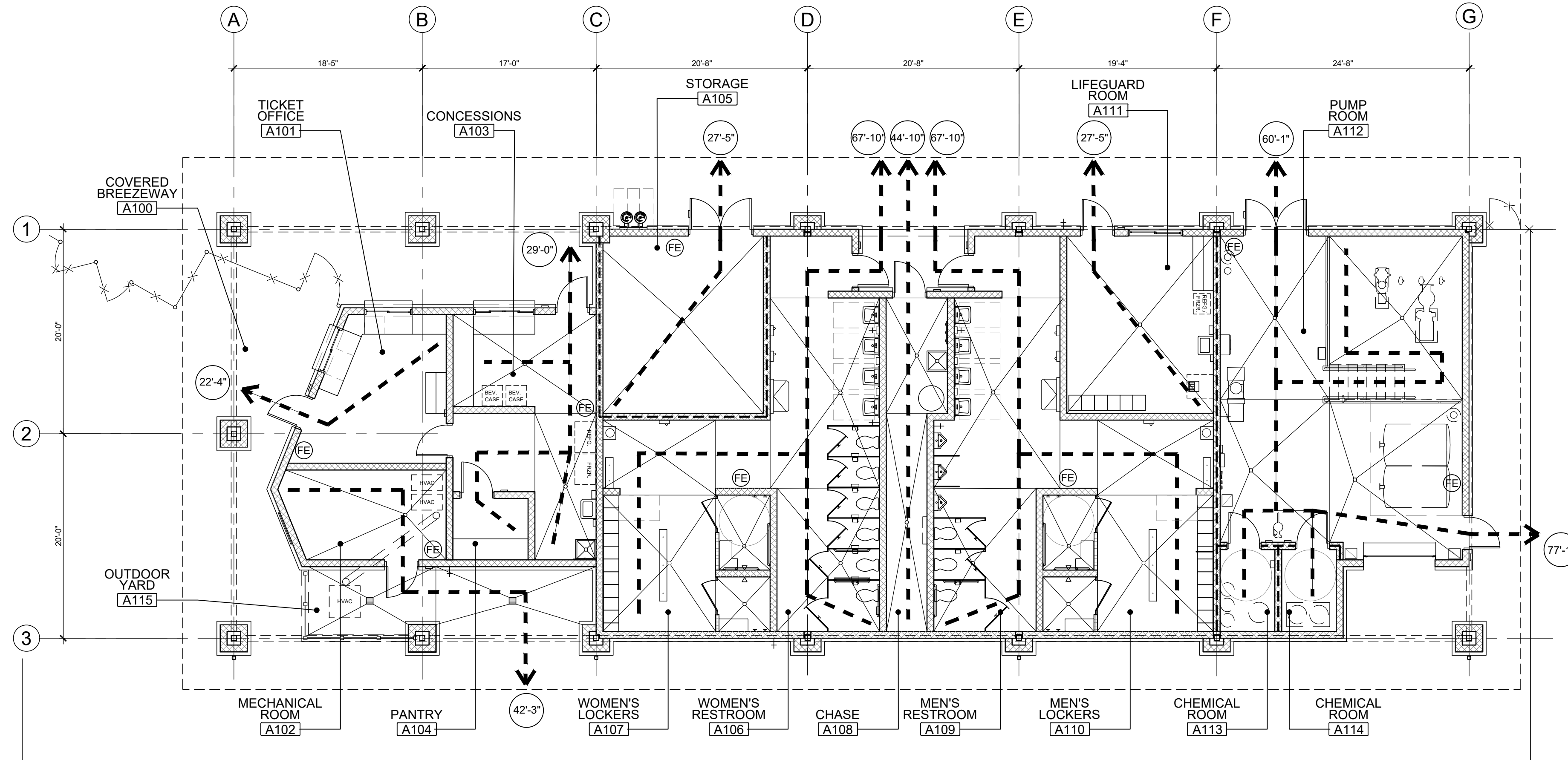
PUMP TO BE SALVAGED BY OWNER



08/02/2019 12:05



LIFE SAFETY PLAN



1 LIFE SAFETY FLOOR PLAN  
A0.4 1/8" = 1'-0"

CODE REVIEW

- 1. APPLICABLE CODES**
  - 2018 INTERNATIONAL BUILDING CODE (IBC), WITH GEORGIA STATE AMENDMENTS.
  - 2018 INTERNATIONAL PLUMBING CODE, WITH 2014 AND 2015 GEORGIA STATE AMENDMENTS.
  - 2018 INTERNATIONAL MECHANICAL CODE, WITH GEORGIA STATE AMENDMENTS.
  - 2017 NFPA 70 NATIONAL ELECTRICAL CODE, WITH GEORGIA STATE AMENDMENTS.
  - CHAPTER 120-3-3 RULES AND REGULATIONS FOR THE STATE MINIMUM FIRE SAFETY STANDARDS
  - 2012 NFPA 30, 30A, 101.
  - 2011 NFPA 32, 58.
  - 2010 NFPA 10, 13, 13D, 13R, 14, 20, 24, 72, 80, 105, 110.
  - 2009 NFPA 17, 17A, 92
  - 2009 INTERNATIONAL ENERGY CONSERVATION CODE, ALONG WITH APPENDICES A,B,C,D.
  - 2018 INTERNATIONAL FIRE CODE, WITH GEORGIA STATE AMENDMENTS.
  - 2012 NFPA 101 LIFE SAFETY CODE (LCS) WITH 2015 GEORGIA STATE FIRE MARSHAL AMENDMENTS.
  - GEORGIA ACCESSIBILITY CODE CHAPTER 120-3-30 (01-08) - 2010 ADA STANDARD FOR ACCESSIBLE DESIGN.
  - 2006 CODE OF DEKALB COUNTY, GEORGIA; CHAPTER 13, ARTICLE VIII, SECTION 13-181 THROUGH 13-218; SWIMMING POOLS, SPAS AND BATHHOUSES
- 2. OCCUPANCY GROUP**
  - BUILDING - CONCESSION/RESTROOM: GROUP B "BUSINESS" OCCUPANCY
- 3. CALCULATED OCCUPANT LOAD (IBC 1004 & TABLE 1004.1.2; LSC TABLE 7.3.1.2) AND NUMBER OF EXITS (LSC 7.4)**
  - BUILDING - CONCESSION/RESTROOM: 4,058 SF / 100 PER OCC. = 42 OCC.
- 4. TYPE OF CONSTRUCTION (IBC CH. 6)**
  - BUILDING - CONCESSION/RESTROOM: TYPE V-B (UN-PROTECTED/NON-SPRINKLER)
- 5. FIRE RATING (IBC TABLE 601/602; LSC 8.2.1.2)**

BUILDING ELEMENT	REQUIRED	ACTUAL
• STRUCTURAL FRAME	0	0
• BEARING WALL-EXT. (TABLE 602), SUPPORT ROOF ONLY	0	0
• BEARING WALL-INTERIOR; SUPPORT ROOF ONLY	0	0
• NONBEARING WALL-EXTERIOR; SUPPORT ROOF ONLY	0	0
• NONBEARING WALL-INTERIOR	0	0
• ROOF CONSTRUCTION; SUPPORT ROOF ONLY	0	0
• ROOF-CEILING ASSEMBLY	0	0
- 6. BUILDING AREA / HEIGHT (IBC TABLE 506.2)**

OCCUPANCY TYPE	ALLOWED	ACTUAL
• BUILDING - CONCESSION/RESTROOM:	9,000 SF/40 FT-2 STORIES	4,058 SF (ENCLOSED BLDG) 6,800 SF (AREA UNDER ROOF) ±14'-8" HIGH -1 STORY
- 7. MEANS OF EGRESS**
  - DOOR WIDTH = 32" MIN REQUIRED (LSC 7.2.1.2.3.2); 34" ACTUAL FOR ALL DOORS.
  - DEAD END CORRIDOR = 20 FT MAX. (LSC 38.2.5.2.2); ACTUAL 44'-10" (IN PLUMBING CHASE).
  - COMMON PATH OF TRAVEL = 75 FT MAX. (LSC 38.2.5.3.3); ALL SPACES DIRECTLY EXIT TO OUTSIDE.
  - TRAVEL DISTANCE = 200 FT MAX. (LSC 38.2.6.2); ALL SPACES COMPLY OR DIRECTLY EXIT TO OUTSIDE. - MAX PROVIDED= 64'-10"
  - PANIC DEVICE NOT REQUIRED, NOT PROVIDED FOR SPACES OF LESS THAN 100 OCC. (12.2.2.2.3)
- 8. FIRE PROTECTION**
  - SEPARATION NOT REQUIRED IN CONCESSION AREA. ALL EQUIPMENT IS ELECTRIC (NO GAS PROVIDED) WITH NO FUEL CONNECTED (LSC 38.3.2.3; 12.7.2.4; 13.3.2.2)
  - FIRE ALARM SYSTEM NOT REQUIRED (LSC 36.3.1)
  - 1-HR SPERATION IS REQUIRED AND PROVIDED AT ALL STORAGE ROOMS > 50 SF (LSC 23.3.2)
  - PORTABLE FIRE EXTINGUISHER IS REQUIRED AND PROVIDED IN ALL BLDGS WITH 75-FT TRAVEL DISTANCE.
- 9. INTERIOR FINISH (LSC 12.3.3)**

LSC 10.2.2 & IBC TABLE 803.11	REQUIRED	ACTUAL (ALL SPACES)
• WALL & CEILING	CLASS B CORRIDORS / EXITS CLASS C ROOMS & CEILINGS ENCLOSED SPACES	PAINTED CMU WALL TONGUE & GROOVE OR GYP. BD.
• FLOORS	CLASS II MIN. IN EXIT ENCLOSURE NO REQUIREMENT IN OTHER SPACES	SEALED CONC., EPOXY FLOORING
- 10. ROOF COVERINGS**
  - CLASS C MIN. FOR CONSTRUCTION TYPE VB (IBC TABLE 1505.1)
  - ACTUAL = STANDING SEAM METAL ROOFING TO COMPLY WITH 1507.2
- 11. POOL OCCUPANCY**
  - PATRON LOAD: 596 PERSONS, SEE TABLE BELOW FROM (WTI) WATER TECHNOLOGY, INC. DRAWINGS.



THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. AND ANY VIOLATION IS SUBJECT TO LEGAL ACTION.



BRIARWOOD PARK POOL PROJECT  
 BUILDING PLANS  
 PREPARED FOR:  
 CITY OF BROOKHAVEN  
 BROOKHAVEN

ROOM OCCUPANCY LOAD

BUILDING OCCUPANCY TYPE 'B' - BUSINESS - ALLOWABLE OCCUPANCY = 1 PER 100 SF

ROOM NUMBER	ROOM NAME	AREA	ALLOWABLE OCCUPANTS	TOTAL TRAVEL DISTANCE
A100	COVERED BREEZEWAY	-	-	N/A
A101	TICKET OFFICE	182 SF	2	22'-4"
A102	MECHANICAL ROOM	134 SF	2	20'-3"
A103	CONCESSIONS	282 SF	3	29'-0"
A104	PANTRY	44 SF	1	38'-5"
A105	STORAGE	272 SF	3	27'-5"
A106	WOMEN'S RESTROOM	387 SF	4	56'-5"
A107	WOMEN'S LOCKER	338 SF	4	67'-10"
A108	CHASE	152 SF	2	44'-10"
A109	MEN'S RESTROOM	396 SF	4	58'-3"
A110	MEN'S LOCKER	332 SF	4	67'-10"
A111	LIFEGUARD ROOM	248 SF	3	27'-5"
A112	PUMP ROOM	729 SF	8	77'-1"
A113	CHEMICAL ROOM	43 SF	1	45'-7"
A114	CHEMICAL ROOM	43 SF	1	45'-7"
A115	OUTDOOR YARD	-	-	N/A

ENVELOPE COMPLIANCE CHECK

**COMcheck Software Version 4.1.1.0**  
Envelope Compliance Certificate

**Project Information**

Energy Code: 90.1 (2007) Standard  
 Project Title: Briarwood Pool Complex  
 Location: Atlanta, Georgia  
 Climate Zone: 3a  
 Project Type: New Construction  
 Vertical Glazing / Wall Area: 9%

Construction Site: 2335 Briarwood Avenue, Atlanta, GA 30319  
 Owner/Agent: City of Brookhaven Parks & Recreation Department, 3360 Dobson Road, Brookhaven, GA 30319  
 Designer/Contractor: Stephen Dickertofe, Local Design, 220 W. Crogan Suite 100, Lawrenceville, GA 30046  
 770.338.0017, sdickertofe@lose.design

**Building Area**  
 1-Concession/Restroom (Office): Nonresidential  
 Floor Area: 4058

**Envelope Assemblies**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: Metal Building, Standing Seam, [Bldg. Use 1 - Concession/Restroom]	6900	0.0	38.0	0.026	0.065
North Exterior Wall (WB) 1: 1/2" Rigid BD Polyiso R-7.5 on CMU Block R-10.9; Concrete Block 8"; Partially Gouted, Cella Insulated, Medium Density, Furring, None. [Bldg. Use 1 - Concession/Restroom]	1154	-	16.8	0.050	0.123
Clearexterior Windows Metal Frame with Thermal Break, Part. Type: Energy code default, Double Pane, Clear, SHGC 0.68, [Bldg. Use 1 - Concession/Restroom]	157	-	-	0.900	0.650
Pass Thru Windows Metal Frame with Thermal Break, Part. Specs: Product ID NA, SHGC 0.60, [Bldg. Use 1 - Concession/Restroom]	63	-	-	1.100	0.650
Single Door Uninsulated Single-Layer Metal, Swinging, [Bldg. Use 1 - Concession/Restroom]	72	-	-	0.480	0.700
Double Door Uninsulated Single-Layer Metal, Swinging, [Bldg. Use 1 - Concession/Restroom]	96	-	-	0.480	0.700
Wall Exterior Wall (WB) 1: 1/2" Rigid BD Polyiso R-7.5 on CMU Block R-10.9; Concrete Block 8"; Partially Gouted, Cella Insulated, Medium Density, Furring, None. [Bldg. Use 1 - Concession/Restroom]	490	-	16.8	0.050	0.123
Pass Thru Window Metal Frame with Thermal Break, Part. Specs: Product ID NA, SHGC 0.60, [Bldg. Use 1 - Concession/Restroom]	17	-	-	1.100	0.650
Single Door Uninsulated Single-Layer Metal, Swinging, [Bldg. Use 1 - Concession/Restroom]	24	-	-	0.480	0.700
South Exterior Wall (WB) 1: 1/2" Rigid BD Polyiso R-7.5 on CMU Block R-10.9; Concrete Block 8"; Partially Gouted, Cella Insulated, Medium Density, Furring, None. [Bldg. Use 1 - Concession/Restroom]	1135	-	16.8	0.050	0.123

Project Title: Briarwood Pool Complex  
 Data File Name: C:\180906\18141\_...  
 Report Date: 07/03/19  
 Page 1 of 9

MIN. NUMBER OF REQ'D PLUMBING FIXTURES

**Assembly**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Density, Furring, None, [Bldg. Use 1 - Concession/Restroom]	80	-	-	0.900	0.650
Clearexterior Windows Metal Frame with Thermal Break, Part. Type: Energy code default, Double Pane, Clear, SHGC 0.68, [Bldg. Use 1 - Concession/Restroom]	24	-	-	0.480	0.700
Single Door Uninsulated Single-Layer Metal, Swinging, [Bldg. Use 1 - Concession/Restroom]	57	-	-	2.500	1.450
Sectional Door Uninsulated Single-Layer Metal, Non-Swinging, [Bldg. Use 1 - Concession/Restroom]	450	-	16.8	0.050	0.123
East Exterior Wall (WB) 1: 1/2" Rigid BD Polyiso R-7.5 on CMU Block R-10.9; Concrete Block 8"; Partially Gouted, Cella Insulated, Medium Density, Furring, None. [Bldg. Use 1 - Concession/Restroom]	24	-	-	0.480	0.700
Single Door Uninsulated Single-Layer Metal, Swinging, [Bldg. Use 1 - Concession/Restroom]	306	-	-	0.730	0.730

**Envelope Compliance Statement**  
 Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2007) Standard requirements in COMcheck Version 4.1.1.0 and to comply with any applicable regulatory requirements listed in the Inspection Checklist.

Stephen Dickertofe - Project Architect  
 Signature: [Signature]  
 Date: 7/1/19

**MIN. NUMBER OF REQ'D PLUMBING FIXTURES**

DESCRIPTION	WATER CLOSETS	URINAL	LAVATORIES	SHOWERS
Public Pool / Spray Pad				
Male	3	3	3	3
Female	6	0	3	3
1/50 (WC Only)				
1/100				
SUBTOTAL MEN	3	3	3	3*
SUBTOTAL WOMEN	6	0	3	3*
TOTALS	9	3	6	6

\*FOR CURRENT PROJECT: (2) TWO SHOWERS APPROVED VIA EMAIL DATED 6-28-2019 FROM LEON SMITH, MPH, CPO, REHS, CFMS  
 ENVIRONMENTAL HEALTH COUNTY SUPERVISOR, POOL PROGRAM  
 DIVISION OF ENVIRONMENTAL HEALTH TECHNICAL SERVICES  
 (404) 508-7936  
 (E) LEON.SMITH@DPH.GA.GOV

LIFE AND SAFETY LEGEND

- FIRE EXTINGUISHERS:** REFER TO LOCATIONS
- FE** DENOTES PORTABLE FIRE EXTINGUISHER LOCATION - ONE PROVIDED. ALL ACCESS POINTS ARE WITHIN 75 FT OF TRAVEL DISTANCE
- #** TOTAL TRAVEL DISTANCE FROM MOST REMOTE LOCATION OF ROOM TO STREET / SIDEWALK (OUTSIDE BUILDING)
- 7'-0"** ROOM TRAVELING FROM MAXIMUM TRAVEL DIST.

**REVISIONS**

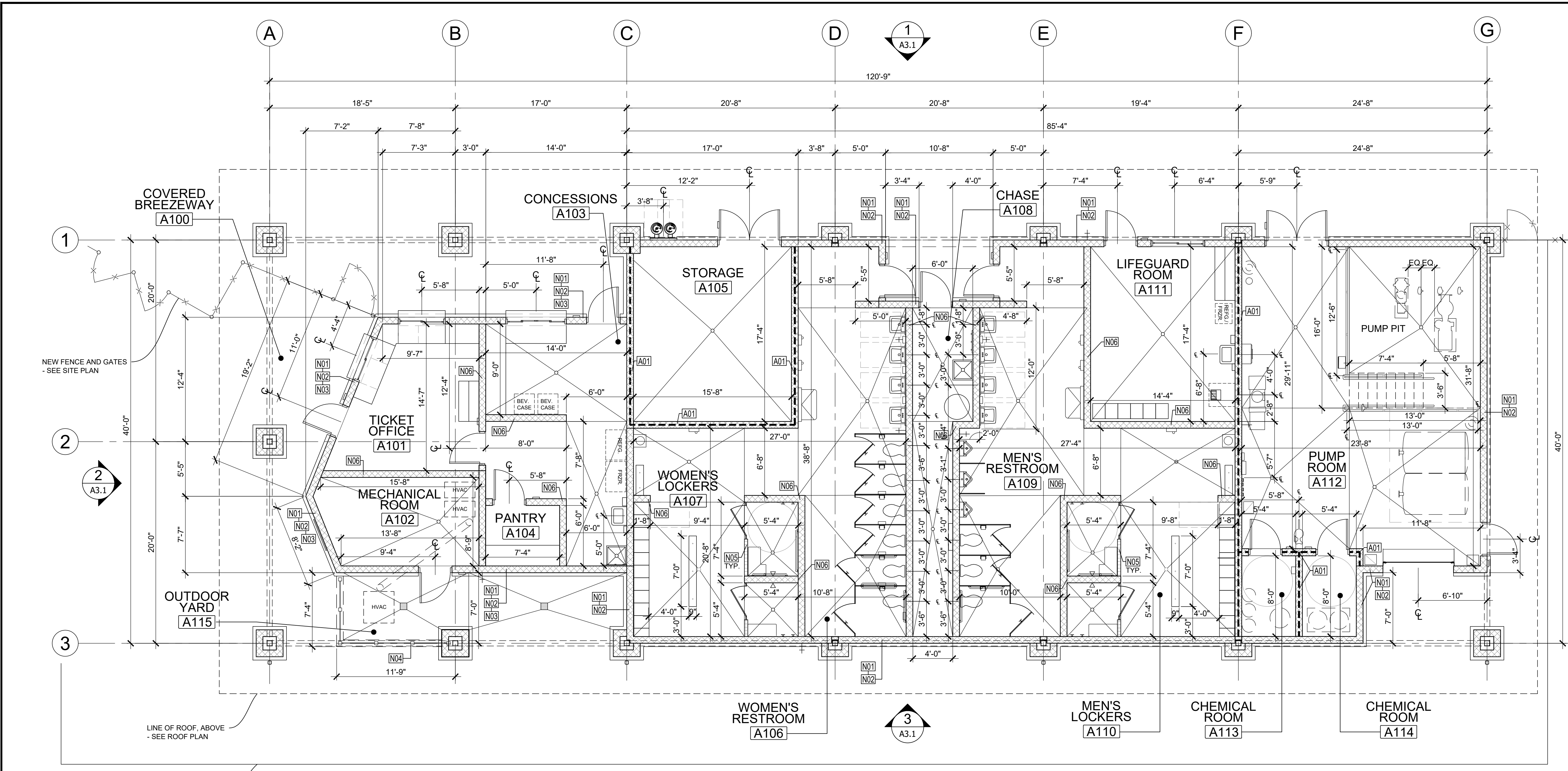
NO.	DATE	COMMENTS
A1	08/08/2019	ADDENDUM 1 REVISIONS

BID/PERMIT SET

SHEET TITLE  
**CODE REVIEW, COMMCHECK & LIFE SAFETY PLAN**

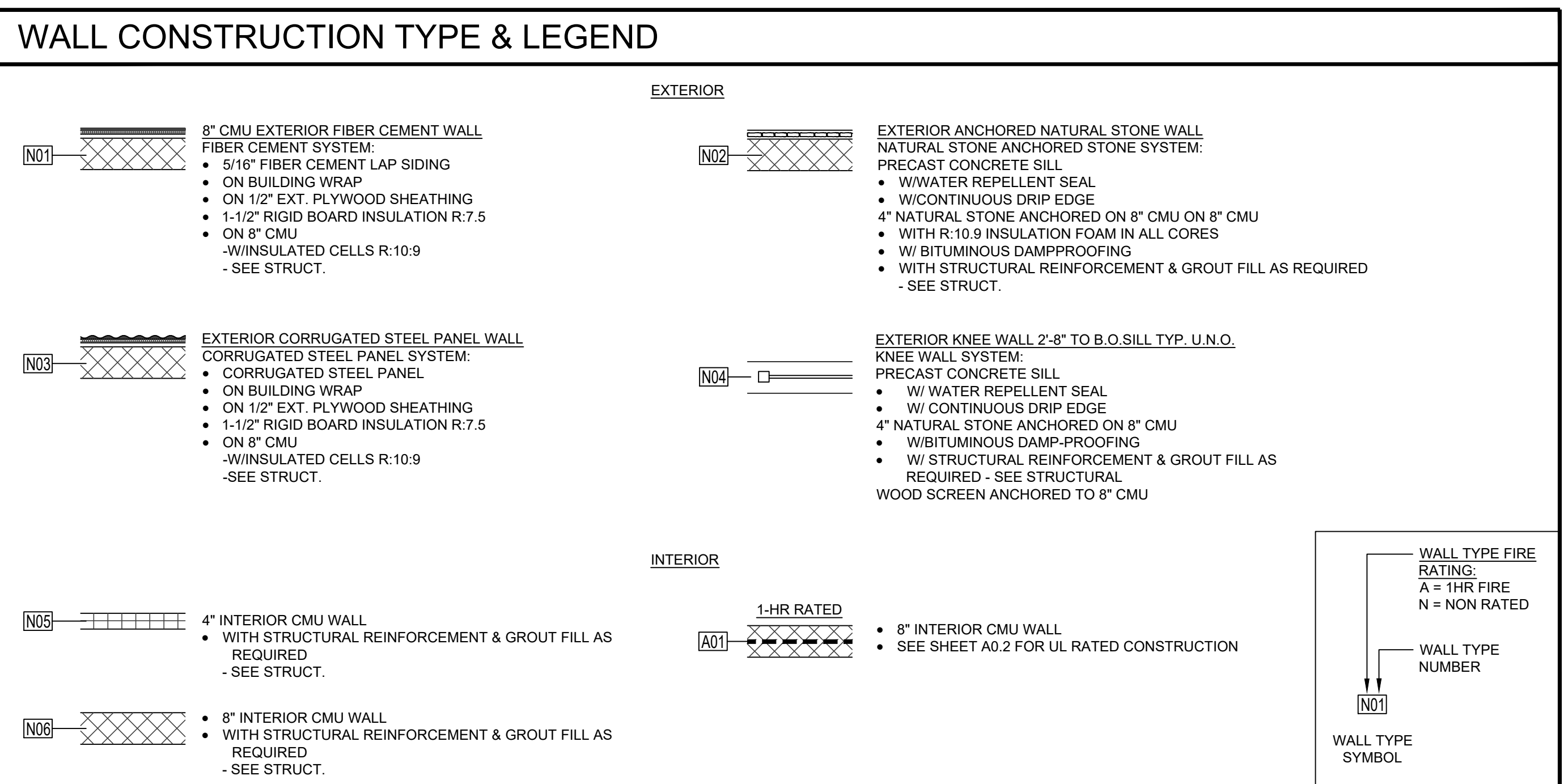
PROJECT NO. 18141  
 DATE 07/11/2019  
 DRAWN BY TM  
 CHECKED BY SD  
 SHEET NO. AS NOTED

**A0.4**



1 FLOOR PLAN - DIMENSIONS  
A2.1 3/16" = 1'-0"

- ### PLAN GENERAL NOTES
- SEE ENLARGED PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
  - ALL FLOOR TO SLOPE AT 1/8" PER FOOT, UNO, COORDINATE W/PLUMBING & STRUCTURAL.
  - SEE NOTED PLAN FOR SIGNAGE.
  - COORDINATE ALL CASEWORK AND OFCI. ITEMS W/ OWNER.
  - ALL ELECTRIC AND PLUMBING DEVICES ON EXT. WALLS TO BE "CENTERED" ON CMU VERTICALLY AND HORIZONTALLY (W.P. OUTLETS, HOSE BIBBS, ETC). INSTALL SMOOTH FACE BLOCK AT LOCATIONS OF EXT. DEVICES AS REQUIRED FOR A LEVELED INSTALLATION OF DEVICE.
  - SEAL ALL PENETRATIONS OF CONDUIT, MECHANICAL DUCT WORK, PIPING, IN ALL SUBSTRATES, INTERIOR AND EXTERIOR WALLS, CEILINGS FLOORS
  - ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL.
  - PROVIDE MASONRY CONTROL JOINTS AS REQUIRED. COORDINATE ANY EXPANSION/CONTROL/CONSTRUCTION JOINTS. VERIFY W/ ARCH. AND STRUC. FOR ANY DISCREPANCIES THAT OCCUR DURING THE CONSTRUCTION PHASE.
  - SEALANT AT EXPANSION JOINT TO MATCH ADJACENT WALL COLOR.
  - ALL NEW MASONRY JOINTS TO BE CONCAVED TOOLED.
  - RUN ALL DOWN SPOUTS TO UNDERGROUND, COORDINATE W/ CIVIL.
  - ALL EXPOSED STEEL TO BE SHOP PRIMED AND FIELD PAINTED.
  - INSTALL NECESSARY BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE.
  - HOSE-BIBB WITH LOCKABLE BOX, PROVIDE FREEZE-PROOF TYPE FOR EXTERIOR LOCATION, SEE PLUMBING.
  - CAULK ALL DOOR & WINDOW FRAMES AT THE JOINT BETWEEN THE FRAME & THE ADJACENT SUBSTRATE.
  - CAULK ALL JOINTS BETWEEN FIXED CASEWORK, PLUMBING FIXTURES, & BACKSPLASH TO WALL TRANSITION JOINT.
  - COORDINATE BUILDING SITE ORIENTATION/LAYOUT WITH CIVIL.
  - FOR CONCRETE PAVING SEE SITE/CIVIL
  - SEE SITE DRAWINGS FOR ALL EXT. SLAB JOINT DETAILS.
  - SEE STRUCTURE FOR ALL FOOTING & SLAB REQUIREMENTS.
  - SEE SHEET A3 SERIES FOR EXTERIOR ELEVATIONS, SECTIONS & DETAILS.
  - SEE SHEET A6 SERIES FOR RCP AND ROOF PLANS.
  - SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
  - SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS.
  - AS REQUIRED PROVIDE AND INSTALL KNOXBOX AT BUILDING ENTRANCE PER LOCAL CODE OFFICIAL DIRECTIONS AND REQUIREMENTS. MODEL OF KNOXBOX: TO BE APPROVED BY LOCAL CODE OFFICIALS. KNOXBOX TO BE MODEL 3200 - 10 KEY CAPACITY - COLOR BLACK. VERIFY INSTALLATION LOCATION W/ ARCH. RECESSED MOUNTED ON BUILDING. - PROVIDE SMOOTH FACE BLOCK. BEHIND KNOXBOX AS REQUIRED TO MATCH ADJACENT BUILDING BLOCK.



**BUILDING SQUARE FOOTAGE:**  
TOTAL ENCLOSED AREA: 4,059 SF  
TOTAL AREA UNDER ROOF: 6,800 SF

NO.	DATE	COMMENTS
A1	08/08/2019	ADDENDUM 1 REVISIONS

BID/PERMIT SET

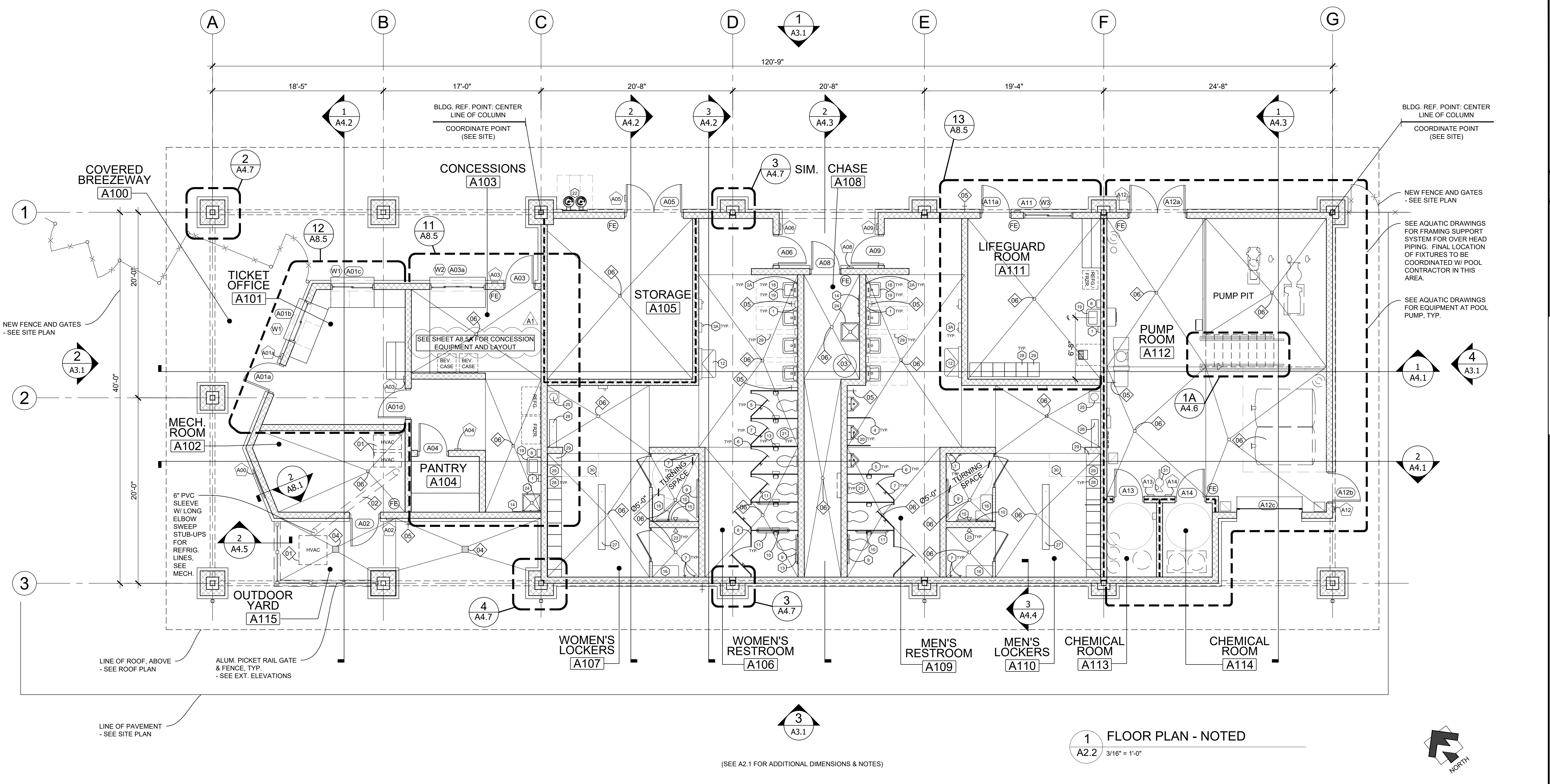
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**FLOOR PLAN - DIMENSIONS**

PROJECT NO.	18141	DATE	07/11/2019
DRAWN BY	TM	SCALE	AS NOTED
CHECKED BY	SD		

SHEET NO. **A2.1**

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1 FLOOR PLAN - NOTED  
A2.2 3/16" = 1'-0"

ROOM FINISH SCHEDULE										
ROOM #	ROOM NAME	CEILING FINISH	WALL FINISH				FLOOR FINISH	WALL BASE	FINISH NOTES	MATERIAL FINISH
			NORTH	EAST	SOUTH	WEST				
BUILDING - 'CONCESSION/RESTROOM'										
A100	COVERED BREEZEWAY	TG-3X	-	-	-	-	SC-2	-	5	CEILING PLY-2E GB-2 GB-2E TG-3X
A101	TICKET OFFICE	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	WALL CMU-1E CMU-1E CMU-1X GB-1 GB-1E PLY-1 PLY-1E
A102	MECHANICAL	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	CONCRETE MASONRY UNIT - PAINT 1 CONCRETE MASONRY UNIT - PAINT 1 (EPOXY) CONCRETE MASONRY UNIT - PAINT 1 (EXTERIOR)
A103	CONCESSIONS	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	GYPSON BOARD - PAINT 1 GYPSON BOARD - PAINT 1 (EPOXY) PLYWOOD - PAINT 1 PLYWOOD - PAINT 1 (EPOXY)
A104	PANTRY	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	RUBBER COVERED BASE INTEGRAL COVERED EPOXY BASE
A105	STORAGE	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	SC-1	RB-1	4	FINISH NOTES 1. NUMBER DENOTES COLOR 2. "E" DENOTES EPOXY 3. "X" DENOTES EXTERIOR 4. SEE SPECS FOR PRIMER AND FINISH SYSTEMS 5. SEE EXTERIOR FINISH SCHEDULE 6. EPOXY PAINT NOT REQUIRED. CONTRACTOR HAS OPTION TO PAINT EPOXY.
A106	WOMENS RESTROOM	TG-3X	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	FLOOR EP-1 SC-1 SC-2
A107	WOMENS LOCKER	TG-3X	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	
A108	CHASE	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	SC-1	-	4	
A109	MENS RESTROOM	TG-3X	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	
A110	MENS LOCKER	TG-3X	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	
A111	LIFEGUARD	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4	
A112	PUMP ROOM	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	SC-1	RB-1	4	
A113	CHEMICAL	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	SC-1	-	4	
A114	CHEMICAL	GB-2	CMU-1E	CMU-1E	CMU-1E	CMU-1E	SC-1	-	4	
A115	OUTDOOR YARD	TG-3X	-	-	-	-	SC-2	-	5	

TOILET ACCESSORIES	
1 SOAP DISPENSER	10 18" VERT. GRAB BAR - ANSI ONLY
2 24"W X 30"H MIRROR	11 42" GRAB BAR
3 18"W X 30"H STAINLESS STEEL MIRROR	12 INFANT CHANGING STATION
4 ELECTRIC HAND DRYER, PROVIDE ADA MOUNT KIT	13 SANITARY NAPKIN RECEPTACLE
5 ELECTRIC HAND DRYER, MOUNT KIT NOT REQUIRED	14 MOP RACK W/ SHELF
6 URINAL SCREEN, FLOOR TO CEILING PLASTER	15 18" GRAB BAR
7 TOILET PAPER DISPENSER	16 ADA SHOWER SEAT
8 TOILET PARTITION	17 SHOWER CURTAIN
9 ROBE HOOK	18 ADA LAVATORY SHIELD & PIPE INSULATION
10 PAPER TOWEL DISPENSER	19 36" GRAB BAR

PLUMBING FIXTURES	
19 WALL MOUNTED SINK - ADA COMPLIANT	20 WALL MOUNTED URINAL - ADA COMPLIANT
21 FLOOR MOUNTED TOILET - ADA COMPLIANT	22 HI-LO DRINKING FOUNTAIN - ADA COMPLIANT
23 SHOWER HEAD AND CONTROLS - ADA COMPLIANT	24 FLOOR (MOP) SINK
25 EMERGENCY EYE WASH STATION	

SIGNAGE SCHEDULE					
SIGN #	DOOR #	ROOM #	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
A00	-	-	IMAGE/VERBIAGE TO BE PROVIDED BY OWNER		1, 2, 4
A01	A01a	A101	TICKET	OFFICE	1, 2, 4
A02	A02	A102	MECHANICAL	ROOM	1, 2, 4
A03	A03, A01b	A103	-	CONCESSION	1, 2, 4
A04	A04	A104	-	PANTRY	1, 2, 4
A05	A05	A105	-	STORAGE	1, 2, 3, 4
A06	A06	A106	WOMEN'S	RESTROOM	1, 2, 4, 5
A08	A08	A108	-	CHASE	1, 2, 4
A09	A09	A109	MEN'S	RESTROOM	1, 2, 4, 5
A12	A12a, 12b	A112	PUMP	ROOM	1, 2, 3, 4
A13	A13	A113	CHEMICAL	ROOM	1, 2, 4
A14	A14	A114	CHEMICAL	ROOM	1, 2, 4

PLAN KEYNOTES					
01 HVAC UNITS. SEE MECH.	02 UNDERGROUND PVC LINE FOR HVAC. REFRIGERATION LINES. SEE MECH/PLUMB.	03 WATER HEATER UNIT. SEE MECH/PLUMB.	04 AREA DRAIN - SLOPE SLAB 1/8" PER FOOT MIN. TO DRAIN. TYP. SEE SITE/CIVIL FOR DRAIN SPEC.	05 HOSE BIB. SEE PLUMB. FOR FIXTURE DETAILS.	06 FLOOR DRAIN - SLOPE FLOOR 1/8" PER FOOT MIN. TO DRAIN. TYP. SEE PLUMB.
07 22" x 36" PLYWD. ACCESS PANEL W/ PERIMETER 1x2 TRIM EDGE TO HOLD REMOVABLE PANEL. ATTACH 4" OF RIGID INSUL. BD. TO BACK OF PANEL	08 ELECTRICAL TRANSFORMER, PANELS, TERMINAL BOARDS AND CONTROLS. PROVIDE RAISED CONC. PAD FOR TRANSFORMER - SEE ELEC.	09 REDUCED PRESSURE BACKFLOW PREVENTION UNIT - SEE PLUMB.	10 OVERHEAD COILING SHUTTER W/ MTL. SHUTTER HOUSING. KEYED LOCK. COORD. LOCK AND KEY W/ OWNER.	11 2" DIAMETER BOLLARD STEEL PIPE, PAINTED. SEE SITE	12 FIELD LIGHTING CONTROLS - SEE ELEC.
	13 KNOXBOX, AS REQUIRED. SEE A2.1 - GENERAL PLAN NOTES				

REVISIONS		
NO.	DATE	COMMENTS
A1	08/08/2019	ADDENDUM 1 REVISIONS

BID/PERMIT SET

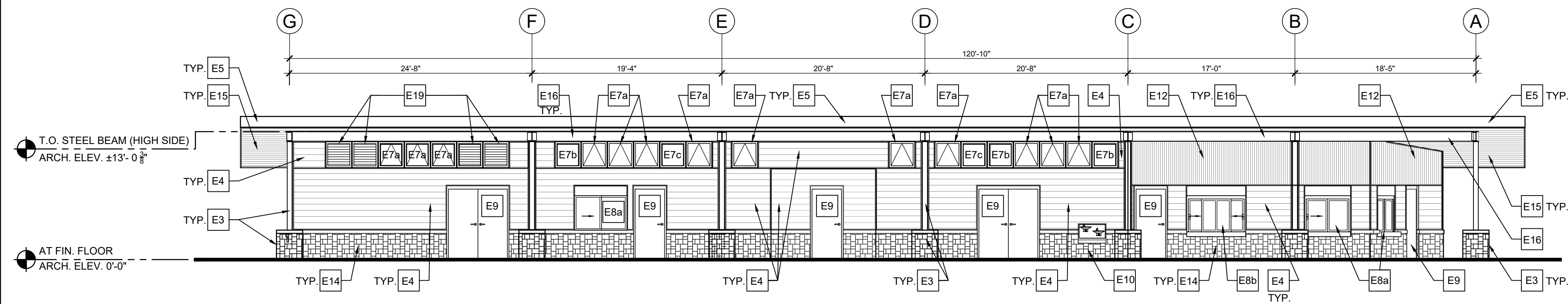
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FLOOR PLAN - NOTED

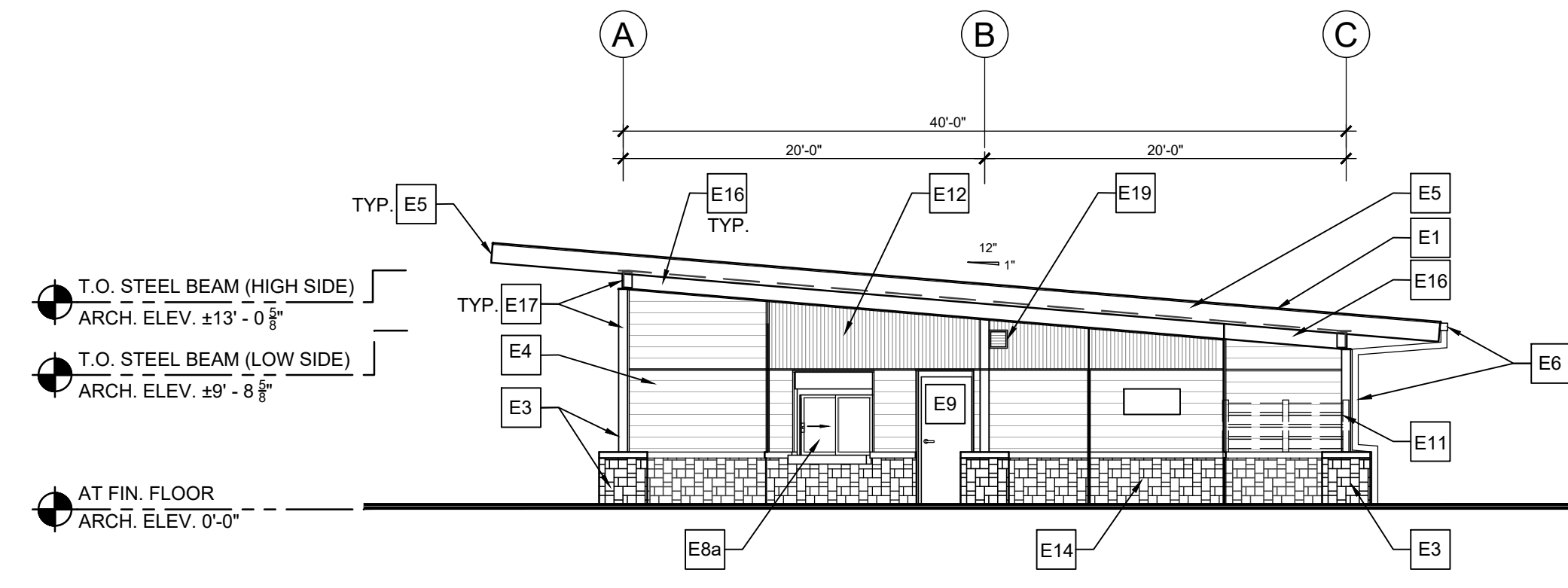
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DRAWN BY	TM	SCALE	AS NOTED
CHECKED BY	SD		

SHEET NO. **A2.2**

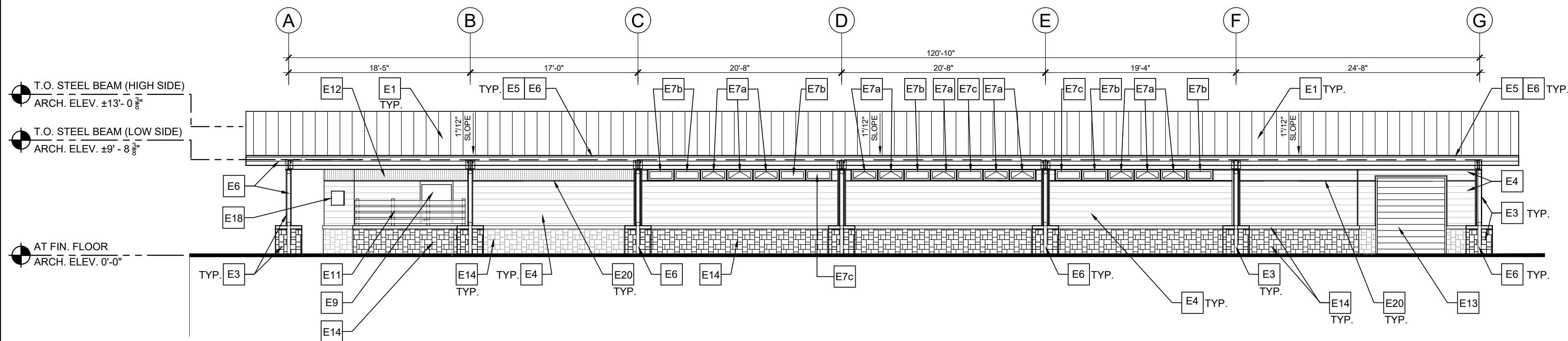
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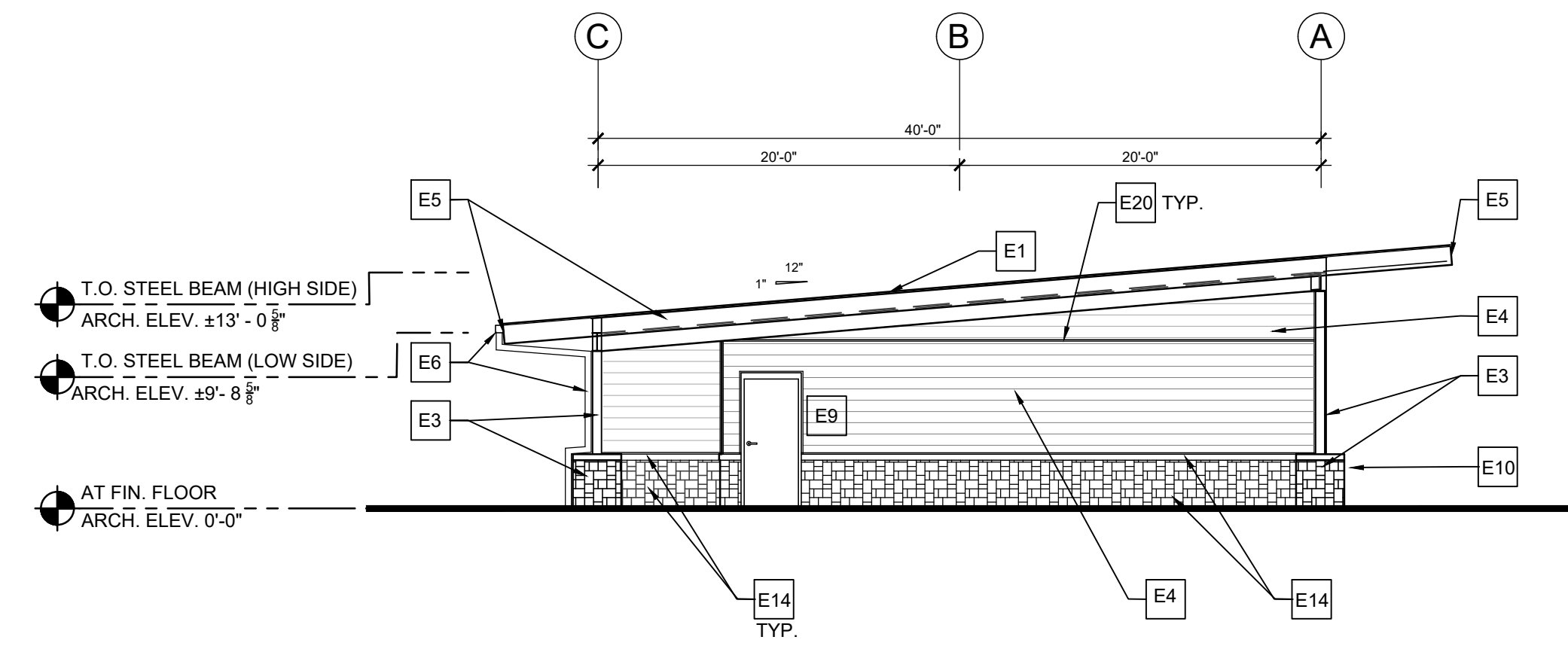
**1** EXTERIOR ELEVATION - NORTH  
A3.1 1/8" = 1'-0"



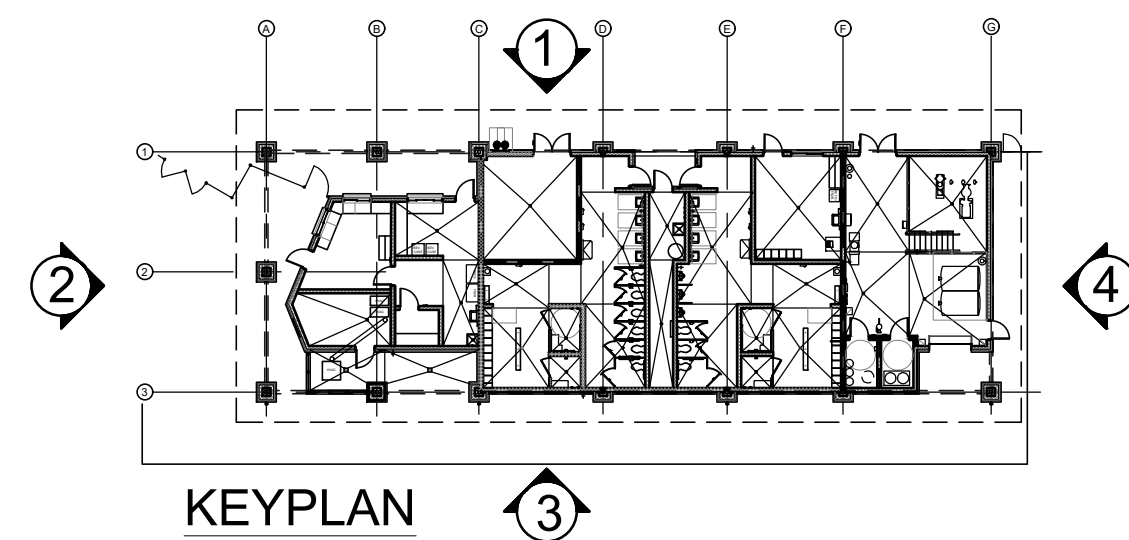
**2** EXTERIOR ELEVATION - WEST  
A3.1 1/8" = 1'-0"



**3** EXTERIOR ELEVATION - SOUTH  
A3.1 1/8" = 1'-0"



**4** EXTERIOR ELEVATION - EAST  
A3.1 1/8" = 1'-0"



EXTERIOR FINISH SCHEDULE		
ITEM NAME	MATERIAL	FINISH
ROOF, RIDGE VENT/CAPS	STANDING SEAM METAL	(PRE-FIN.) ARCH. TO SELECT
GUTTERS	ALUMINUM	(PRE-FIN.) TO MATCH ROOF COLOR
DOWNSPOUTS	ALUMINUM	(PRE-FIN.) TO MATCH ROOF COLOR
LOUVERS	ALUMINUM	(PRE-FIN.) ARCH. TO SELECT
FASCIA, TRIM	ALUMINUM	TO MATCH ROOF COLOR
SOFFIT	1X6 CEDAR T&G	STAIN 1
SOFFIT PERIMETER TRIM	1X6 CEDAR T&G	STAIN 1
SIDING	CEMENTITIOUS BD.	PAINT 4
BEAMS	STEEL	PAINT 5
TRUSS PLATES	STEEL	PAINT 5
COLUMNS	STEEL	PAINT 5
CMU WALL	-	-
STONE VENEER	NATURAL STONE	INTEGRATED COLOR 3
COL. WRAP	NATURAL STONE	INTEGRATED COLOR 3
PRE-CAST CAPS	PRE-CAST CONCRETE	INTEGRATED COLOR
DOORS & FRAMES	HOLLOW METAL	PAINT 6
WINDOW FRAME	ALUMINUM	(PRE-FIN.) CLEAR ANODIZED
LIGHT FIXTURES	VARIOUS TYPES	(PRE-FIN.) ARCH. TO SELECT

SEE SPECIFICATIONS

- FOR ALL PRIMERS, FILLERS, AND FINISHES.
- SCHEDULE OF ALL PAINT SYSTEMS

ELEVATION KEYNOTES	
E1	STANDING SEEM METAL ROOFING. - SEE SPECS
E2	NOT USED
E3	STONE VENEER COLUMN WRAP W/ PRECAST CONC. COLUMN BASE WRAP, AND STEEL TUBE COLUMN. SEE STRUCTURE & COL. WRAP DETAILS
E4	FIBER CEMENT HORIZONTAL SIDING W/ 1x FC TRIM AT PERIMETER, PAINTED SEE WALL SECTIONS
E5	ALUMINUM FASCIA BD., MATCH ROOF COLOR, TYP.
E6	PRE-FINISHED ALUM. GUTTERS & DOWNSPOUT. DOWNSPOUT CONNECT TO UNDERGROUND STORM WATER SYSTEM. TYP. SEE CIVIL FOR CONNECTION.
E7a	OPERABLE ALUM. CLERESTORY PROJECTION WINDOW, SEE WINDOW SCHEDULE
E7b	FIXED ALUM. CLERESTORY WINDOW, SEE WINDOW SCHEDULE
E7c	FIXED ALUM. CLERESTORY WINDOW, W/BLANK ALUMINUM PANEL ON INSIDE FRAME FACE. SEE WINDOW SCHEDULE
E8a	PASS-THRU ALUM. WINDOW W/ OVERHEAD COILING SHUTTER & CONT. THRU WINDOW STN. ST. COUNTER - SEE WINDOW SCHEDULE & DETAILS

E8b	PASS-THRU ALUM. DOUBLE SLIDER WINDOW W/OVERHEAD COILING SHUTTER & CONT. THRU WINDOW STN. STL. COUNTER - SEE WINDOW SCHEDULE & DETAILS
E9	HOLLOW METAL DOOR AND FRAME, PAINTED - SEE DOOR SCHEDULE
E10	FREEZE PROOF HI-LO DRINKING FOUNTAIN - SEE PLUMBING
E11	WOOD SCREEN FENCE, PAINT TO MATCH SIDING - SEE DETAIL SHEET
E12	CORRUGATED METAL PANEL VENEER W/ PERIMETER CLOSURE TRIM
E13	OVERHEAD INSULATED COILING DOOR
E14	ANCHORED NATURAL STONE VENEER WITH PRE-CAST CONCRETE CAP, TYP.
E15	TONGUE AND GROOVE 1X6 CEDAR SOFFIT & 1X CEDAR TRIM, STAINED, TYP.
E16	STEEL BEAM, SEE STRUCT. DRWGS.
E17	STEEL TUBE COLUMNS WITH STEEL BEAM FRAMING - EXPOSED
E18	ALUMN. SIGN WITH APPLIED SOLID ALUM. LASER CUT LOGO, PAINTED, MOUNT TO BLDG. WITH CHANNEL FRAME.
E19	LOUVER WITH MOTORIZED DAMPER, SEE MECH.
E20	1X CONT. HORZ. FIBER CEMENT TRIM

GENERAL NOTES	
1.	ELEVATION MARKS TO BE VERIFIED IN FIELD WITH MATERIAL AND ASSEMBLY DIMENSIONS.
2.	DIMENSIONS ARE FROM FINISH FLOOR. (U.N.O.)
3.	ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL.
4.	SEE ROOF PLAN FOR OVERHANG DIMENSIONS.
5.	SEE SHEET A2 SERIES FOR FLOOR PLANS.
6.	SEE SHEET A3 SERIES FOR SECTIONS & DETAILS.
7.	SEE SHEET A6 SERIES FOR RCP AND ROOF PLANS.
8.	SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
9.	SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS.

REVISIONS		
NO.	DATE	COMMENTS
A1	08/08/2019	ADDENDUM 1 REVISIONS

BID/PERMIT SET

SHEET TITLE

EXTERIOR ELEVATIONS

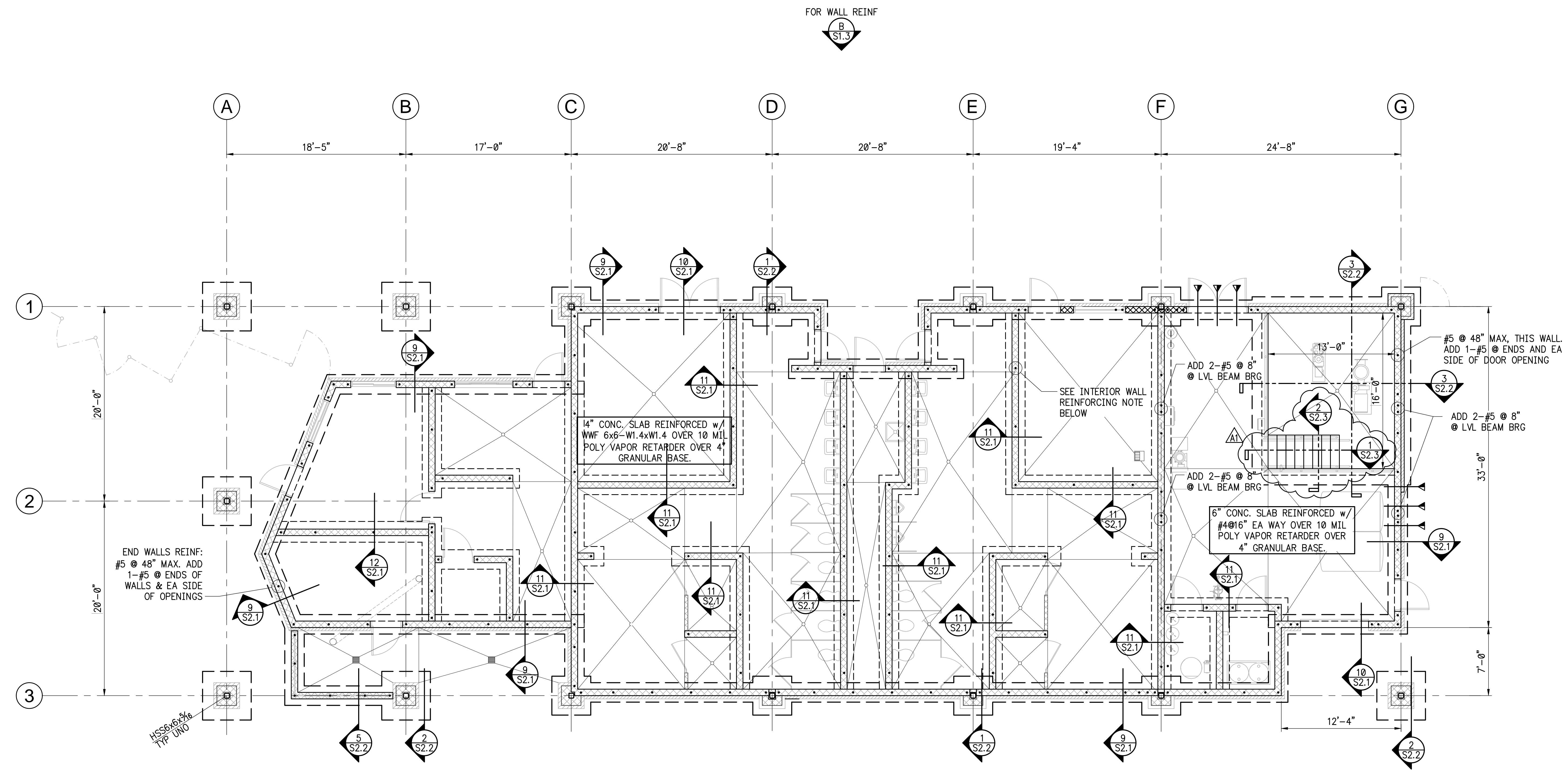
PROJECT NO.	DATE
18141	07/11/2019
DRAWN BY	SCALE
TM	AS NOTED
CHECKED BY	SD
SHEET NO.	

A3.1

SUBMITTALS / REVISIONS	
NO.	DESCRIPTION
A1	8-8-2019 ADDENDUM 1 REVISIONS

BID/PERMIT SET	
SHEET TITLE	
FOUNDATION PLAN	

PROJECT NO. 18141	DATE 07/11/2019
DRAWN BY EMC	SCALE 3/16" = 1'-0"
CHECKED BY EMC	
SHEET NO.	



FOR WALL REINF  
B  
S1.3

A  
S1.3  
FOR WALL REINF

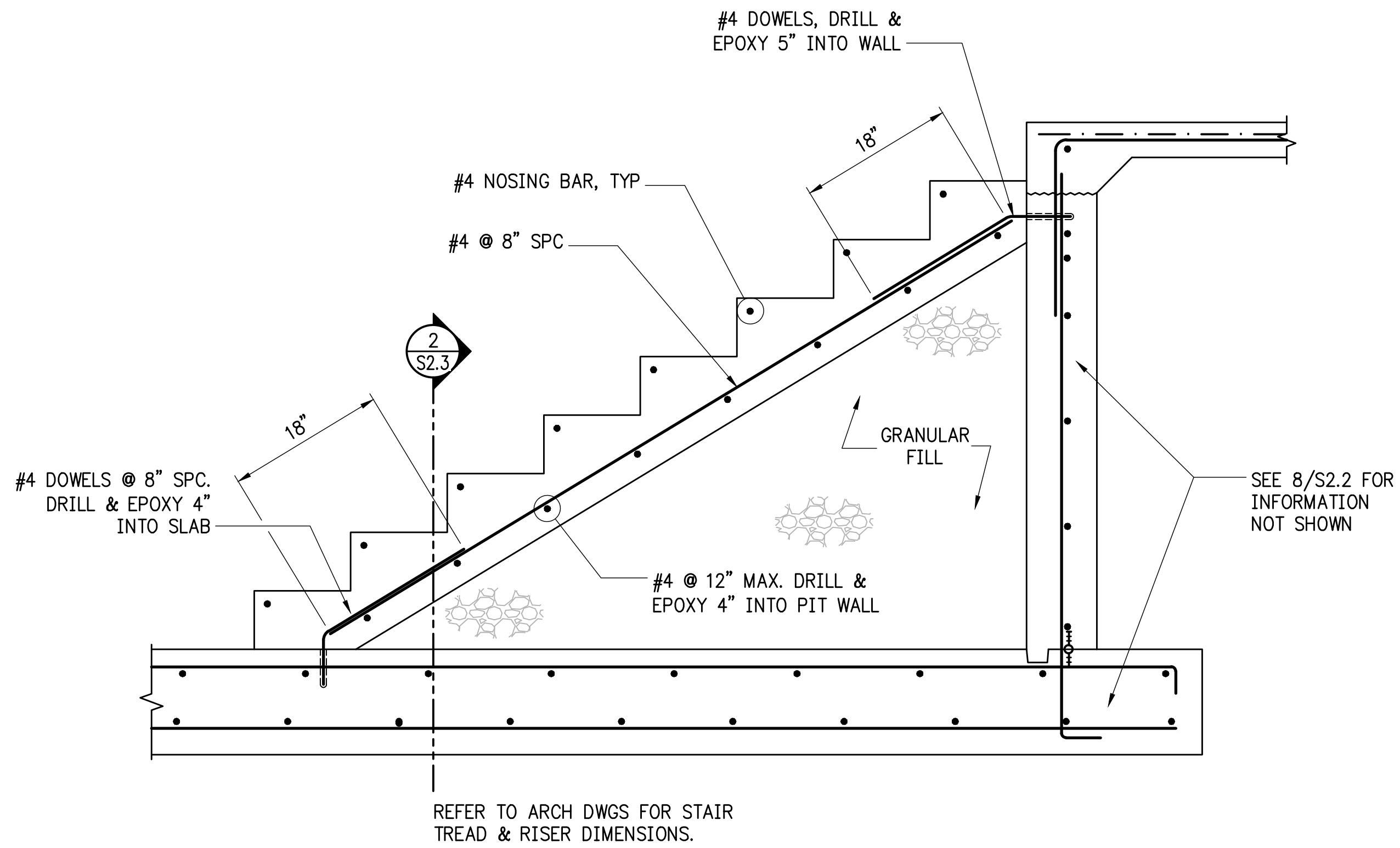
**INTERIOR WALL REINFORCING NOTE**  
TYPICAL INTERIOR WALL REINFORCING SHALL BE #5 @ 72" OC, MAX. ADD 1-#5 @ CORNERS AND ENDS OF WALLS. SEE PLAN FOR ADDITIONAL REINF RE'QMNTS.

**FOUNDATION PLAN**

SCALE: 3/16" = 1'-0"

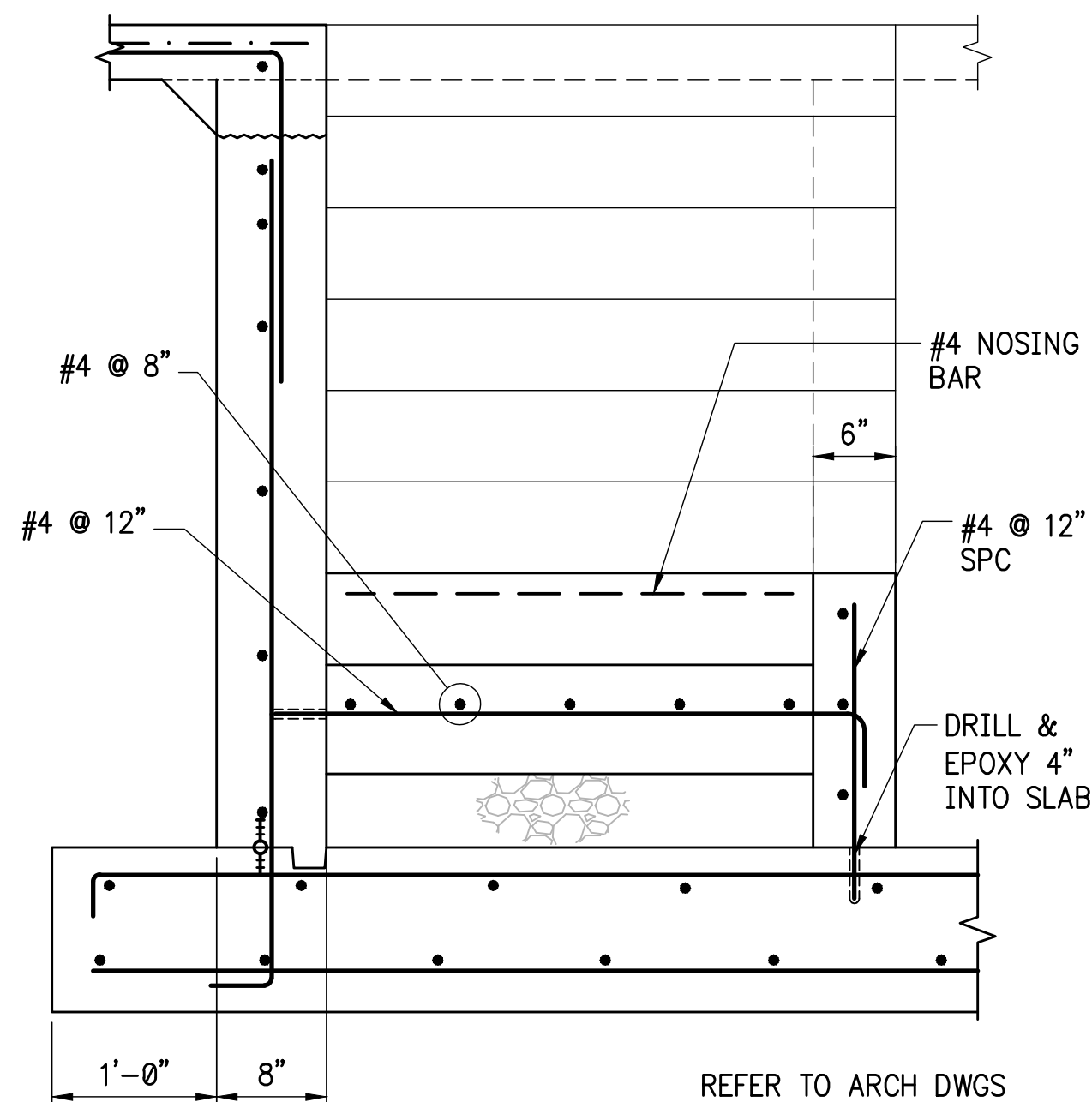
**NOTES:**

- TOP OF EXTERIOR FOOTINGS - F.F.E. - 16" OR 1'-0" BELOW EXTERIOR GRADE, WHICHEVER IS LOWER.
- THE CONTRACTOR SHALL COORDINATE ANY UNDER SLAB PIPING, CONDUITS OR ANY UTILITIES PRIOR TO PLACING FOOTINGS. IMMEDIATELY REPORT ANY CONFLICTS TO THE ENGINEER OR RECORD.
- SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS AND/OR LOCATIONS NOT SHOWN.
- SEE ARCHITECTURAL DRAWINGS FOR ALL FLOOR SLOPES.
- SEE DETAIL 1/S2.1 FOR SLAB CONTROL JOINTS.
- DOWELS SHOWN ON PLANS INDICATE GROUT FILLED, REINFORCED CORES. (SEE DETAIL 4/S2.1)
- SEE 5/S2.1 FOR MASONRY REINFORCING AT WALL OPENINGS.
- REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR BUILDING LOCATION AND ORIENTATION.
- ▴ DENOTES FOOTING STEP. SEE 8/S2.1



1 SECTION  
SCALE: NONE

SEE 8/S2.2 FOR WALL & FOUNDATION DIMENSIONS & REINFORCING NOT SHOWN



2 SECTION  
SCALE: NONE

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**EMC**  
STRUCTURAL ENGINEERS, P.C.  
4525 Trousdale Drive  
Nashville, Tennessee 37204  
(615) 751-8199  
(615) 781-4088  
EMC Project No. 19123



BRIARWOOD POOL COMPLEX  
BUILDING PLANS  
PREPARED FOR:  
CITY OF BROOKHAVEN

GEORGIA

BROOKHAVEN

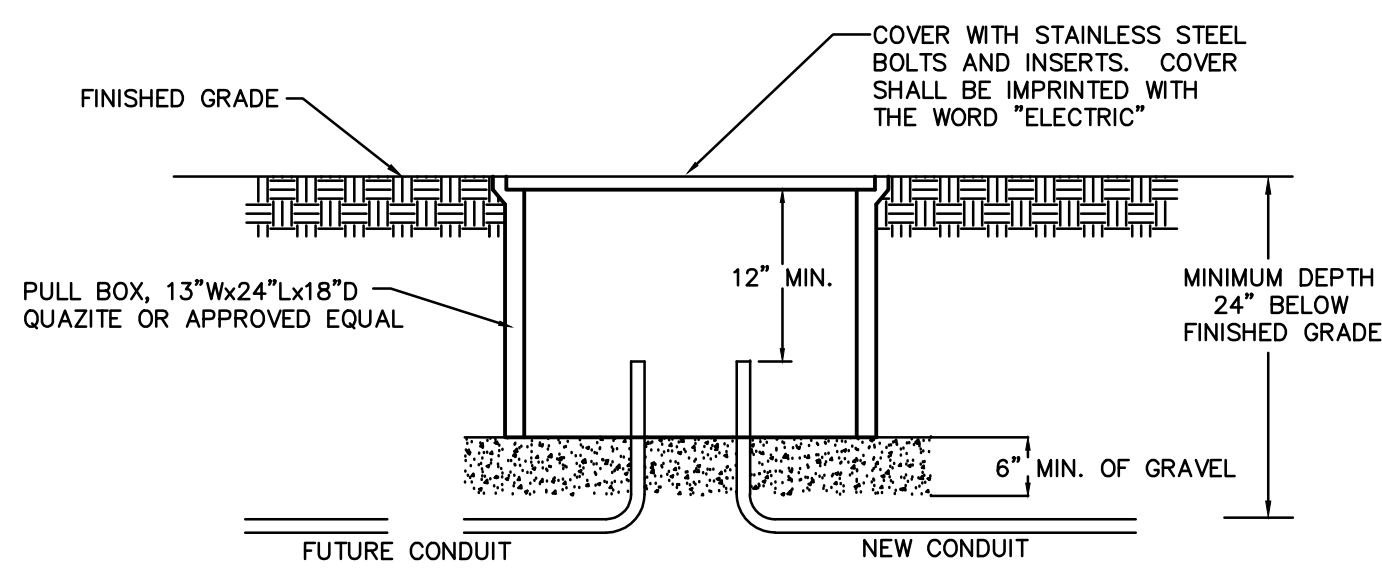
SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
A1	8-3-2019	ADDENDUM 1 REVISIONS

BID/PERMIT SET

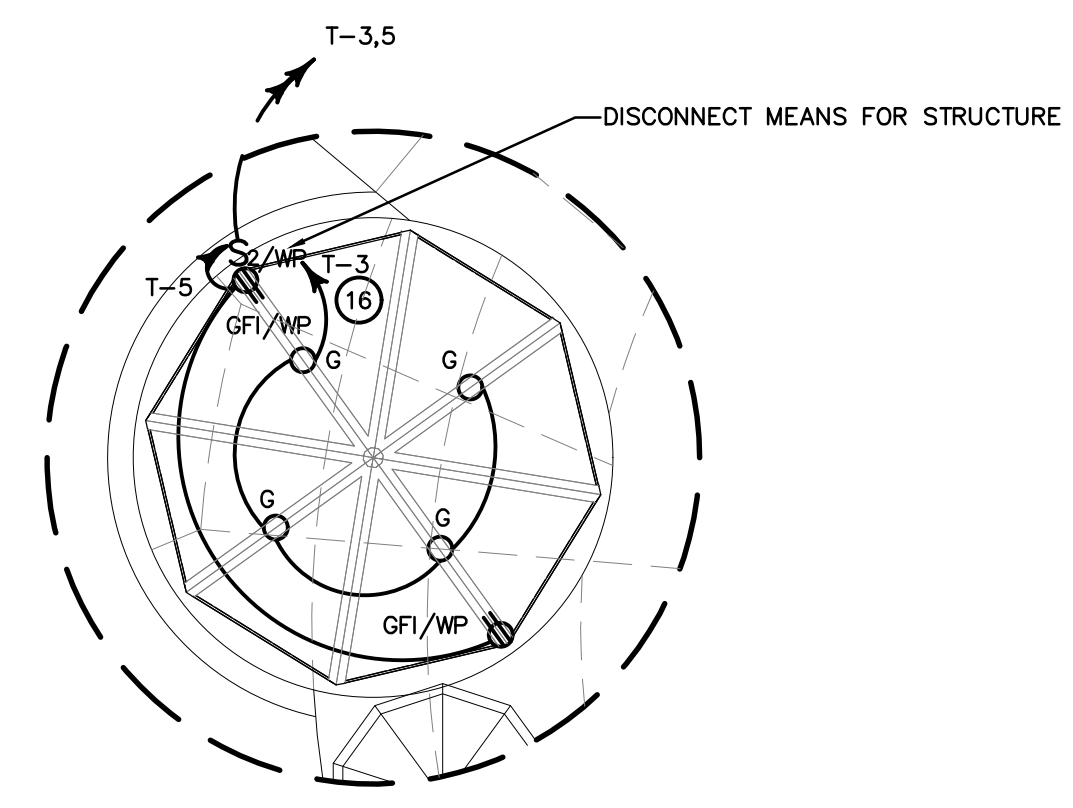
SHEET TITLE  
PIT STAIR  
SECTIONS & DETAILS

PROJECT NO. 18141	DATE 07/11/2019
DRAWN BY EMC	SCALE
CHECKED BY EMC	NOTED
SHEET NO.	

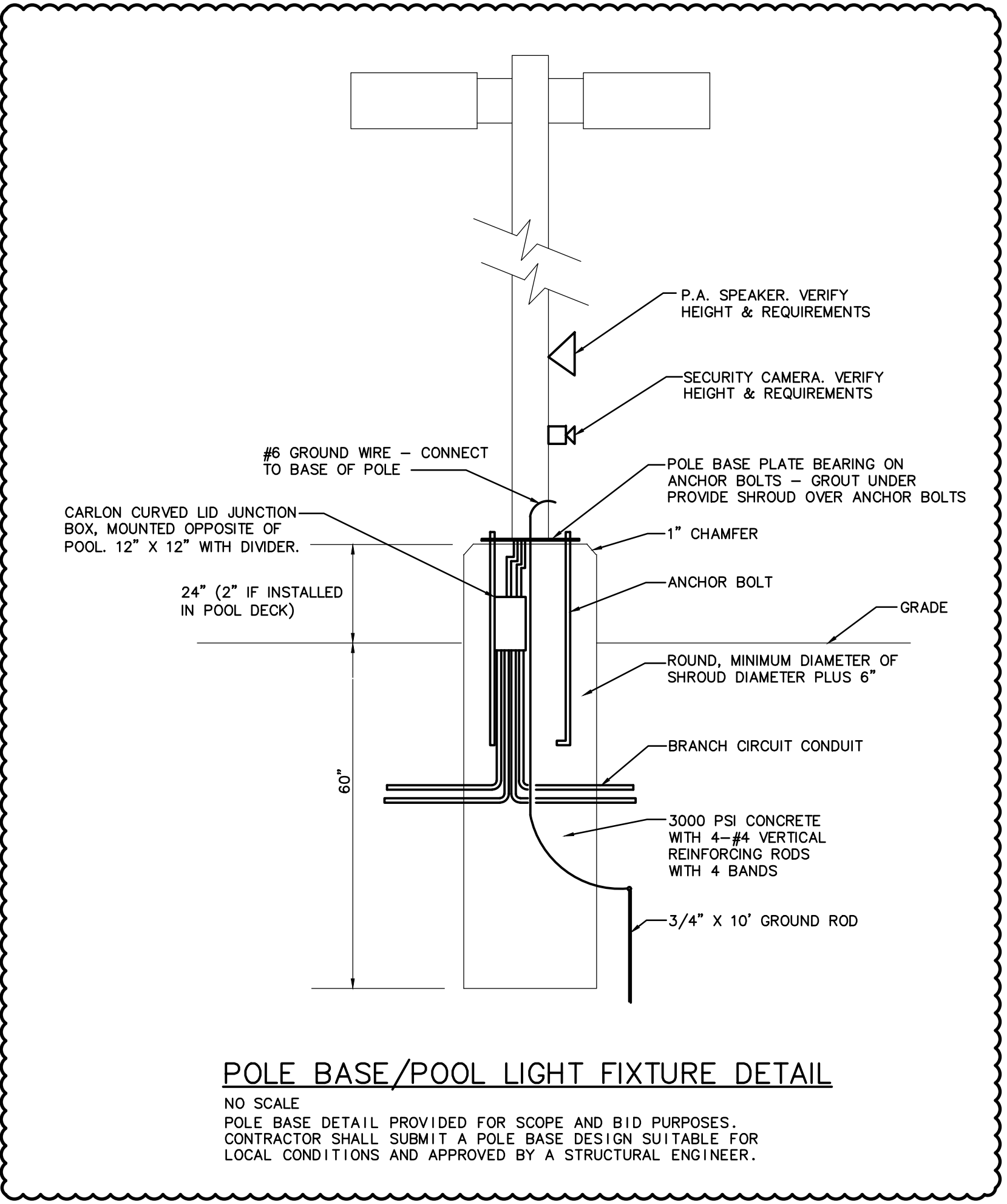
A1 S2.3



**UNDERGROUND PULLBOX**  
NO SCALE



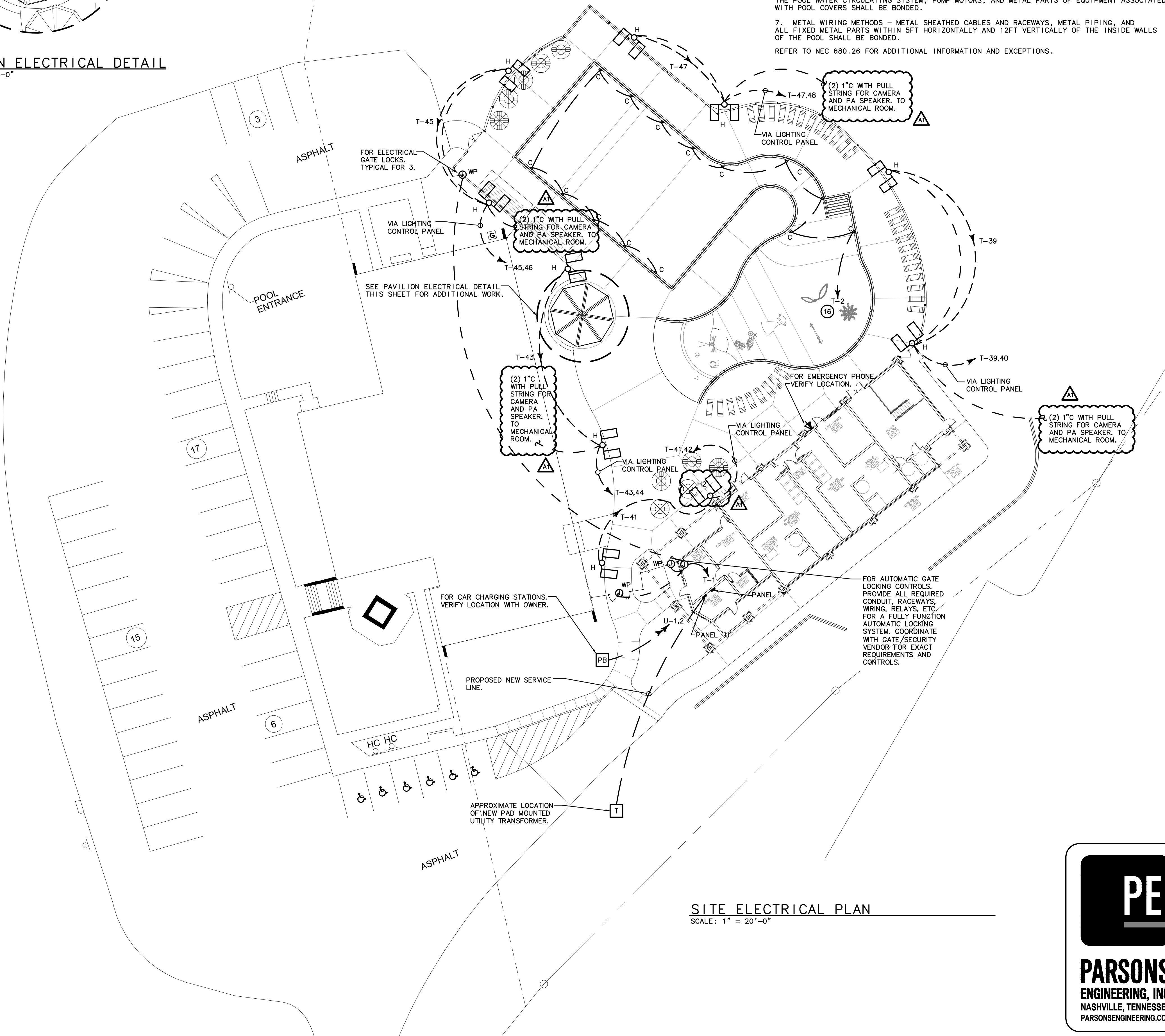
**PAVILION ELECTRICAL DETAIL**  
SCALE: 1" = 10'-0"



**POLE BASE/POOL LIGHT FIXTURE DETAIL**  
NO SCALE  
POLE BASE DETAIL PROVIDED FOR SCOPE AND BID PURPOSES. CONTRACTOR SHALL SUBMIT A POLE BASE DESIGN SUITABLE FOR LOCAL CONDITIONS AND APPROVED BY A STRUCTURAL ENGINEER.

**EQUIPOTENTIAL BONDING NOTES**

- THE FOLLOWING PARTS SHALL BE BONDED TOGETHER USING A SOLID COPPER CONDUCTOR, INSULATED COVERED OR BARE, NO SMALLER THAN #8 AWG. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH NEC 250.8 AND 680.26.
1. CONDUCTIVE POOL SHELL - UNENCAPSULATED STRUCTURAL REINFORCING STEEL SHALL BE BONDED TOGETHER BY STEEL TIE WIRES, WHERE THE STRUCTURAL STEEL IS ENCAPSULATED, A COPPER GRID SHALL BE INSTALLED IN ACCORDANCE WITH NEC 680.26(B)(1)(B).
  2. PERIMETER SURFACES - THE STRUCTURAL REINFORCING STEEL SHALL BE BONDED TOGETHER BY STEEL TIE WIRES, WHERE REINFORCING STEEL IS NOT PRESENT OR IS ENCAPSULATED IN A NONCONDUCTIVE COMPOUND, COPPER CONDUCTORS SHALL BE INSTALLED IN ACCORDANCE WITH NEC 680.26(B)(2)(B).
  3. METALLIC COMPONENTS - ALL METALLIC PARTS OF THE POOL SHALL BE BONDED.
  4. UNDERWATER LIGHTING - ALL METAL FORMING SHELLS AND MOUNTING BRACKETS OF NO-NICHE LIGHTS SHALL BE BONDED.
  5. METAL FITTINGS - ALL METAL FITTING WITHIN OR ATTACHED TO THE POOL STRUCTURE SHALL BE BONDED.
  6. ELECTRICAL EQUIPMENT - METAL PARTS OF THE ELECTRICAL EQUIPMENT ASSOCIATED WITH THE POOL WATER CIRCULATING SYSTEM, PUMP MOTORS, AND METAL PARTS OF EQUIPMENT ASSOCIATED WITH POOL COVERS SHALL BE BONDED.
  7. METAL WIRING METHODS - METAL SHEATHED CABLES AND RACEWAYS, METAL PIPING, AND ALL FIXED METAL PARTS WITHIN 5FT HORIZONTALLY AND 12FT VERTICALLY OF THE INSIDE WALLS OF THE POOL SHALL BE BONDED.
- REFER TO NEC 680.26 FOR ADDITIONAL INFORMATION AND EXCEPTIONS.



**SITE ELECTRICAL PLAN**  
SCALE: 1" = 20'-0"

**LOSE DESIGN**  
SPACES FOR LIFE.

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THE DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. ANY AND ALL APPOINTMENTS IS SUBJECT TO LEGAL ACTION.

PROFESSIONAL ENGINEER  
ANTHONY J. PEZEL  
8/7/19

**BRIARWOOD PARK POOL PROJECT**  
BUILDING PLANS  
PREPARED FOR:  
CITY OF BROOKHAVEN

REVISIONS	
NO.	DATE
A1	08/08/19
	ADDENDUM 1 REVISIONS

BID/PERMIT SET  
SHEET TITLE  
**SITE ELECTRICAL PLAN**

PROJECT NO. 18141	DATE 07/11/2019
DRAWN BY TAL	SCALE AS SHOWN
CHECKED BY AJP	
SHEET NO.	

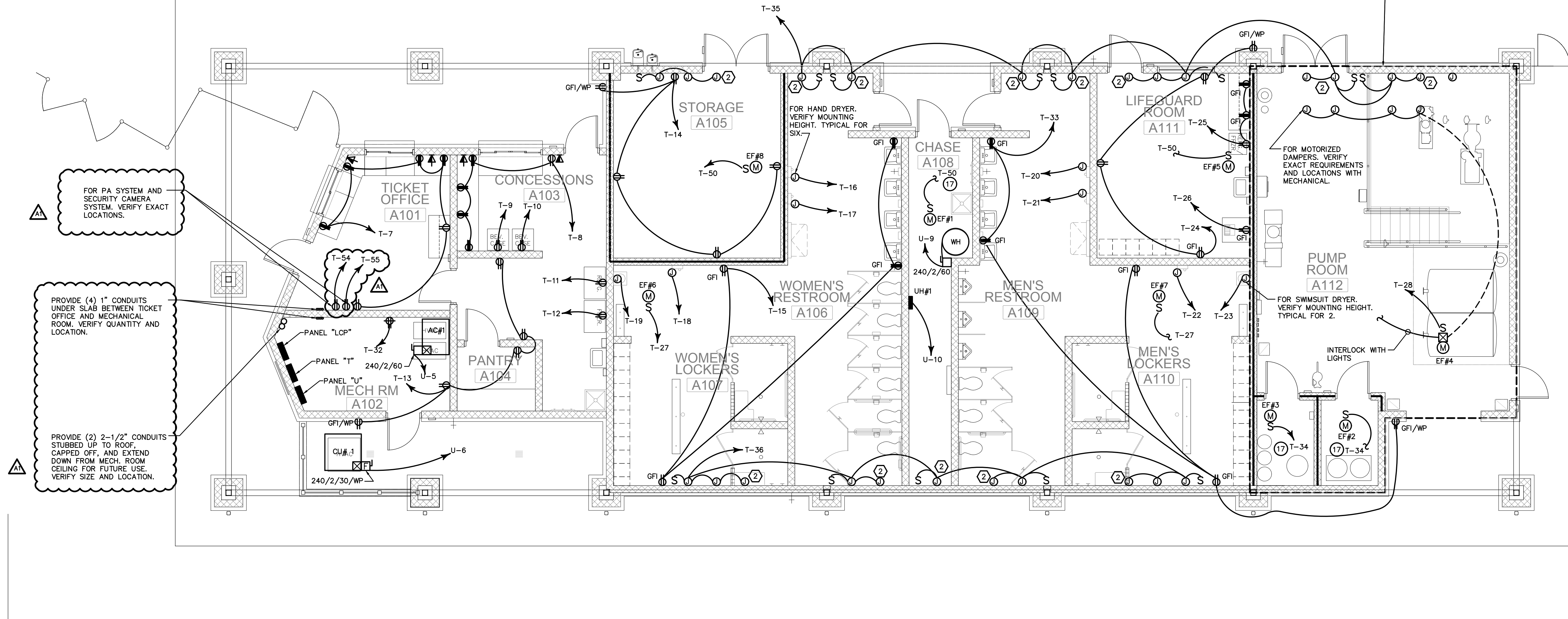
**E1.0**



**KEY NOTES**

1. CEILING MOUNTED JUNCTION BOXES FOR SECURITY CAMERAS. PROVIDE 3/4" FROM JUNCTION BOX TO MECHANICAL ROOM. VERIFY LOCATIONS & REQUIREMENTS.
2. BASE BID: FOR MOTORIZED AWNING WINDOW ACTUATOR - CONNECT ADJACENT OPERABLE WINDOWS TOGETHER WITH PAINTED CONDUIT AND RUN CONCEALED IN WALL TO RECESSED KEY SWITCH. PROVIDE RECESSED KEY SWITCH (AT LIGHT SWITCH HEIGHT).
3. COMBINATION MOTOR STARTER, 340V, 3 PHASE, NEMA SIZE 1, 5HP. PROVIDE PUSH BUTTON START, STOP, RESET. NEMA 12, POLY-CARBONATE HOUSING
4. PROVIDE VARIABLE FREQUENCY DRIVE (VFD), 240V, 3 PHASE, 4 WIRE, HI-LEG, 25HP, NEMA 4X ENCLOSURE, WITH MANUAL BYPASS. ALLOW INPUT FROM 3 POSITION SELECTOR SWITCH FOR FORWARD-OFF-REVERSE OPERATION (FILTRATION-OFF-BACKWASH). HMI ON COVER WITH SPEED CONTROL, SPEED TO BE DISPLAYED ON HMI. FLOW RATE FROM FLOW METERS (4) TO BE DISPLAYED ON HMI. PROVIDE 24VDC SOURCE FOR FLOW METERS (25mA EACH), & INTEGRAL DISCONNECTING

SEE PUMP ROOM DETAIL ON SHEET E2.2 FOR ADDITIONAL WORK.



FOR PA SYSTEM AND SECURITY CAMERA SYSTEM. VERIFY EXACT LOCATIONS.

PROVIDE (4) 1" CONDUITS UNDER SLAB BETWEEN TICKET OFFICE AND MECHANICAL ROOM. VERIFY QUANTITY AND LOCATION.

PROVIDE (2) 2-1/2" CONDUITS STUBBED UP TO ROOF, CAPPED OFF, AND EXTEND DOWN FROM MECH. ROOM CEILING FOR FUTURE USE. VERIFY SIZE AND LOCATION.

**POWER PLAN - BUILDING**  
SCALE: 3/16" = 1'-0"

REVISIONS		
NO.	DATE	COMMENTS
A1	08/08/19	ADDENDUM 1 REVISIONS

BID/PERMIT SET  
SHEET TITLE

**POWER PLAN**

PROJECT NO. 18141	DATE 07/11/2019
DRAWN BY TAL	SCALE AS SHOWN
CHECKED BY AJP	
SHEET NO.	

**E2.1**







BID SET

# BRIARWOOD PARK POOL PROJECT

## SITE DEVELOPMENT PACKAGE

PREPARED FOR:

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT

**LOSE DESIGN**  
SPACES FOR LIFE.

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. AND ANY IMPROVEMENT IS SUBJECT TO LEGAL ACTION.



GSWCC LEVEL II # 85101  
EXPIRES: 08/28/2021



GA

BRIARWOOD PARK POOL PROJECT  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

BID SET

SHEET TITLE

COVER

PROJECT NO. 18141C

DATE 07/11/2019

DRAWN BY TM

SCALE N/A

CHECKED BY DY

SHEET NO.

C0.00

### SHEET INDEX

SHEET NO.	SHEET TITLE
C0.00	COVER
C0.01	GENERAL NOTES
--	SURVEY (1 OF 3)
--	SURVEY (2 OF 3)
--	SURVEY (3 OF 3)
C0.02	OVERALL EXISTING CONDITIONS PLAN
C0.03	OVERALL SITE PLAN
C0.10	DEMOLITION AND TREE PROTECTION PLAN
C1.00	LAYOUT PLAN
C2.00	GRADING PLAN
C2.10	ESPC PLAN SHEET KEY
C2.11	ESPC PHASE 1
C2.21	ESPC PHASE 2
C2.31	ESPC PHASE 3
C2.40	ESPC NOTES
C2.41	ESPC NOTES
C2.90	DRAINAGE & ESPC DETAILS
C2.91	DRAINAGE & ESPC DETAILS
C2.92	DRAINAGE & ESPC DETAILS
C2.93	DRAINAGE & ESPC DETAILS
C2.94	DRAINAGE & ESPC DETAILS
C2.95	DRAINAGE & ESPC DETAILS
C2.96	PIPE CHART
C4.00	SITE DETAILS
C4.01	SITE DETAILS
C4.02	SITE DETAILS
C4.03	SITE DETAILS
C4.04	SITE DETAILS
C5.00	UTILITY PLAN KEY SHEET
C5.01	UTILITY PLAN
C5.02	SANITARY SEWER DETAILS
C5.03	WATER DETAILS
L1.00	LANDSCAPE PLAN
L2.00	LANDSCAPE NOTES & SCHEDULES
L2.10	LANDSCAPE DETAILS

### OWNER/DEVELOPER

CITY OF BROOKHAVEN  
4362 PEACHTREE ROAD  
BROOKHAVEN, GA 30319

CONTACT: BRIAN BORDEN, PARKS AND REC. DIRECTOR  
404-637-0562

### DESIGNER

**LOSE DESIGN**  
LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL  
ENGINEERING/PLANNING

220 WEST CROGAN STREET, SUITE 100  
LAWRENCEVILLE, GEORGIA 30046  
PHONE: 770-338-0017  
CONTACT: AARON ST. PIERRE

### SITE INFORMATION

- PROPERTY ADDRESS: 2335 BRIARWOOD WAY, ATLANTA, GA 30319
- PARCEL ID: 18-202-01-047
- ZONING CLASS: R75 (SINGLE FAMILY RESIDENTIAL)
- TOTAL TRACT SIZE: ± 652,490 SF (±14.98 AC.)
- TOTAL DISTURBED AREA: ±0.99-ACRE
- TOTAL PROJECT NET IMPERVIOUS AREA: ±797-SF, ±0.02ACRE
- TOTAL PARCEL IMPERVIOUS AREA: ±140,462 SF, ± 3.22 ACRES
- PERCENTAGE IMPERVIOUS OF TRACT: ±21.5% IMPERVIOUS

DEKALB COUNTY DEVELOPMENT FILE # AP 3037913  
CITY OF BROOKHAVEN FILE # LDP 19-00023

PROJECT SCOPE OF WORK:  
DEMOLITION OF EXISTING BATH HOUSE, PUMP AND CHEMICAL BUILDINGS,  
EXISTING POOL DECK, AND EXISTING POOL SHELL; LIMITED GRADING  
WORK, CONSTRUCTION OF NEW POOL, POOL DECK, AND BATHHOUSE /  
CONCESSIONS BUILDING.

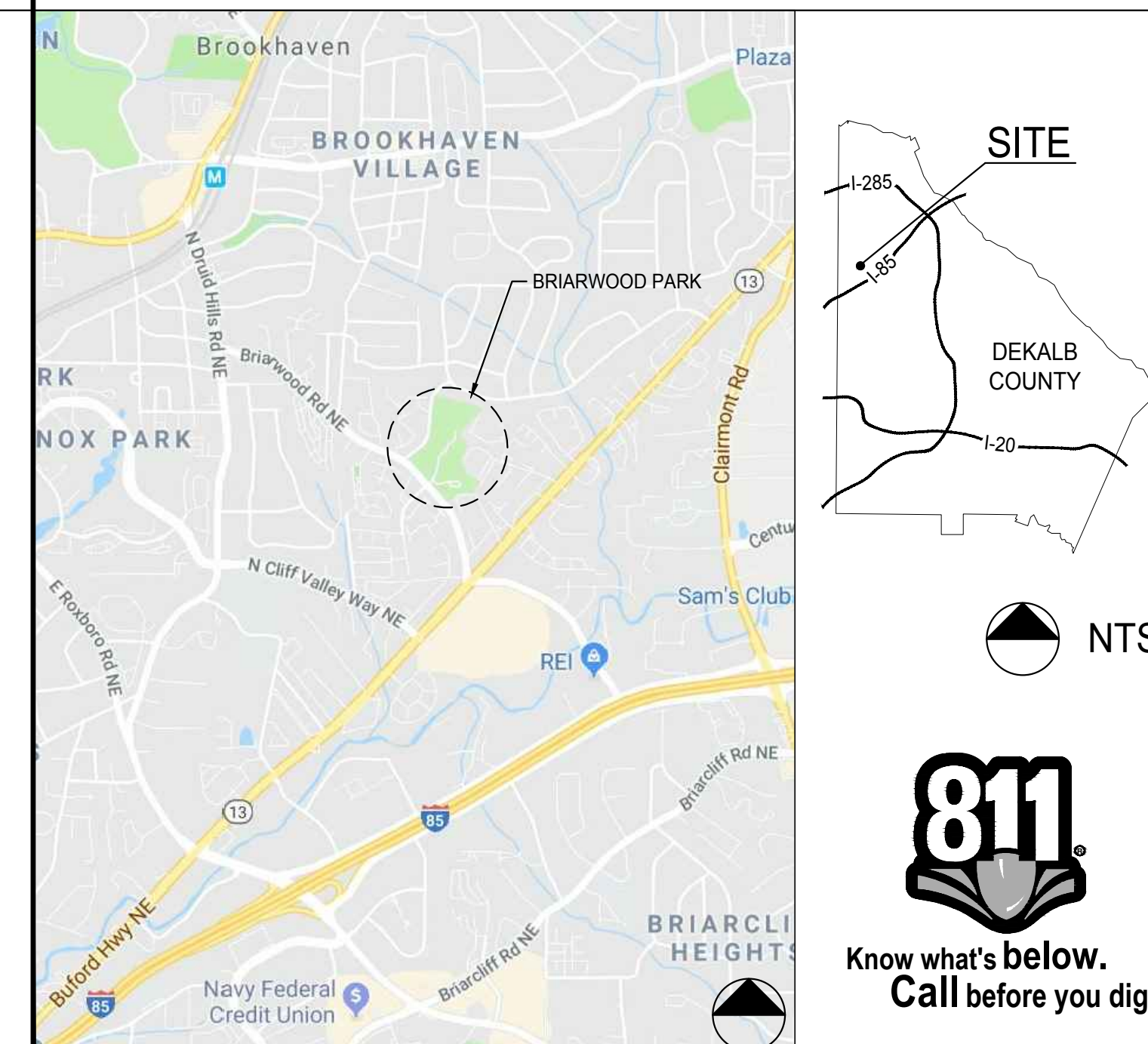
CONSTRUCTION EXIT GPS LOCATION: N033.510077° W084.193970°

### CONSULTANTS

**AQUATIC DESIGNER:**  
WATER TECHNOLOGY, INC.  
100 PARK AVE.  
BEAVER DAM, WI 53916  
(920) 887-7375

**SURVEYOR:**  
TERRA MARK LAND SURVEYING, INC.  
1396 BELLS FERRY ROAD  
MARIETTA, GEORGIA 30066  
PHONE: 770-421-1927

### LOCATION MAP



NTS



Know what's below.  
Call before you dig.

PRIMARY PERMITTEE / OWNER CONTACT:  
BRIAN BORDEN  
CITY OF BROOKHAVEN PARKS AND REC.  
3360 OSBORNE ROAD  
BROOKHAVEN, GA 30319  
PHONE: 404.637.0562

24-HR. EMERGENCY CONTACT:  
BRIAN BORDEN - 404.637.0562  
BRIAN.BORDEN@BROOKHAVENGA.GOV

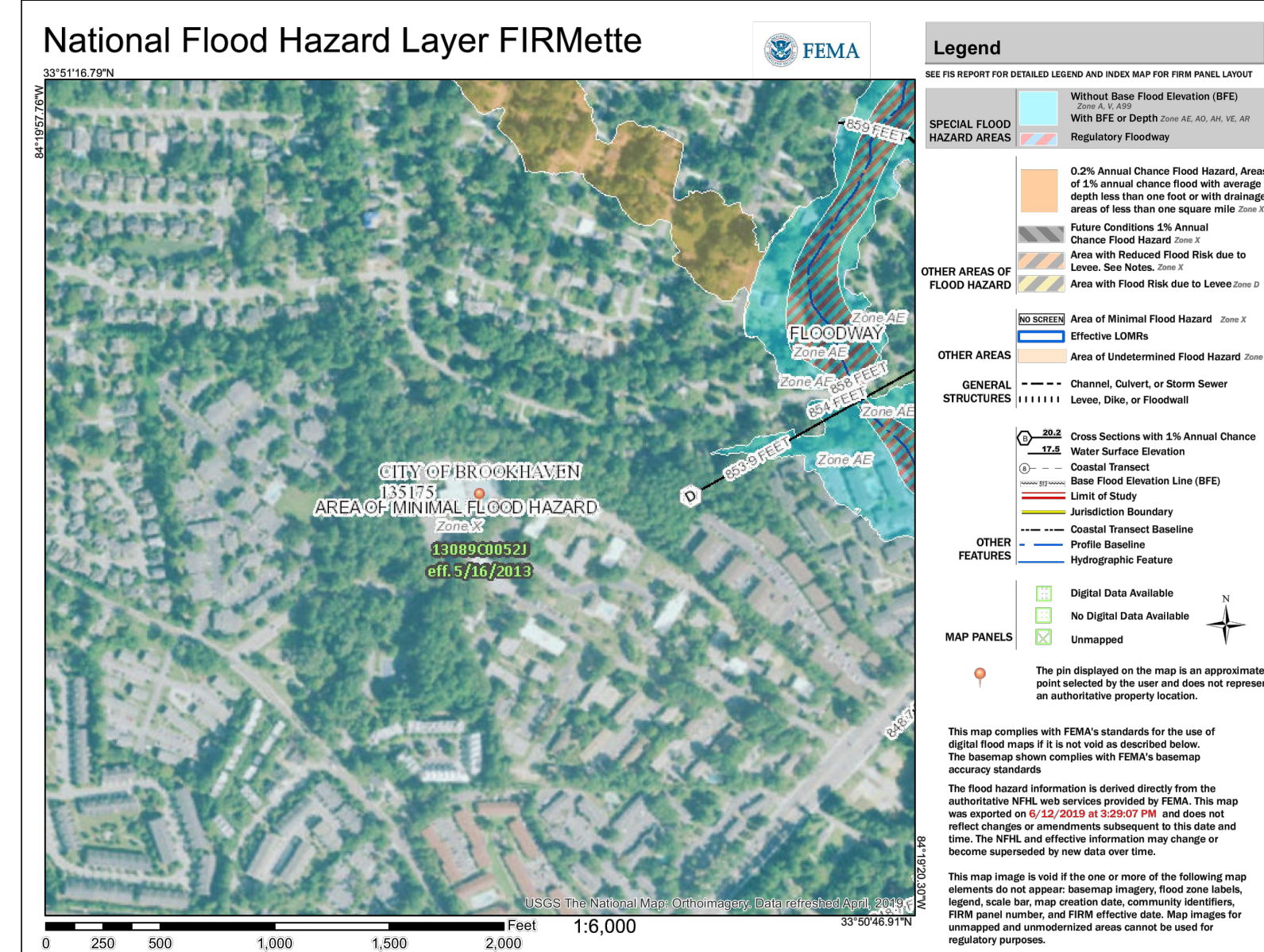
**DESIGNER GSWCC LEVEL II**  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN  
WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS  
DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED  
AGENT UNDER MY DIRECT SUPERVISION.

**GSWCC** GEORGIA SOIL AND WATER  
CONSERVATION COMMISSION

**Aaron J St Pierre**  
Level II Certified Design Professional

CERTIFICATION NUMBER 000085101  
ISSUED: 08/28/2018 EXPIRES: 08/28/2021

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL



THIS SITE IS LOCATED WITHIN ZONE X AS DEFINED BY  
FIRM COMMUNITY PANEL NUMBER 13089C00521 FOR  
UNINCORPORATED DEKALB COUNTY, GEORGIA.

C:\18141C\18141C\_Brookhaven\BrookhavenPool\000\_SHEETS\BRIARWOOD PARK POOL\_COV\_18141C\_C000\_SHEETS\_COVER\_BRIERW.MXD Printed: 2019/08/08 4:25:57 PM

**UNIFORM CODING SYSTEM**

**FOR SOIL EROSION & SEDIMENT CONTROL PRACTICES**

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**NOTE:**  
 1. ALL PHASE 1 PRACTICES TO BE COMPLETED PRIOR TO ANY OTHER LAND DISTURBANCE ACTIVITIES. PHASE 2 PRACTICES TO BE IMPLEMENTED AS NEEDED DURING CONSTRUCTION. PHASE 3 PRACTICES TO BE IMPLEMENTED AS SOON AS CONSTRUCTION IS COMPLETE ON DIFFERENT ASPECTS OF THE PROJECT, NOT AT END OF ALL CONSTRUCTION ACTIVITIES FOR ENTIRE SITE.  
 2. ALL TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED FROM SITE AT COMPLETION OF PROJECT OR WHEN CONTRIBUTING DRAINAGE AREA ACHIEVES FINAL STABILIZATION. STORM DRAIN OUTLET PROTECTION TO REMAIN IN PERMANENT CONDITION. ALL OTHER EROSION CONTROL MEASURES ON THIS SHEET ARE TEMPORARY.

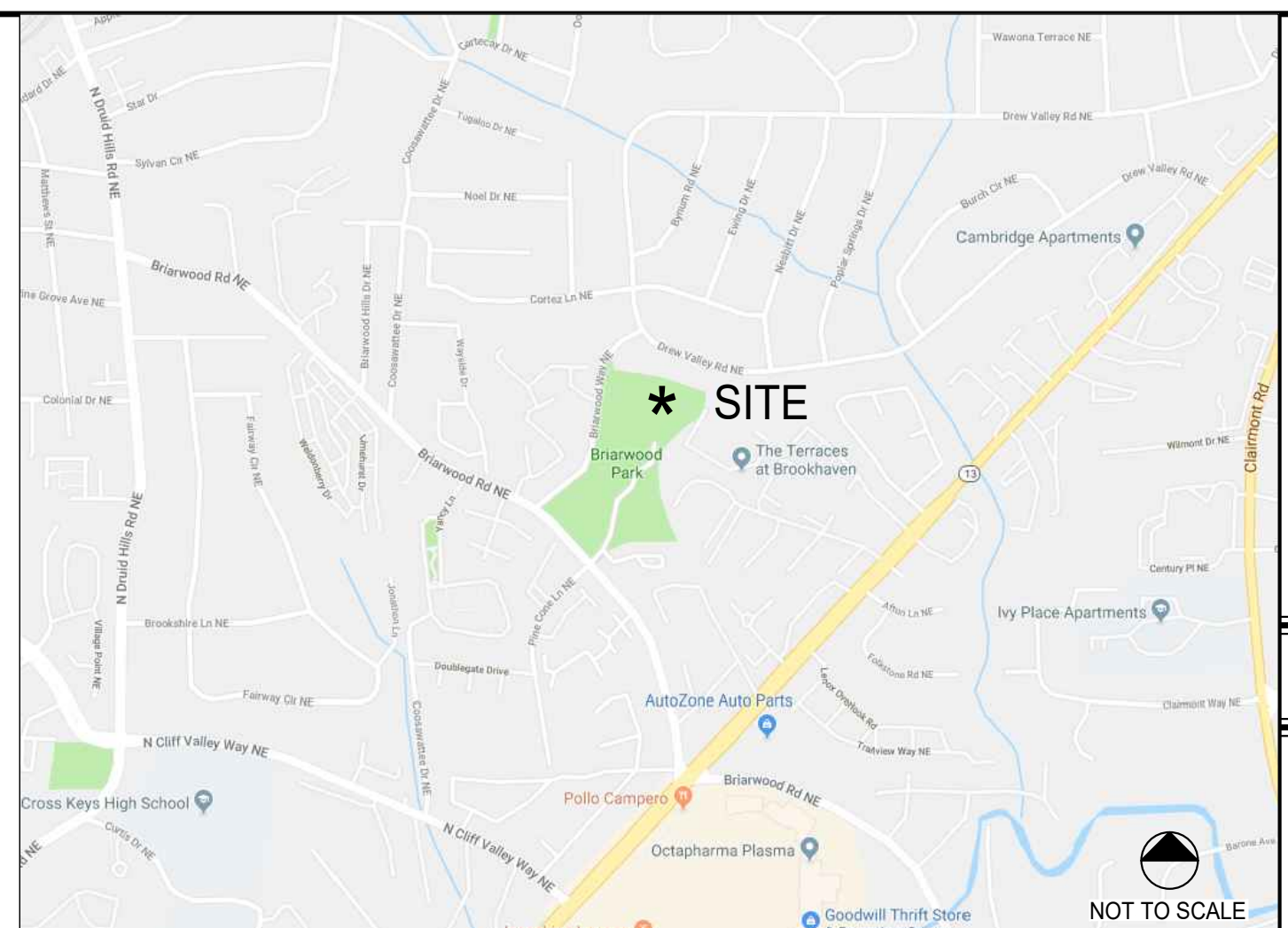
MAP SYMBOL	CODE	PRACTICE	CALLOUT(S)
	Co	CONSTRUCTION EXIT	2 C2.90
	Re	RETAINING WALL (DESIGNED BY OTHERS)	
	Sd1-S	SEDIMENT BARRIER (SENSITIVE AREA)	1 C2.90
	DOUBLE ROW		
	St	STORM DRAIN OUTLET PROTECTION	2 C2.91
	Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	1 C2.91
	Ds4	DISTURBED AREA STABILIZATION (SODDING)	5 C2.90
	Du	DUST CONTROL ON DISTURBED AREAS	6 C2.90
	Ss	SLOPE STABILIZATION	3 C2.90
	Sd4	TEMPORARY SEDIMENT TRAP	3 C2.91
	Dj	DIVERSION DITCH	5 C2.91
	Sd2-F	INLET SEDIMENT TRAP	6 C2.91

**EROSION CONTROL LEGEND:**

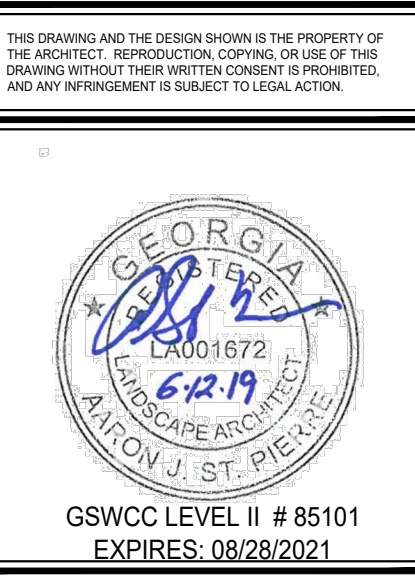
- LIMITS OF CONSTRUCTION/ DISTURBANCE
- SAMPLE POINT NUMBER (SEE C2.10 FOR GIS LOCATION)
- CHANNEL FLOW ARROW
- DIRECTION OF RAINFALL RUNOFF
- PERIMETER BEST MANAGEMENT PRACTICES (B.M.P.'s): CONTRACTOR TO INSTALL ALL PERIMETER CONTROL BMP's: TREE PROTECTION, SILT FENCE, AND THE INITIAL SEDIMENT STORAGE PONDS, AND THEIR ASSOCIATED DIVERSIONS PRIOR TO COMMENCING ANY GRADING ACTIVITY. SEE MATCHING HIGHLIGHTED AREA.

**CITY OF BROOKHAVEN EROSION CONTROL NOTES:**

1. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE.
2. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMANDS, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. PERMANENT VEGETATION SHALL BE PLANTED IF THE AREA IS TO BE LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.
3. PROVIDE GPS COORDINATES AT CONSTRUCTION EXIT AS REQUIRED ON THE NOTICE OF INTENT UNDER THE NPDES APPLICATION.
4. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
5. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
6. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.
8. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
9. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE, AS NECESSARY.
10. ANY DISTURBED AREA LEFT EXPOSED SHALL BE TEMPORARILY STABILIZED WITH MULCH OR TEMPORARY SEEDING AS SOON AS POSSIBLE AFTER ROUGH GRADING IS COMPLETED BUT WITHIN 14 DAYS AFTER DISTURBANCE. PERMANENT VEGETATION SHALL BE PLANTED IF THE AREA IS TO BE LEFT UNDISTURBED FOR GREATER THAN 6 MONTHS.
11. IF CONCRETE WORK IS DONE ON SITE THEN A CONCRETE WASHDOWN BMP SHALL BE PROVIDED OR A NOTE "CONCRETE WASHDOWN IS NOT ALLOWED ON SITE." THE CONCRETE WASHDOWN AREA, IF ALLOWED, SHALL BE FOR THE TOWLS, CONCRETE MIXER CHUTES, HOPPERS, AND THE REAR OF VEHICLES. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
12. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE GOVERNING EROSION CONTROL ORDINANCE.
13. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
14. ALL SEWER EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION.
15. TOILET FACILITIES SHALL BE MADE AVAILABLE TO CONSTRUCTION WORKERS WITHIN 300-FEET OF SITE.



VICINITY MAP



**POINT TABLE**

POINT #	DESCRIPTION	LATITUDE	LONGITUDE
1	SAMPLE POINT	N033.510378	W084.194166
2	SAMPLE POINT	N033.510338	W084.193678
3	CONSTRUCTION EXIT	N033.510077	W084.193970

**FLOODPLAIN NOTE:**  
 THIS SITE IS NOT LOCATED WITHIN A ZONE AS DEFINED BY FIRM COMMUNITY PANEL NUMBER 130890052J FOR UNINCORPORATED DeKALB COUNTY, GEORGIA (MAY 16, 2013).

**EROSION CONTROL NOTE:**  
 ALL EROSION CONTROL MEASURES TO BE INSTALLED PER 2016 GREEN BOOK. CONTRACTOR TO REMOVE SILT FENCE AFTER ALL SOIL IS STABILIZED AND AFTER ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

**CONSTRUCTION ADDRESS:**  
 BROOKHAVEN PARK  
 4158 PEACHTREE ROAD, NE  
 ATLANTA, GA 30319

**PRIMARY PERMITTEE / OWNER CONTACT:**  
 BRIAN BORDEN  
 CITY OF BROOKHAVEN  
 3360 OSBORNE ROAD  
 BROOKHAVEN, GA 30319  
 PHONE: 404.637.0562

**24-HR. EMERGENCY CONTACT:**  
 BRIAN BORDEN - 404.637.0562  
 BRIAN.BORDEN@BROOKHAVENGA.GOV

**EXISTING USE: MUNICIPAL PARK  
 PROPOSED USE: MUNICIPAL PARK**

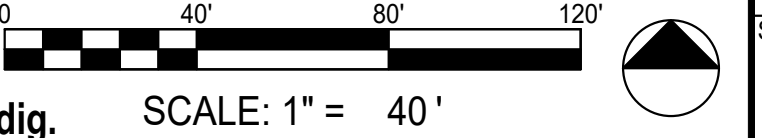
**NRCS SOILS TYPE LEGEND**  
 Ud URBAN LAND

**NOTE: ALL DISTURBED AREA FOR THIS PROJECT IS WITHIN "URBAN LAND" SOIL TYPE**  
 TOTAL PROJECT AREA: ± 14.98-AC  
 TOTAL DISTURBED AREA: ± 0.99-AC

**NATURE OF CONSTRUCTION ACTIVITY:**  
 DEMOLITION AND CONSTRUCTION OF SWIMMING POOL FOR THE CITY OF BROOKHAVEN.

- THERE ARE NO DELINEATED ON-SITE WETLANDS WITHIN 200 FEET OF THE PROJECT SITE
- THERE ARE DELINEATED STATE WATERS LOCATED ONSITE
- NORTH FORK PEACHTREE CREEK IS THE RECEIVING WATERS FOR THIS SITE
- THE SITE IS LOCATED LESS THAN 1-MILE FROM AN IMPAIRED STREAM SEGMENT

**DESIGNER GSWCC LEVEL II**  
 I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.



**BRIARWOOD PARK POOL PROJECT**  
**SITE DEVELOPMENT PACKAGE**  
 CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
 BROOKHAVEN, GA

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

BID SET

SHEET TITLE

ESPC PLAN SHEET KEY

PROJECT NO. 18141C	DATE 07/11/2019
DRAWN BY AM	SCALE 1" = 40'
CHECKED BY JM	SHEET NO.

**C2.10**



**GRADING PHASE  
EROSION CONTROL NOTES**

- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE PRELIMINARY GRADING PHASE OF CONSTRUCTION:
- MAINTAIN FULL COORDINATION WITH THE DESIGN PROFESSIONAL, CONTRACTOR AND REGULATORY INSPECTOR AT ALL TIMES REGARDING PROJECT SEQUENCE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND THEREFORE LIMITED DURATION, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED. NOTE SUB PHASES SHOWN ON PLANS.
- EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID DUMPING OR SLOUGHING INTO THE BUFFER AREAS.
- SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET AGAIN.
- EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT THE VARIOUS STAGES OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. AS THEY ARE RELOCATED, ANY DEFECTIVE MATERIALS IN THE BARRIER SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.
- ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF 10FT OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS IMMEDIATELY.
- TYPE "C" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS AND ALL FILL SLOPES 10FT OR GREATER IN HEIGHT. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. ADDITIONALLY, DIVERSION DIKES SHALL BE SHOWN TO BE CONSTRUCTED ALONG THE TOP OF ALL SAID FILL SLOPES WITH THE USE OF TEMPORARY DOWN DRAINS TO CONTROL STORMWATER RUNOFF AS SHOWN ON THE PLANS.
- INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN VIEW FOR SPECIFIC TYPE AND SEPARATE DETAILS FOR ADDITIONAL INFORMATION ON TYPE OF INLET PROTECTION SPECIFIED.
- STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.
- STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.
- ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.
- ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.
- AFTER PRELIMINARY GRADING ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DIKES AS SHOWN ON PLAN. THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT POND UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.
- SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED. INDICATORS MUST BE INSTALLED IN SEDIMENT BASINS INDICATING THE 1/3 FULL VOLUME FOR CLEANOUT.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.
- CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE, OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR.
- FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.
- THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.
- ALL INLET HEADWALLS TO BE PROTECTED WITH SILT GATES, AND ALL DROP INLETS TO BE UNDERCUT 1.5FT DEEP BY 10FT IN DIAMETER.
- ERODED VEGETATED SLOPES WILL BE BACKFILLED, SMOOTHED, SEEDED OR GRASSED AND COVERED WITH GEOTEXTILE MATTING.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

DESIGNER GSWCC LEVEL II  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

**Aaron J St Pierre**  
Level II Certified Design Professional

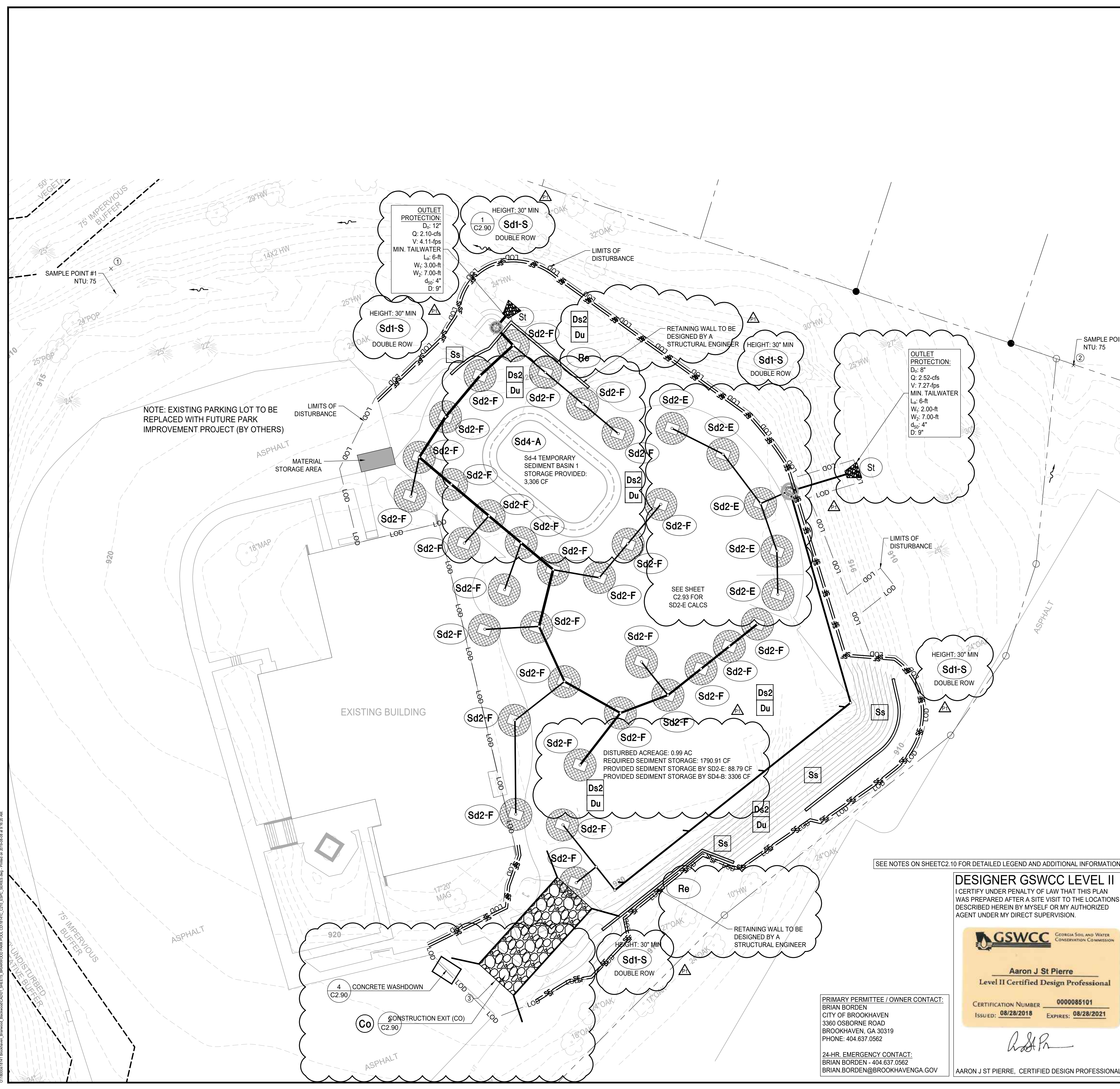
CERTIFICATION NUMBER: 0000085101  
ISSUED: 08/28/2018 EXPIRES: 08/28/2021

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL

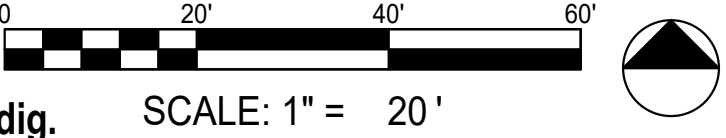
PRIMARY PERMITTEE / OWNER CONTACT:  
BRIAN BORDEN  
CITY OF BROOKHAVEN  
3360 OSBORNE ROAD  
BROOKHAVEN, GA 30319  
PHONE: 404.637.0562

24-HR. EMERGENCY CONTACT:  
BRIAN BORDEN - 404.637.0562  
BRIAN.BORDEN@BROOKHAVENGA.GOV

SEE NOTES ON SHEET C2.10 FOR DETAILED LEGEND AND ADDITIONAL INFORMATION



© 1/18/2019 HNTB Brookhaven, Brookwood Subarea/020201 SHEETS: 890400000 PARK POOL, CO. 911-14-01 CIVIL, EROSION, 8/28/18, 10:26 AM



SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
P1	07/11/19	PERMIT REVISIONS

BID SET

SHEET TITLE

ESPC PHASE 2

PROJECT NO.	18141C	DATE	07/11/2019
DRAWN BY	AM	SCALE	1" = 20'
CHECKED BY	JM	SHEET NO.	C2.21

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

BID SET

SHEET TITLE

ESPC PHASE 3

PROJECT NO. 18141C DATE 07/11/2019

DRAWN BY AM SCALE 1" = 20'

CHECKED BY JM SHEET NO.

**C2.31**

**FINAL PHASE  
EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE FINAL EROSION CONTROL PHASE OF CONSTRUCTION:

MAINTAIN FULL COORDINATION WITH THE DESIGN PROFESSIONAL, CONTRACTOR AND REGULATORY INSPECTOR AT ALL TIMES REGARDING PROJECT SEQUENCE.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT PONDS AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE HALF-WAY POINT ON THE RISER.

AFTER CURBING, GRADED AGGREGATE BASE, AND PAVEMENT HAVE BEEN INSTALLED, ALL INLET SEDIMENT TRAPS ON SINGLE AND DOUBLE WING CATCH BASINS ALONG WITH ANY CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB FILTER INLET PROTECTION. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL ROADWAY AND PARKING SHOULDERS SHOULD BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE-HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS DIRECTED BY THE ON-SITE INSPECTOR OR THE CIVIL ENGINEER.

ALL TEMPORARY SEDIMENT BASINS SHALL BE REMOVED WHEN THE DEVELOPMENT IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH PERMANENT VEGETATION.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

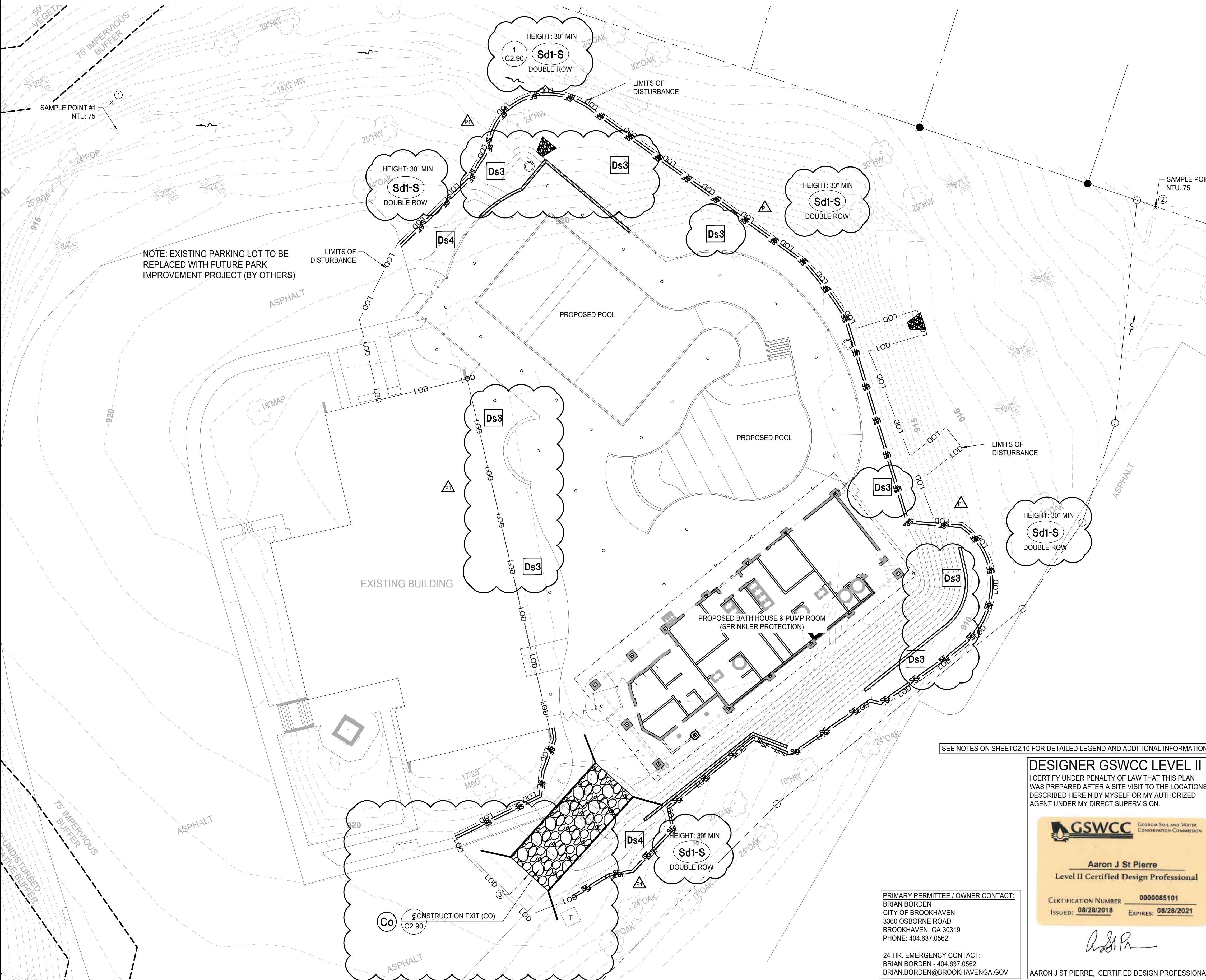
THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO CONSTRUCTION ACTIVITY BY OTHERS.

ERODED VEGETATED SLOPES WILL BE BACKFILLED, SMOOTHED, SEEDED OR GRASSED AND COVERED WITH GEOTEXTILE MATTING.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

UPON COMPLETION OF THE PROJECT AND RECEIPT OF CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM UNLESS NOTED ON PLANS.

PHASE III EROSION CONTROL NOTE:  
ALL EROSION CONTROL MEASURES TO BE INSTALLED PER 2016 GREEN BOOK. CONTRACTOR TO REMOVE SILT FENCE AFTER ALL SOIL IS STABILIZED AND AFTER ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.



SEE NOTES ON SHEET C2.10 FOR DETAILED LEGEND AND ADDITIONAL INFORMATION.

**DESIGNER GSWCC LEVEL II**  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

**Aaron J St Pierre**  
Level II Certified Design Professional

CERTIFICATION NUMBER: 0000085101  
ISSUED: 08/28/2018 EXPIRES: 08/28/2021

*AJP*

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL

PRIMARY PERMITTEE / OWNER CONTACT:  
BRIAN BORDEN  
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3360 OSBORNE ROAD  
BROOKHAVEN, GA 30319  
PHONE: 404.637.0562

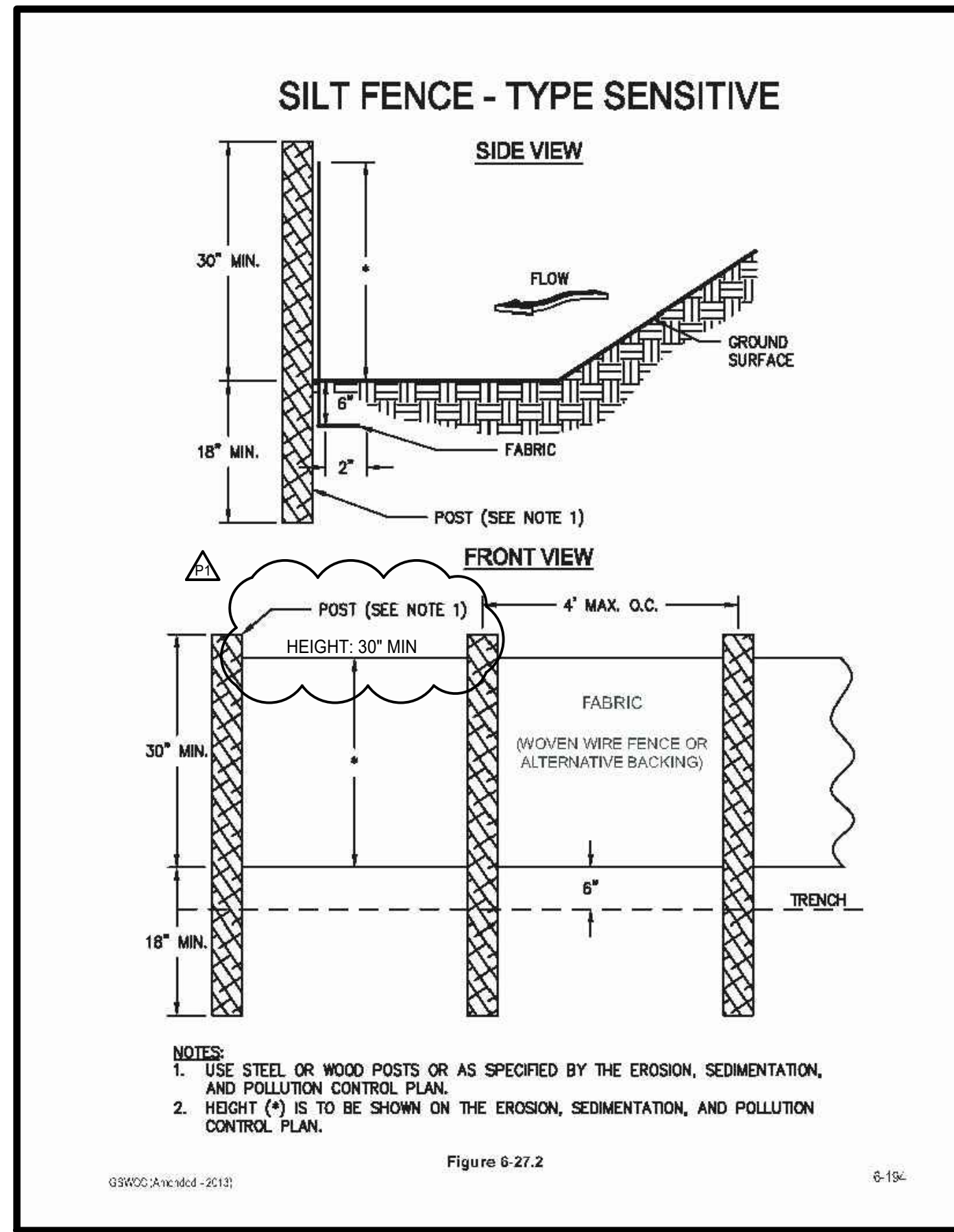
24-HR. EMERGENCY CONTACT:  
BRIAN BORDEN - 404.637.0562  
BRIAN.BORDEN@BROOKHAVENGA.GOV

Know what's below.  
Call before you dig.

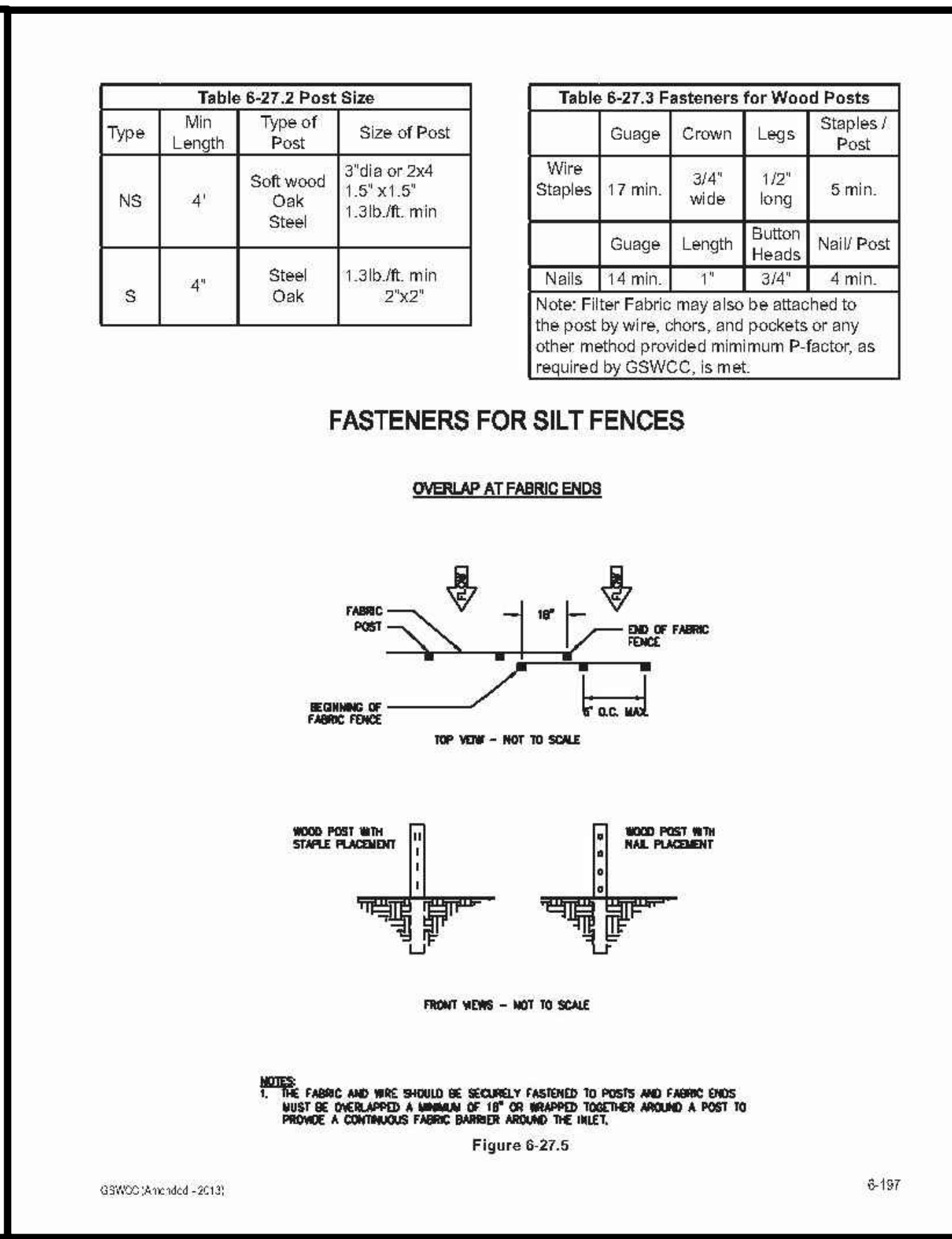
SCALE: 1" = 20'

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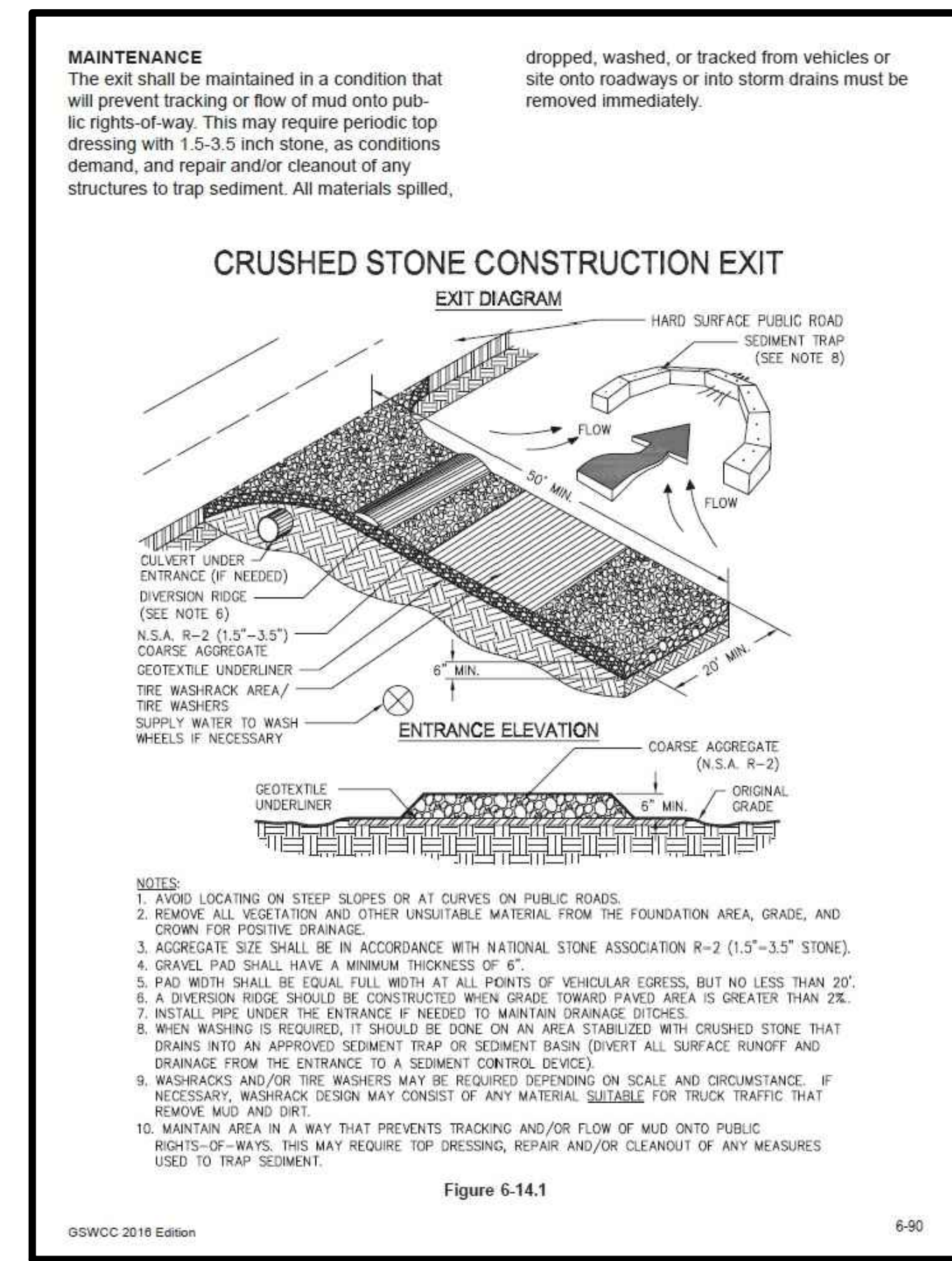




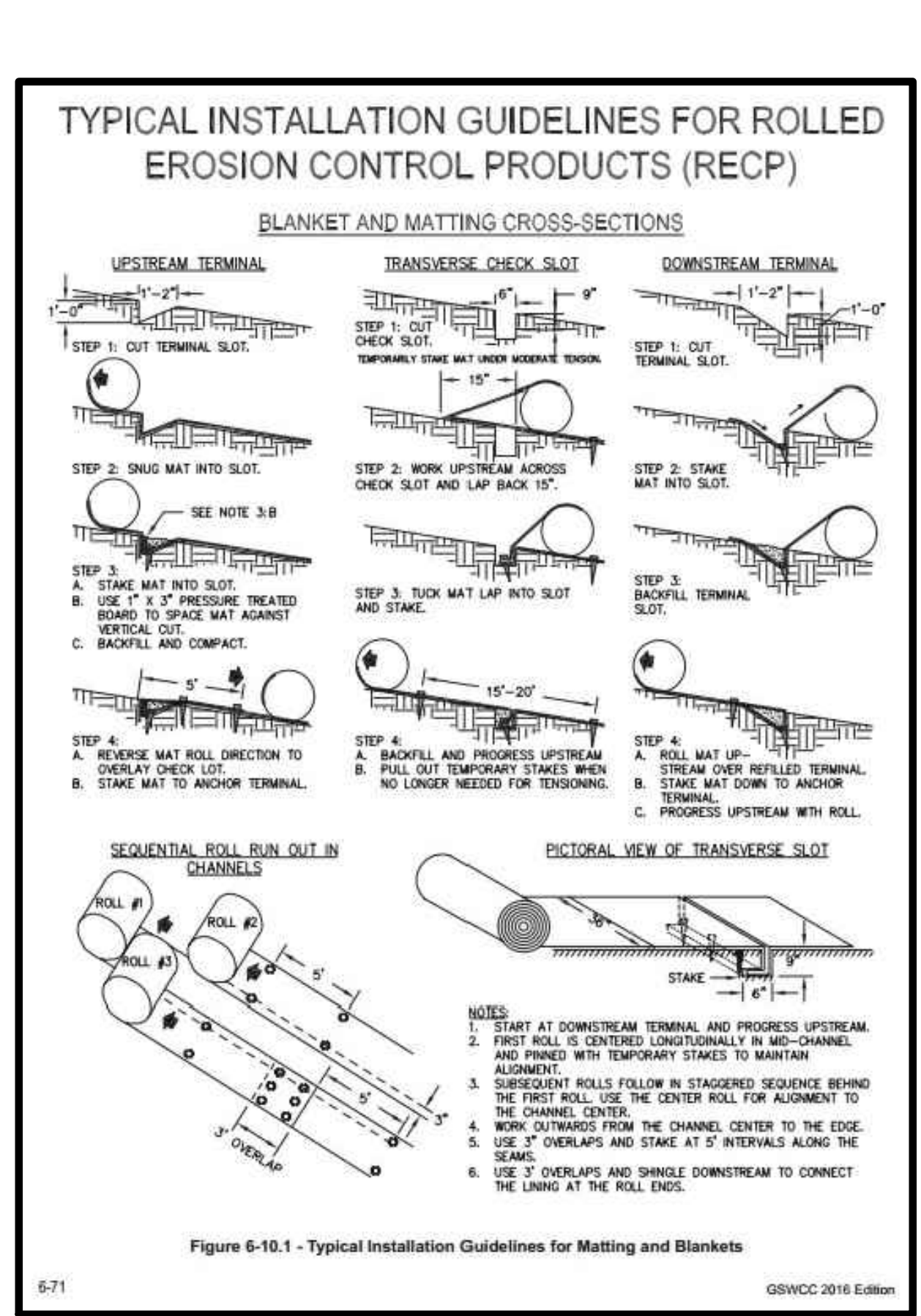
1 SILT FENCE - TYPE SENSITIVE (SD1-S)  
 SCALE: N.T.S.



2 CONSTRUCTION EXIT (CO)  
 SCALE: N.T.S.



3 SLOPE STABILIZATION (SS)  
 SCALE: N.T.S.



5 SOD MAINTENANCE AND INSTALLATION  
 SCALE: N.T.S.

**DESIGNER GSWCC LEVEL II**  
 I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
 Aaron J St Pierre  
 Level II Certified Design Professional  
 CERTIFICATION NUMBER 0000085101  
 ISSUED: 08/28/2018 EXPIRES: 08/28/2021

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL

**Table 1. Spray-On Adhesive Application Requirements**

Adhesive	Water Dilution	Nozzle Type	Application (Gal./Acre)
Anionic asphalt emulsion	7:1	Coarse spray	1,200
Latex emulsion	12.5:1	Fine spray	235
Resin-in-water emulsion	4:1	Fine spray	300

**Notes:**  
 1. APPLY ACCORDING TO PLAN.  
 2. MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL, OR TERRATAK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 3. STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.  
 4. IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.  
 5. COVER SURFACES WITH CRUSHED STONE OR GRAVEL.  
 6. APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.  
 7. APPLY SPRAY-ON ADHESIVES TO MINERAL SOILS DESCRIBED IN TABLE 1.  
 8. PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.  
 9. SUPPLEMENT SURFACE COVERING AS NEEDED.

6 DUST CONTROL (DU)  
 SCALE: N.T.S.

**Cleaning your equipment is important -- both for road safety AND for protection of equipment. Avoid environmental penalties by using BEST MANAGEMENT PRACTICES.**

**A Typical Best Management Practice**

**PICK THE RIGHT SPOT TO WASHDOWN**  
 Make sure:  
 • Washdown water stays in the pit.  
 • The pit is located away from a storm drain, stream or river.  
 • The pit is accessible to your vehicle.  
 • You have permission to use area for washdown.

**1** Coordinate with site superintendent to excavate a pit deep enough to contain the washdown water.

**2** Back in your equipment.

**3** Washdown only the chute, hopper and rear of the vehicle. Do NOT wash out the drum.

**4** Make sure washdown water goes into and stays in the pit.

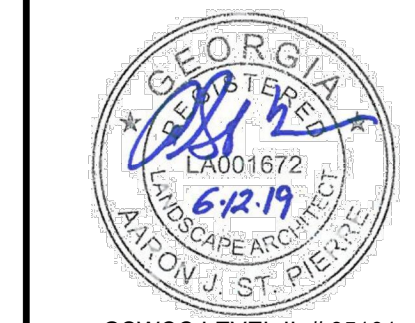
**5** Coordinate with site superintendent to fill in pit and smooth out ground.

**For additional examples of Best Management Practices, please contact the Small Business Environmental Assistance Program**  
 Toll-free 1-877-427-6255  
 404-362-4842

**Free & Confidential Assistance for Small Businesses**

4 CONCRETE WASHDOWN  
 SCALE: N.T.S.

**LOSE DESIGN**  
 SPACES FOR LIFE.



GSWCC LEVEL II # 85101  
 EXPIRES: 08/28/2021

BRIARWOOD PARK POOL PROJECT  
 SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
 BROOKHAVEN

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

BID SET

**SHEET TITLE**  
 DRAINAGE & ESPC DETAILS

PROJECT NO. 18141C  
 DATE 07/11/2019  
 DRAWN BY AM  
 SCALE N/A  
 CHECKED BY JM  
 SHEET NO. C2.90



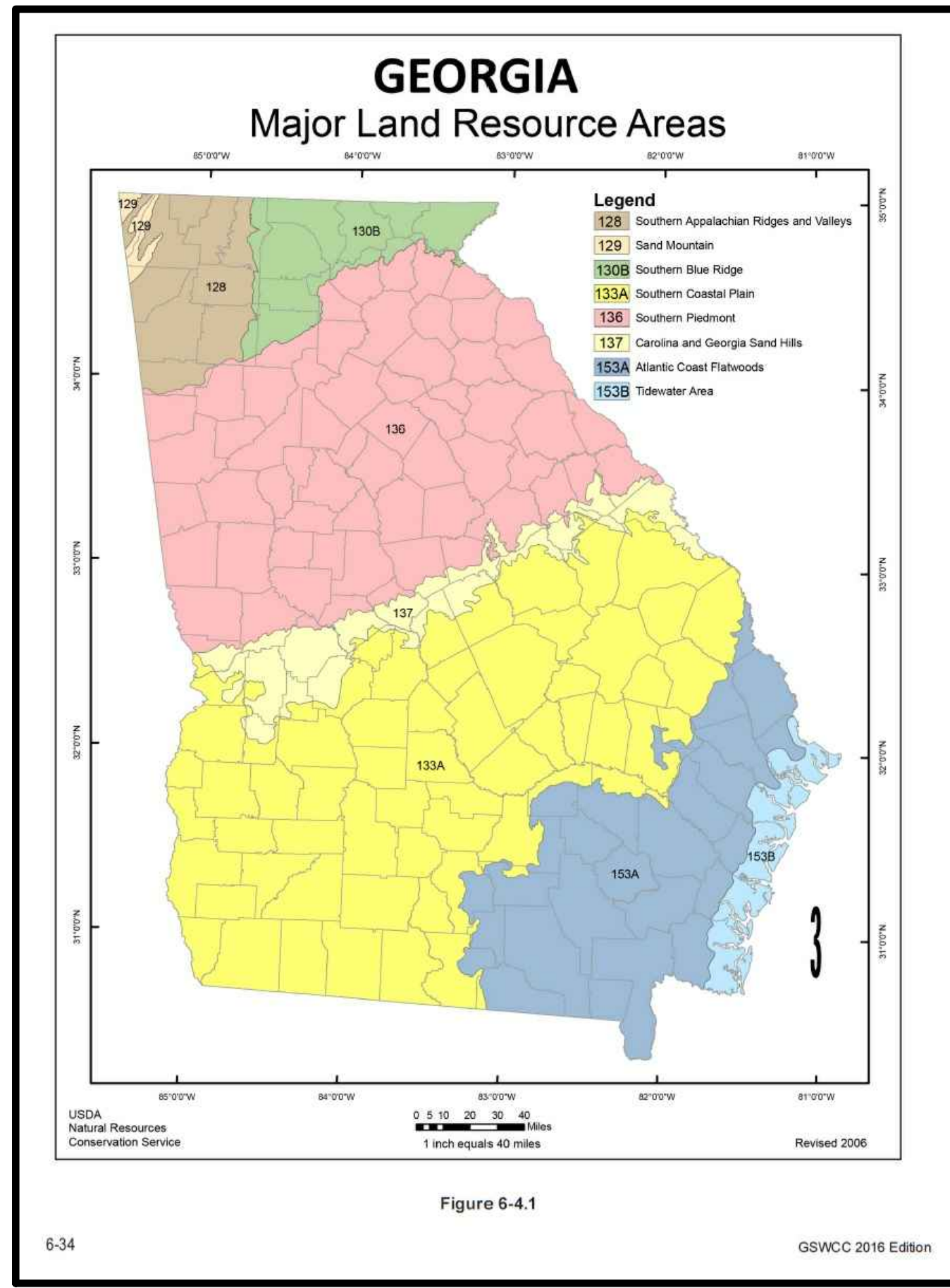


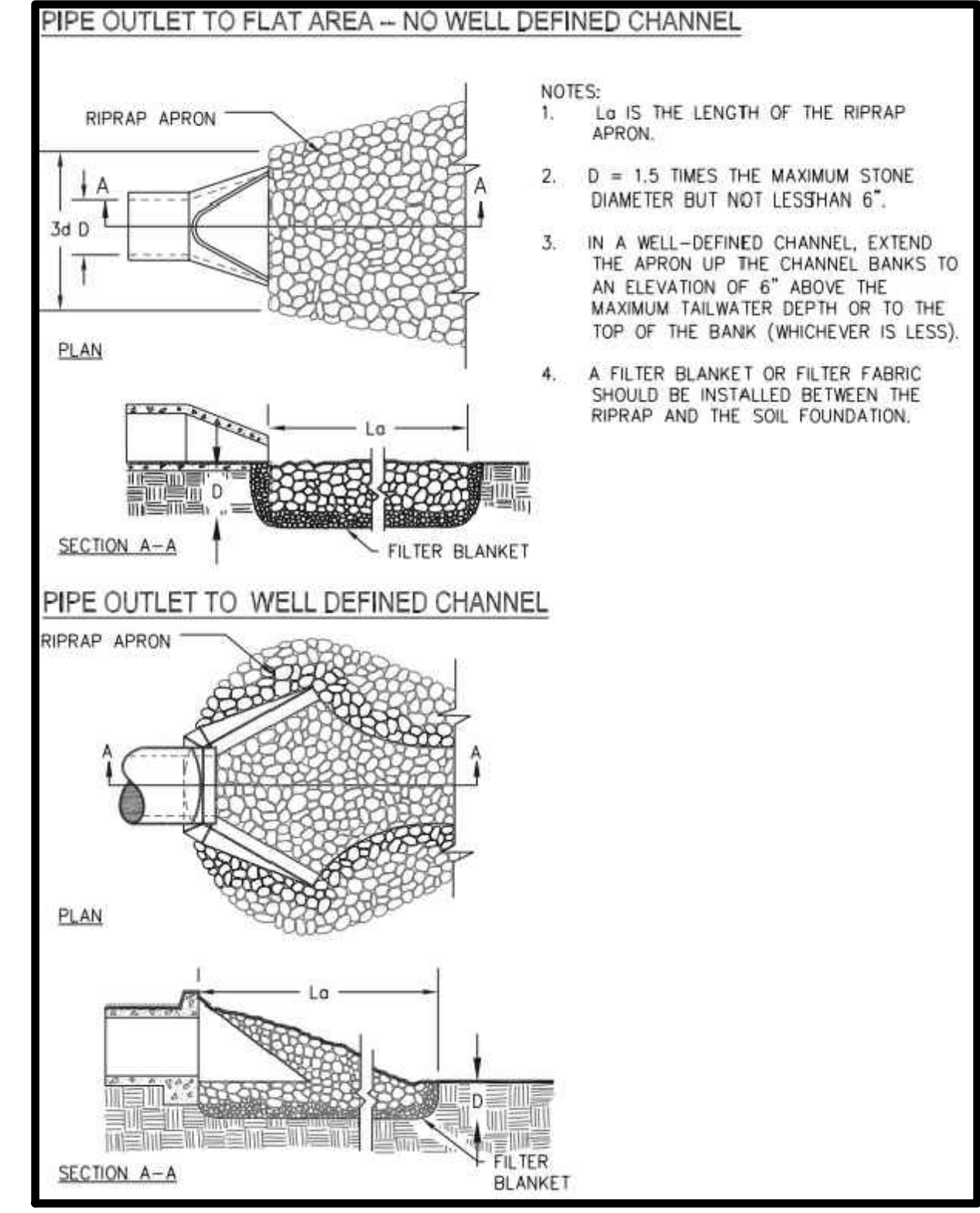
Table 6-4.1 - Temporary Cover or Companion Cover Crops  
PLANT, PLANTING RATE, AND PLANTING DATE FOR TEMPORARY COVER OR COMPANION CROPS\*

Species	Broadcast Rates Rate Per Acre	Resource Area <sup>1</sup>	Planting Dates by Resource Area												Remarks
			J	F	M	A	M	J	J	A	S	O	N	D	
<b>BARLEY</b> <i>Hordeum vulgare</i>	alone 3 bu. (144 lbs) in mixture 1.2 bu. (24lbs)	3.3 lbs 0.6 lb	M,L												14,000 seed per pound. Winter hardy. Use on productive soils.
<b>LESPEDEZA ANNUAL</b> <i>Lespedeza bicolor</i>	alone 40 lbs in mixture 10 lbs	0.9 lb 0.2 lb	M,L												200,000 seed per pound. May volunteer for several years. Use inoculant EL.
<b>LOVEGRASS, WEEPING</b> <i>Eragrostis curvula</i>	alone 4 lbs in mixture 2 lbs	0.1 lb 0.05 lb	M,L												1,500,000 seed per pound. May last for several years. Mix with <i>Cenchrus ciliaris</i> .
<b>MILLET BROWNTOP</b> <i>Panicum fasciculatum</i>	alone 40 lbs in mixture 10 lbs	0.9 lb 0.2 lb	M,L												137,000 seed per pound. Quick dense cover. 100 pounds inoculant completion in mixtures if needed at high rate.

Species	Broadcast Rates Rate Per Acre	Resource Area <sup>1</sup>	Planting Dates by Resource Area												Remarks
			J	F	M	A	M	J	J	A	S	O	N	D	
<b>MILLET PEARL</b> <i>Pennisetum glaucum</i>	alone 50 lbs	1.1 lbs	M,L												90,000 seed per pound. Quick dense cover. May reach 5' seed in height. Not recommended for wetlands.
<b>OATS</b> <i>Avena sativa</i>	alone 4 bu. (128 lbs) in mixture 1 bu. (32 lbs)	2.9 lbs 0.7 lb	M,L												13,000 seed per pound. Use on productive soils. Not as winter hardy as rye or barley.
<b>RYE</b> <i>Spike cereale</i>	alone 3 bu. (168 lbs) in mixture 1.2 bu. (28 lbs)	3.9 lbs 0.6 lb	M,L												18,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
<b>RYEGRASS ANNUAL</b> <i>Lolium temulentum</i>	alone 40 lbs	0.9 lb	M,L												207,000 seed per pound. Dense cover. Very competitive and is good to be used in mixtures.
<b>SUDANGRASS</b> <i>Sorghum sudanense</i>	alone 60 lbs	1.4 lbs	M,L												50,000 seed per pound. Good on droughty sites. Not recommended for wetlands.

Species	Broadcast Rates Rate Per Acre	Resource Area <sup>1</sup>	Planting Dates by Resource Area												Remarks
			J	F	M	A	M	J	J	A	S	O	N	D	
<b>TRITICALE</b> <i>X. aestivum</i>	alone 3 bu. (144 lbs) in mixture 1.2 bu. (24 lbs)	3.3 lbs 0.6 lb	C												Use on lower part of Southern Coastal Plain and in Atlantic Coastal Flatwoods only.
<b>WHEAT</b> <i>Triticum aestivum</i>	alone 3 bu. (180 lbs) in mixture 1.2 bu. (30 lbs)	4.1 lbs 0.7 lb	M,L												15,000 seed per pound. Winter hardy.

\*Temporary cover crops are very competitive and will crowd out perennials if needed too heavily.  
Reduce seeding rates by 50% when drilled.  
<sup>1</sup>M, L represents the Mountain, Blue Ridge, and Ridge and Valley MRLAs.  
<sup>2</sup>P represents the Southern Piedmont MRLA.  
<sup>3</sup>C represents Southern Coastal Plain, Sand Hills, Black Land, and Atlantic Coast Flatwoods MRLAs.  
See Appendix A.1, p. 6-10.

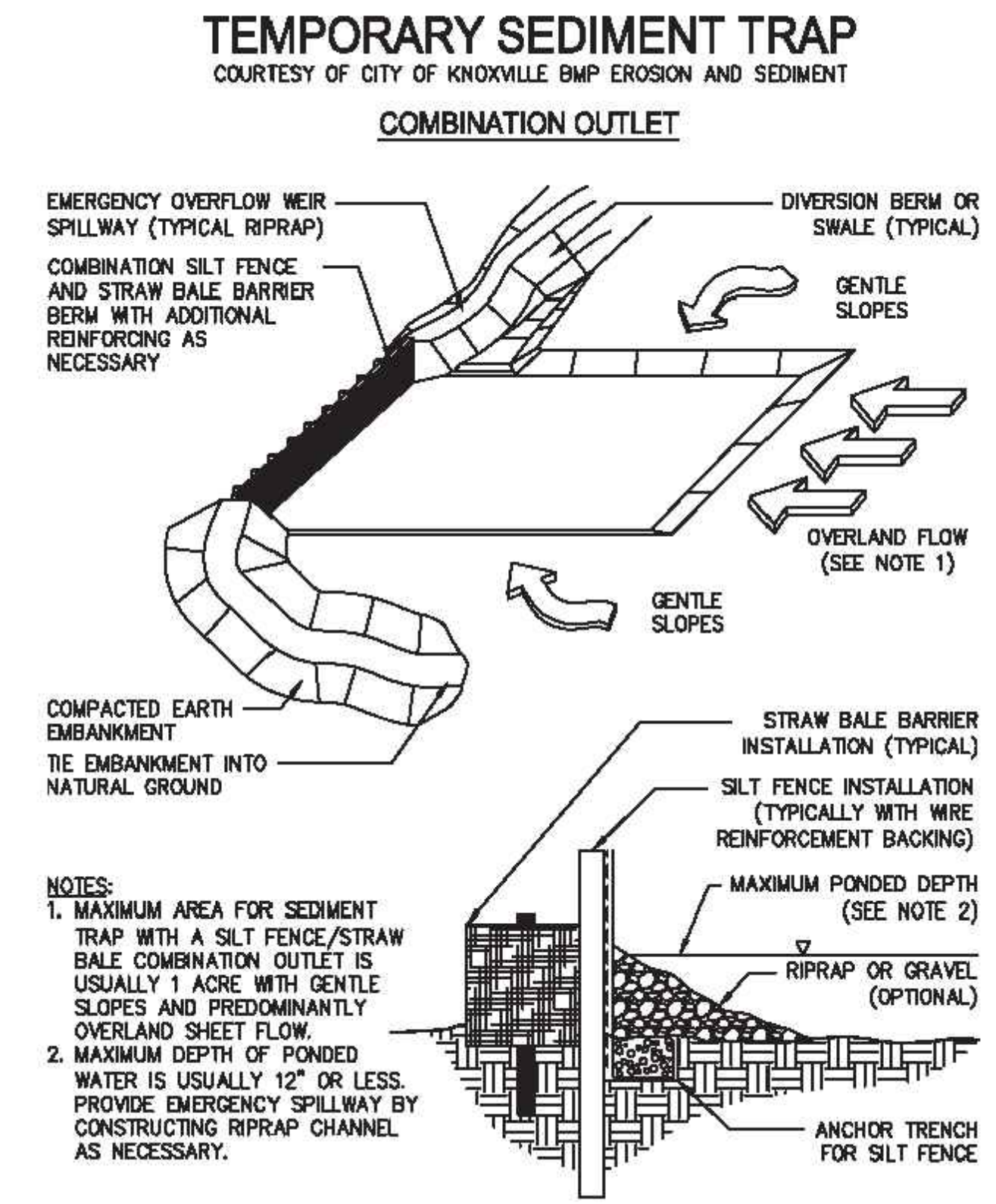


**OUTLET PROTECTION (HW A-1):**  
D<sub>50</sub>: 12"  
Q: 2-10-cfs  
V: 4.11-fps  
MIN. TAILWATER  
L<sub>2</sub>: 6-ft  
W<sub>2</sub>: 3.00-ft  
d<sub>50</sub>: 4"  
D: 9"

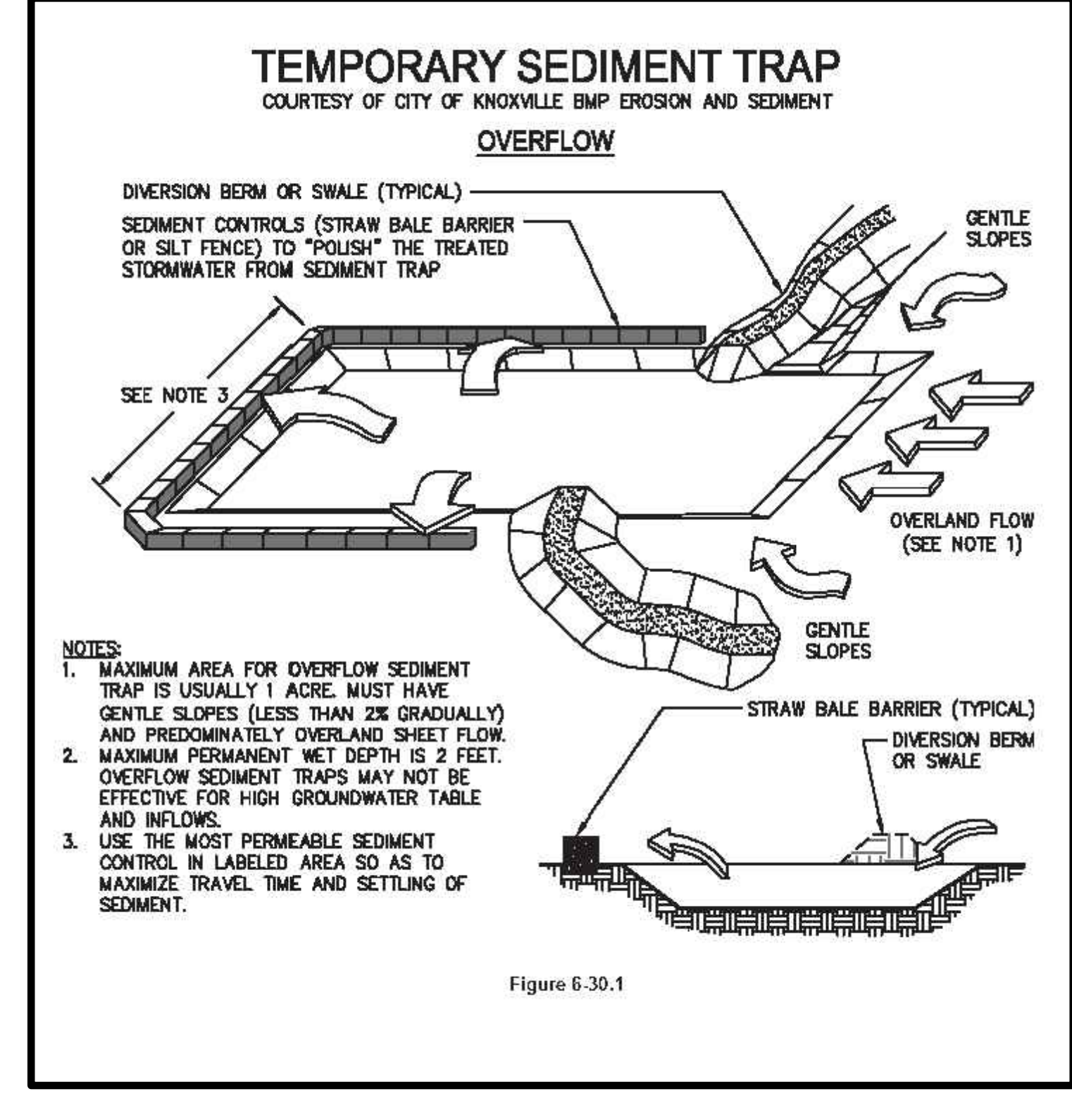
**OUTLET PROTECTION (HW B-1):**  
D<sub>50</sub>: 8"  
Q: 2.52-cfs  
V: 7.27-fps  
MIN. TAILWATER  
L<sub>2</sub>: 6-ft  
W<sub>2</sub>: 2.00-ft  
W<sub>3</sub>: 7.00-ft  
d<sub>50</sub>: 4"  
D: 9"

**1 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**  
SCALE: N.T.S.

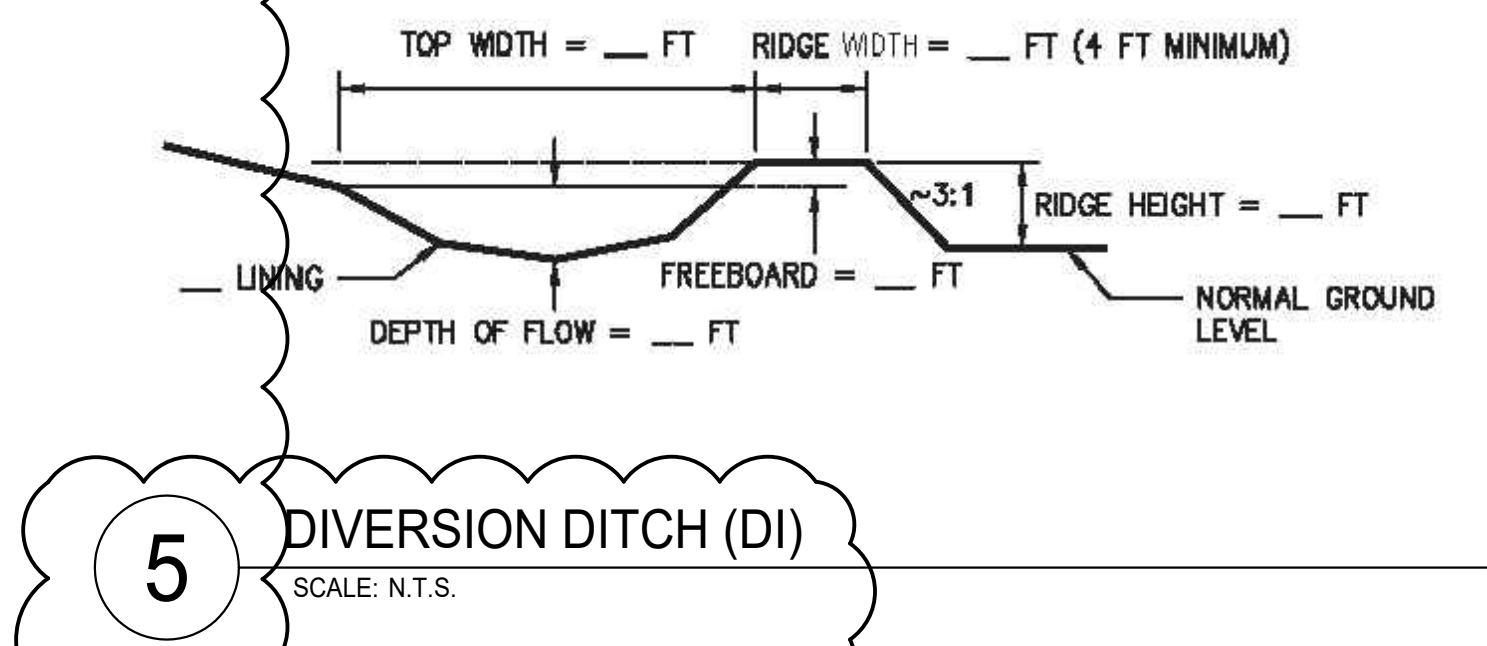
**2 STORM DRAIN OUTLET PROTECTION (ST)**  
SCALE: N.T.S.



**3 TEMPORARY SEDIMENT TRAP (SD4-B)**  
SCALE: N.T.S.



**4 TEMPORARY SEDIMENT TRAP (SD4-A)**  
SCALE: N.T.S.



**5 DIVERSION DITCH (DI)**  
SCALE: N.T.S.

**DESIGNER GSWCC LEVEL II**

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**Aaron J St Pierre**  
Level II Certified Design Professional

CERTIFICATION NUMBER: 0000085101  
ISSUED: 08/28/2018 EXPIRES: 08/28/2021

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL

**LOSE DESIGN**  
SPACES FOR LIFE.



GSWCC LEVEL II # 85101  
EXPIRES: 08/28/2021

**BRIARWOOD PARK POOL PROJECT**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

**SHEET TITLE**

**DRAINAGE & ESPC DETAILS**

**PROJECT NO.** 18141C  
**DATE** 07/11/2019

**DRAWN BY** AM  
**SCALE** N/A

**CHECKED BY** JM  
**SHEET NO.**

**C2.91**

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P, C P, C P, C P, C	warm weather
Bahiagrass	Pensacola	P, C	warm weather
Centipede	-	P, C	warm weather
St. Augustine	Common Bitterblue Raleigh	C	warm weather
Zoysia	Emerald Myer	P, C	warm weather
Tall Fescue	Kentucky	M-L, P	cool weather

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs/acre)	Nitrogen Top Dressing Rate (lbs/acre)
cool season grasses	first	6-12-12	1500	50-100
	second maintenance	6-12-12 10-10-10	1000 400	- 30
warm season grasses	first	6-12-12	1500	50-100
	second maintenance	6-12-12 10-10-10	800 400	50-100 30

**1** DISTURBED AREA STABILIZATION (WITH SODDING) (DS4)  
SCALE: N.T.S.

Species	Broadcast Rates Pure Live Seed (PLS) Rate Per Acre <sup>2</sup> Per 1000 sqft	Resource Area <sup>3</sup>	Planting Dates by Resource Area												Remarks	
			J	F	M	A	M	J	J	A	S	O	N	D		
BAHIA, PENSACOLA <i>Paspalum notatum</i>	alone or with temporary cover 60 lbs 1.4 lbs with other perennials 30 lbs 0.7 lb	P C														166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread into bermuda pastures and awns. Mix with <i>Setaria lespedeza</i> or weeping lovegrass.
BAHIA, WILMINGTON <i>Paspalum notatum</i>	alone or with temporary cover 60 lbs 1.4 lb with other perennials 30 lbs 0.7 lb	M-L P														Same as above.
BERMUDA, COMMON <i>Cynodon dactylon</i>	Hulled seed alone 10 lbs 0.2 lb with other perennials 5 lbs 0.7 lb	P C														1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.
BERMUDA, COMMON <i>Cynodon dactylon</i>	Unhulled seed with temporary cover 10 lbs 0.2 lb with other perennials 5 lbs 0.1 lb	P C														Plant with winter annuals. Plant with Tall Fescue

Species	Broadcast Rates Pure Live Seed (PLS) Rate Per Acre <sup>2</sup> Per 1000 sqft	Resource Area <sup>3</sup>	Planting Dates by Resource Area												Remarks	
			J	F	M	A	M	J	J	A	S	O	N	D		
BERMUDA SPRIGS <i>Cynodon dactylon</i>	40 cu ft or sod plugs 3'x3'	M-L P C														A cubic foot contains approximately 650 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs.
Tif 78	Coastal, Common, of Tif 44	C														Same as above. Southern Coastal Plain only.
CENTIPEDE <i>Eremochloa ophiuroides</i>	Block sod only	P C														Drought tolerant. Full sun or partial shade. Effective adjacent to concrete and in compacted flow areas. Irrigation is needed until fully established. Do not plant near pastures. Winterhardy as far as north Athens and Atlanta.
CROWNVEATCH <i>Coronilla varia</i>	with winter annuals or cool season grasses	M-L P														100,000 seed per pound. Dense growth. Drought tolerant and fire resistant. Attractive rose, pink and white blossoms spring to late fall. Mix with 30 pounds of Tall fescue or 15 pounds of rye. Inoculate see with M inoculant. Use from North Atlanta and Northward.

Species	Broadcast Rates Pure Live Seed (PLS) Rate Per Acre <sup>2</sup> Per 1000 sqft	Resource Area <sup>3</sup>	Planting Dates by Resource Area												Remarks	
			J	F	M	A	M	J	J	A	S	O	N	D		
FESCUE, TALL <i>Festuca arundinacea</i>	alone 50 lbs 1.1 lb with other perennials 30 lbs 0.7 lb	M-L P														227,000 seed per pound. Use alone only on better sites. Mix with perennial lespedeza or Crownvetch. Apply topdressing in spring following fall plantings. Not for heavy use areas or athletic fields.
KUDZU <i>Pueraria thumbergiana</i>	Plants or crowns 3' - 7' apart	ALL														Rapid and vigorous growth. Excellent in gully erosion control. Will climb. Good livestock forage.
LESPEDEZA SERICEA <i>Lespedeza sericea</i>	scarified 60 lbs 1.4 lb unscarified 75 lbs 1.7 lb	M-L P C M-L P C														350,000 seed per pound. Widely adapted. Low maintenance. Mix with Weeping lovegrass, Common bermuda, bahia, or tall fescue. Takes 2 to 3 years to become fully established. Excellent on roadbanks. Inoculate seed with EL inoculant.
seed-bearing hay	3 tons 1338 lbs	M-L P C														Cut when seed mature is mature, but before it shatters. Add Tall fescue or winter annuals.

**2** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) (DS3)  
SCALE: N.T.S.

Species	Broadcast Rates Pure Live Seed (PLS) Rate Per Acre <sup>2</sup> Per 1000 sqft	Resource Area <sup>3</sup>	Planting Dates by Resource Area												Remarks	
			J	F	M	A	M	J	J	A	S	O	N	D		
LESPEDEZA <i>Ambro virgata</i> <i>Lespedeza virgate DC</i> or <i>Appalow</i> <i>Lespedeza cuneata</i> (Domoni) G. Doni	scarified 60 lbs 1.4 lb unscarified 75 lbs 1.7 lb	M-L P C M-L P C														300,000 seed per pound. Height of growth is 18 to 24 inches. Advantageous in urban areas. Spreading-type growth. New growth has bronze coloration. Mix with weeping lovegrass, common bermuda, bahia, tall fescue or winter annuals. Do not mix with <i>Setaria lespedeza</i> . Slow to develop solid stands. Inoculate seed with EL inoculant.
LESPEDEZA, SHRUB <i>Lespedeza bicolor</i> <i>Lespedeza thumbergii</i>	plants 3' x 3'	M-L P C														Provide wildlife food and cover.
LOVEGRASS, WEEPING <i>Eragrostis curvula</i>	alone 4 lbs 0.1 lb with other perennials 2 lbs 0.05 lb	M-L P C														1,500,000 seed per pound. Quick cover. Drought tolerant. Grows well with <i>Setaria lespedeza</i> on roadbanks.

Species	Broadcast Rates Pure Live Seed (PLS) Rate Per Acre <sup>2</sup> Per 1000 sqft	Resource Area <sup>3</sup>	Planting Dates by Resource Area												Remarks	
			J	F	M	A	M	J	J	A	S	O	N	D		
MAIDENCANE <i>Panicum hemitomon</i>	2' x 3' spacing	ALL														For very wet sites. May clog channels. Dig sprigs from local sources. Use along river banks and shorelines.
PANICGRASS, ATLANTIC COASTAL <i>Panicum amarum var amarulum</i>	20 lbs 0.5 lb	P C														Grows well on coastal sand dunes, borrow areas, and gravel pits. Provides winter cover for wildlife. Mix with <i>Setaria lespedeza</i> except on sand dunes.
REED CANARY GRASS <i>Phalaris arundinacea</i>	alone 50 lbs 1.1 lb with other perennials 30 lbs 0.7 lb	M-L P														Grows similar to Tall fescue
SUNFLOWER, 'AZTEC' MAXIMILLIAN <i>Helianthus maximiliani</i>	10 lbs 0.2 lb	M-L P C														227,000 seed per pound. Mix with Weeping lovegrass or other low-growing grasses or legumes.

1 Reduce seeding rates by 50% when drilled  
2 PLS is an abbreviation for Pure Live Seed. Refer to Section V.E. of these specifications.  
3 M-L represents the Mountain, Blue Ridge, and Ridges and Valleys MLRAs  
P represents the Southern Piedmont MLRA  
C represents the Souther Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast: Flatwoods MLRAs. See Figure 6-4.1

**DESIGNER GSWCC LEVEL II**  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**Aaron J St Pierre**  
Level II Certified Design Professional

CERTIFICATION NUMBER 0000085101  
ISSUED: 08/28/2018 EXPIRES: 08/28/2021

*AJP*

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL

NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

BID SET

SHEET TITLE  
**DRAINAGE & ESPC DETAILS**

PROJECT NO. 18141C	DATE 07/11/2019
DRAWN BY DZ	SCALE XX = XXX
CHECKED BY DY	
SHEET NO.	

O:\180841\18141C\Brookhaven\_Briarwood\_Pool\Drawings\DRAINAGE\ESPC\DETAILS\BIDSET\DWG\BIDSET\DWG\DRAINAGE\_AND\_ESPC\_DETAIL\_BIDSET.dwg - Printed on 2/18/2020 at 9:17:50 AM

SUBMITTALS / REVISIONS	
NO.	DATE DESCRIPTION
P1	07/31/19 PERMIT REVISIONS

BID SET

SHEET TITLE

**DRAINAGE & ESPC DETAILS**

PROJECT NO.	DATE
18141C	07/11/2019
DRAWN BY	SCALE
DZ	XX = XXX
CHECKED BY	
DY	
SHEET NO.	

**C2.93**

**TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN** Y1B-2

If the EXCAVATED INLET SEDIMENT TRAP is used, show the following information:

1. Drainage area = 0.010 ac
2. Required sediment storage = 87 cy/ac \* drainage area  
Required sediment storage = 87 cy/ac \* 0.010 ac  
Required sediment storage = 0.67 cy = 18.09 cf
3. Assume excavation depth (minimum of 1.5 ft.) = 1.5 ft
4. Assume slope of sides (shall not be steeper than 2:1) = 2 :1
5. Determine required surface area  
 $SA_{min} = \text{Required sediment storage} / \text{excavation depth}$   
 $SA_{min} = 0.67 \text{ cy} / 1.5 \text{ ft}$   
 $SA_{min} = 12.06 \text{ sf}$
6. Assume shape of excavation and determine dimensions.  
(A rectangular shape with 2:1 length to width ratio is recommended.)  
Shape: RECT  
Dimensions: l = 3.5 ft w = 3.5 ft diameter (if applicable) = \_\_\_\_\_ ft

Provide a detail showing the depth, length and width, or diameter (if applicable), and side slopes of the excavation.

**TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN** Y1B-2.1

If the EXCAVATED INLET SEDIMENT TRAP is used, show the following information:

1. Drainage area = 0.012 ac
2. Required sediment storage = 87 cy/ac \* drainage area  
Required sediment storage = 87 cy/ac \* 0.012 ac  
Required sediment storage = 0.804 cy = 21.71 cf
3. Assume excavation depth (minimum of 1.5 ft.) = 1.5 ft
4. Assume slope of sides (shall not be steeper than 2:1) = 2 :1
5. Determine required surface area  
 $SA_{min} = \text{Required sediment storage} / \text{excavation depth}$   
 $SA_{min} = 0.804 \text{ cy} / 1.5 \text{ ft}$   
 $SA_{min} = 14.47 \text{ sf}$
6. Assume shape of excavation and determine dimensions.  
(A rectangular shape with 2:1 length to width ratio is recommended.)  
Shape: RECT  
Dimensions: l = 3.8 ft w = 3.8 ft diameter (if applicable) = \_\_\_\_\_ ft

Provide a detail showing the depth, length and width, or diameter (if applicable), and side slopes of the excavation.

**TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN** Y1B-2.2

If the EXCAVATED INLET SEDIMENT TRAP is used, show the following information:

1. Drainage area = 0.016 ac
2. Required sediment storage = 87 cy/ac \* drainage area  
Required sediment storage = 87 cy/ac \* 0.016 ac  
Required sediment storage = 1.072 cy = 28.94 cf
3. Assume excavation depth (minimum of 1.5 ft.) = 1.5 ft
4. Assume slope of sides (shall not be steeper than 2:1) = 2 :1
5. Determine required surface area  
 $SA_{min} = \text{Required sediment storage} / \text{excavation depth}$   
 $SA_{min} = 1.072 \text{ cy} / 1.5 \text{ ft}$   
 $SA_{min} = 19.30 \text{ sf}$
6. Assume shape of excavation and determine dimensions.  
(A rectangular shape with 2:1 length to width ratio is recommended.)  
Shape: RECT  
Dimensions: l = 4.5 ft w = 4.5 ft diameter (if applicable) = \_\_\_\_\_ ft

Provide a detail showing the depth, length and width, or diameter (if applicable), and side slopes of the excavation.

**TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN** Y1B-3

If the EXCAVATED INLET SEDIMENT TRAP is used, show the following information:

1. Drainage area = 0.010 ac
2. Required sediment storage = 87 cy/ac \* drainage area  
Required sediment storage = 87 cy/ac \* 0.010 ac  
Required sediment storage = 0.67 cy = 18.09 cf
3. Assume excavation depth (minimum of 1.5 ft.) = 1.5 ft
4. Assume slope of sides (shall not be steeper than 2:1) = 2 :1
5. Determine required surface area  
 $SA_{min} = \text{Required sediment storage} / \text{excavation depth}$   
 $SA_{min} = 0.67 \text{ cy} / 1.5 \text{ ft}$   
 $SA_{min} = 12.06 \text{ sf}$
6. Assume shape of excavation and determine dimensions.  
(A rectangular shape with 2:1 length to width ratio is recommended.)  
Shape: RECT  
Dimensions: l = 3.5 ft w = 3.5 ft diameter (if applicable) = \_\_\_\_\_ ft

Provide a detail showing the depth, length and width, or diameter (if applicable), and side slopes of the excavation.

**TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN** Y1B-4

If the EXCAVATED INLET SEDIMENT TRAP is used, show the following information:

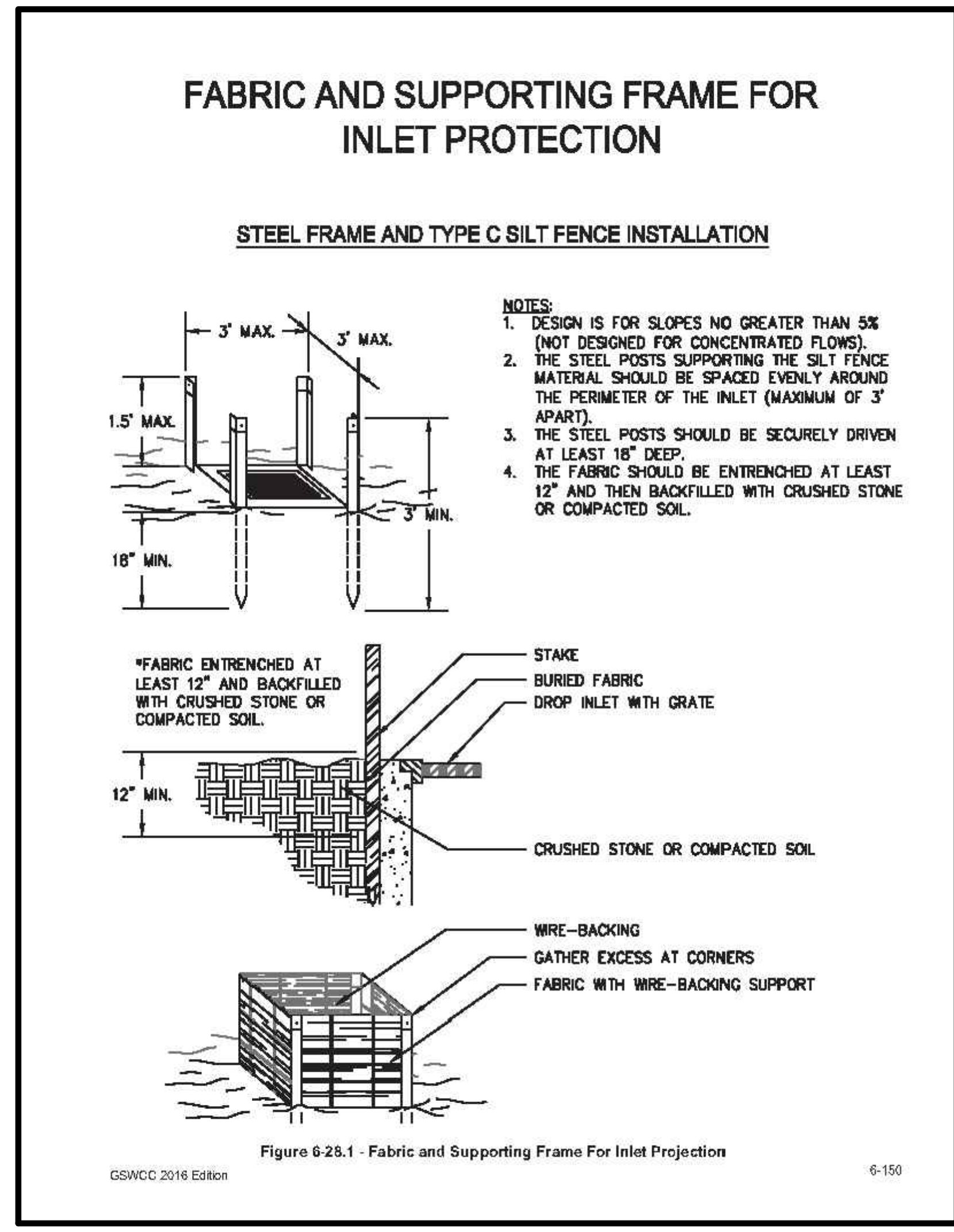
1. Drainage area = 0.009 ac
2. Required sediment storage = 87 cy/ac \* drainage area  
Required sediment storage = 87 cy/ac \* 0.009 ac  
Required sediment storage = 0.603 cy = 16.28 cf
3. Assume excavation depth (minimum of 1.5 ft.) = 1.5 ft
4. Assume slope of sides (shall not be steeper than 2:1) = 2 :1
5. Determine required surface area  
 $SA_{min} = \text{Required sediment storage} / \text{excavation depth}$   
 $SA_{min} = 0.603 \text{ cy} / 1.5 \text{ ft}$   
 $SA_{min} = 10.85 \text{ sf}$
6. Assume shape of excavation and determine dimensions.  
(A rectangular shape with 2:1 length to width ratio is recommended.)  
Shape: RECT  
Dimensions: l = 3.5 ft w = 3.5 ft diameter (if applicable) = \_\_\_\_\_ ft

Provide a detail showing the depth, length and width, or diameter (if applicable), and side slopes of the excavation.



Figure 6-28.7 Equivalent Inlet Sediment Trap

**1 EXCAVATED INLET SEDIMENT TRAP (SD2-E)**  
SCALE: N.T.S.



**2 INLET SEDIMENT TRAP (SD2-F)**  
SCALE: N.T.S.

**DESIGNER GSWCC LEVEL II**  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

**Aaron J St Pierre**  
Level II Certified Design Professional

CERTIFICATION NUMBER: 0000085101  
ISSUED: 08/28/2018 EXPIRES: 08/28/2021

*A. St Pierre*

AARON J ST PIERRE, CERTIFIED DESIGN PROFESSIONAL

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PROJECT INFORMATION	
ENGINEERED BY	BUD ROOT
PRODUCT MANAGER	770-231-8170 BUD.ROOT@ADS-PIPE.COM
ADS SALES REP	PAUL ROOT
PROJECT NO.	679-856-3500 PAUL.ROOT@ADS-PIPE.COM S127562



**BRIARWOOD POOL**  
BROOKHAVEN

**BAYSAYER BARRACUDA SPECIFICATIONS**

**MATERIALS AND DESIGN:**

CONCRETE STRUCTURES: DESIGNED FOR H-20 TRAFFIC LOADING AND APPLICABLE SOIL LOADS OR AS OTHERWISE DETERMINED BY A LICENSED PROFESSIONAL ENGINEER. THE MATERIALS AND STRUCTURAL DESIGN OF THE DEVICES SHALL BE PER ASTM C867 AND ASTM C868.

48" HP MANHOLE STRUCTURES: MADE FROM AN IMPACT MODIFIED COPOLYMER POLYPROPYLENE MEETING THE MATERIAL REQUIREMENTS OF ASTM F2764. THE ECCENTRIC CONE REDUCER SHALL BE MANUFACTURED FROM POLYETHYLENE MATERIAL MEETING ASTM D3500 CELL CLASS 21320CC. GASKETS SHALL BE MADE OF MATERIAL MEETING THE REQUIREMENTS OF ASTM F477.

SEPARATOR INTERNALS SHALL BE SUBSTANTIALLY CONSTRUCTED OF STAINLESS STEEL, POLYETHYLENE, OR OTHER THERMOPLASTIC MATERIAL APPROVED BY THE MANUFACTURER.

**PERFORMANCE:**

THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.

THE STORMWATER TREATMENT UNIT INTERNALS SHALL CONSIST OF: (1)SEPARATOR CONE ASSEMBLY, AND (1)SUMP ASSEMBLY WHICH INCLUDES(4) LEGS WITH "TEETH".

THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING 0.1-10 MICRA GRADATION OR EQUIVALENT AND 200 mg/L INFLUENT CONCENTRATION. SAID FULL-SCALE TESTING SHALL HAVE INCLUDED SEGMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.

THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH 40-75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.

THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT NJ/DE/P/NJ/CAT HDS PROTOCOL.

**MANUFACTURER:**

EACH STORMWATER TREATMENT SYSTEM SHALL BE A BARRACUDA SYSTEM AS MANUFACTURED BY BAYSAYER, L.L.C. 1030 DEER HOLLOW DR., MOUNT AIRY, NC 27171. PHONE (301) 829-6470, FAX (301) 829-3747, TOLL FREE 1-800-228-7282 (1-800-BAYSAYER), EMAIL [INFO@BAYSAYER.COM](mailto:INFO@BAYSAYER.COM)

**BARRACUDA MAINTENANCE**

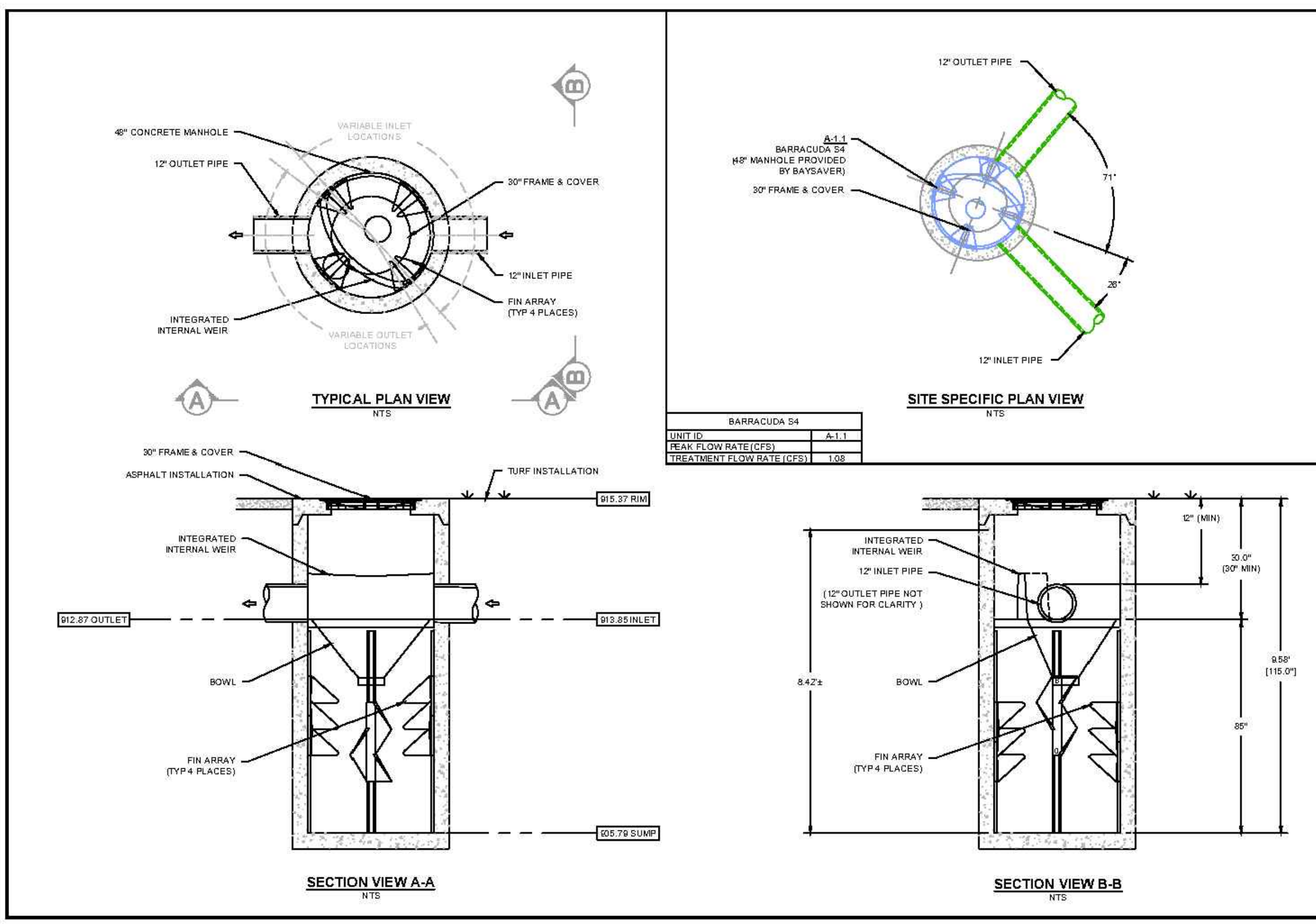
BARRACUDA SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EXCEEDS 20 INCHES. MINIMUM INSPECTION IS RECOMMENDED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF THE UNIT.

**MAINTENANCE INSTRUCTIONS:**

1. REMOVE THE MANHOLE COVER TO PROVIDE ACCESS TO THE POLLUTANT STORAGE. POLLUTANTS ARE STORED IN THE SUMP. BELOW THE BOWL ASSEMBLY VISIBLE FROM THE SURFACE. YOU WILL ACCESS THIS AREA THROUGH THE 10" DIAMETER ACCESS CYLINDER.
2. USE A VACUUM TRUCK OR OTHER SIMILAR EQUIPMENT TO REMOVE ALL WATER, LEACHATE, OILS AND SEDIMENT.
3. USE A HIGH PRESSURE HOSE TO CLEAN THE MANHOLE OF ALL THE REMAINING SEDIMENT AND DEBRIS. THEN, USE THE VACUUM TRUCK TO REMOVE THE WATER.
4. FILL THE CLEANED MANHOLE WITH WATER UNTIL THE LEVEL REACHES THE INVERT OF THE OUTLET PIPE.
5. REPLACE THE MANHOLE COVER.
6. DISPOSE OF THE POLLUTED WATER, OILS, SEDIMENT AND TRASH AT AN APPROVED FACILITY.
  - LOCAL REGULATIONS PROHIBIT THE DISCHARGE OF SOLID MATERIAL INTO THE SANITARY SYSTEM. CHECK WITH THE LOCAL SEWER AUTHORITY FOR AUTHORITY TO DISCHARGE THE LIQUID.
  - SOME LOCALITIES TREAT THE POLLUTANTS AS LEACHATE. CHECK WITH LOCAL REGULATORS ABOUT DISPOSAL REQUIREMENTS.
  - ADDITIONAL LOCAL REGULATIONS MAY APPLY TO THE MAINTENANCE PROCEDURE.

**BARRACUDA INSTALLATION NOTES:**

INSTALLATION OF THE STORMWATER TREATMENT UNIT(S) SHALL BE PERFORMED PER MANUFACTURERS INSTALLATION INSTRUCTIONS. SUCH INSTRUCTIONS CAN BE OBTAINED BY CALLING ADVANCED DRAINAGE SYSTEMS AT (800) 821-8710 OR BY LOGGING ON TO [WWW.ADS-PIPE.COM](http://WWW.ADS-PIPE.COM) OR [WWW.BAYSAYER.COM](http://WWW.BAYSAYER.COM).



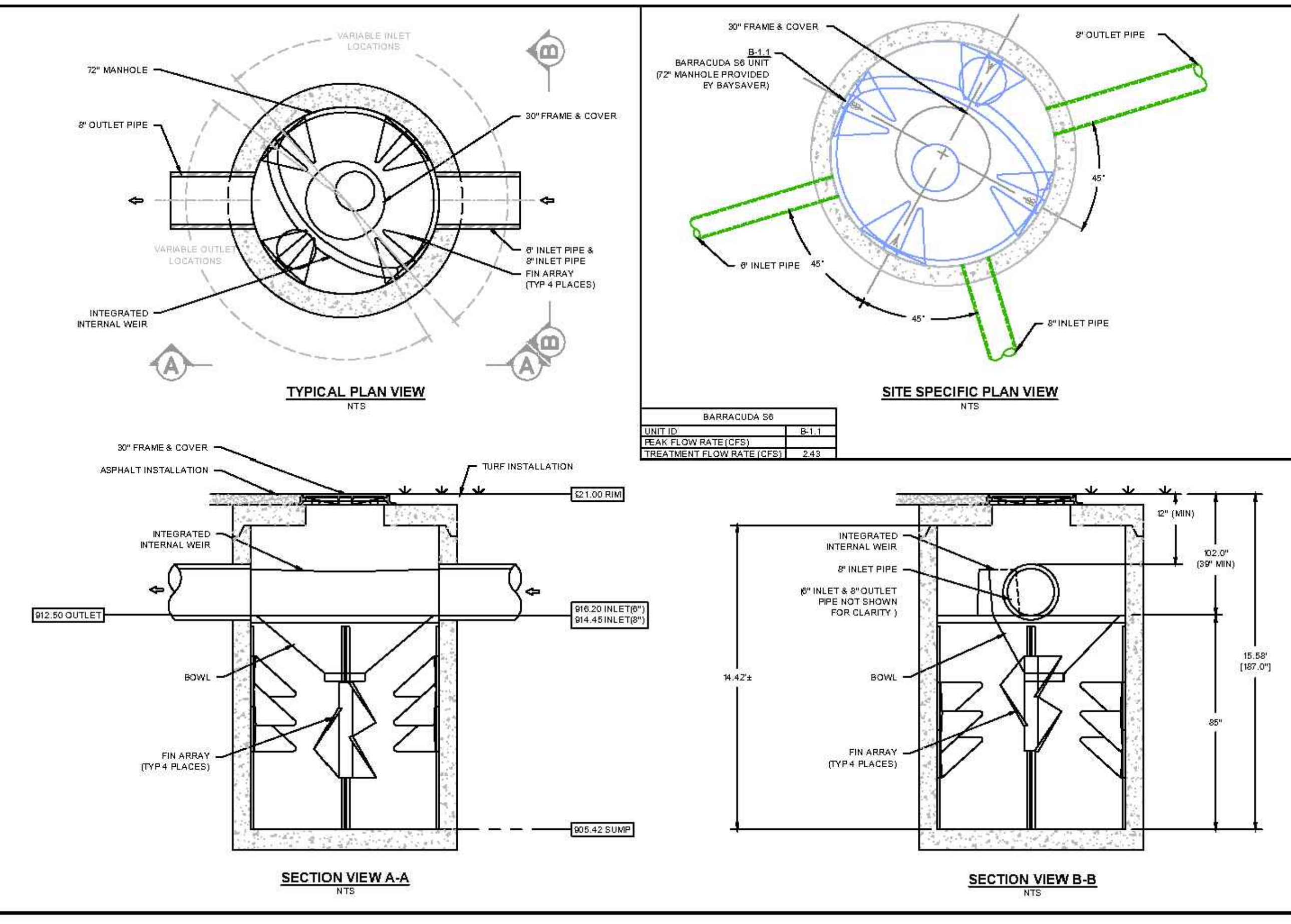
BARRACUDA S6	
UNIT ID	A.1.1
PEAK FLOW RATE (CFS)	
TREATMENT FLOW RATE (CFS)	1.68

BRIARWOOD POOL BROOKHAVEN			
DATE:	07/19/19	DRAWN:	GJW
PROJECT #:	S127562	CHECKED:	CJD
DATE:		DESIGNED:	
SCALE:		DRAWN BY:	
CHECKED BY:		DRAWN BY:	
DESIGNED BY:		CHECKED BY:	

100% DRAWING BY ADS-PIPE
4848 TRILUMEN BLVD
HILLIARD, OH 43026
PH: 614-228-7282
1-800-228-7282
WWW.ADS-PIPE.COM
WWW.BAYSAYER.COM



BARRACUDA S6	
UNIT ID	B.1.1
PEAK FLOW RATE (CFS)	
TREATMENT FLOW RATE (CFS)	2.43

BRIARWOOD POOL BROOKHAVEN			
DATE:	07/19/19	DRAWN:	GJW
PROJECT #:	S127562	CHECKED:	CJD
DATE:		DESIGNED:	
SCALE:		DRAWN BY:	
CHECKED BY:		DRAWN BY:	
DESIGNED BY:		CHECKED BY:	

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HILLIARD, OH 43026
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1-800-228-7282
WWW.ADS-PIPE.COM
WWW.BAYSAYER.COM



**1 ADS WATER QUALITY UNIT**  
SCALE: N.T.S.



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**BRIARWOOD PARK POOL PROJECT**  
SITE DEVELOPMENT PACKAGE

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
BROOKHAVEN

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
P1	07/31/19	PERMIT REVISIONS

BID SET

SHEET TITLE

**DRAINAGE & ESPC DETAILS**

PROJECT NO. 18141C	DATE 07/11/2019
DRAWN BY D2	SCALE XX=XXX
CHECKED BY DY	
SHEET NO.	

**C2.95**

25 YEAR PIPE CHART

LineSize (in)	Line Material	LineLength (ft)	InvertUp (ft)	InvertDn (ft)	LineSlope (%)	n-valuePipe	iInlet (in/hr)	CapacityFull (cfs)	FlowRate (cfs)	SfAve (%)	VelDn (ft/s)	RunoffCoeff (C)	Tc (min)	DrainageArea (ac)	HGLUp (ft)	HGLDn (ft)	InletID	Downstream Inlet ID	Rim Elev (ft)	Casting Type	Basin Type	Grate Type
12	HDPE	6.32	913.75	913.65	1.58	0.013	0	4.48	2.1	0	4.11	0	10.9	0	914.37	914.27	WQ A-1.1	HW A-1	917	Water Quality Unit	Drain Basin	Solid Cover
12	HDPE	10.55	913.96	913.85	1.04	0.013	9.34	3.64	2.1	0	4.8	0.9	10.8	0.01	914.58	914.4	YI A-2	WQ A-1.1	921.4	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	19.12	914.26	914.06	1.05	0.013	9.34	3.64	1.86	0	4.53	0.9	10.7	0.01	914.84	914.58	YI A-3	YI A-2	921.35	Yard Inlet	Inline Drain	9" Pedestrian Grate
12	HDPE	23.00	914.59	914.36	1	0.013	9.34	3.56	1.81	0	4.55	0.9	10.6	0.01	915.16	914.87	YI A-4	YI A-3	921.35	Yard Inlet	Inline Drain	9" Pedestrian Grate
12	HDPE	20.61	914.9	914.69	1.02	0.013	9.34	3.59	1.76	0	4.55	0.9	10.5	0.01	915.46	915.18	YI A-5	YI A-4	921.4	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	18.00	915.19	915	1.06	0.013	9.34	3.66	1.64	0	4.53	0.9	10.4	0.01	915.73	915.47	YI A-6	YI A-5	921.37	Yard Inlet	Inline Drain	9" Pedestrian Grate
12	HDPE	21.01	915.5	915.29	1	0.013	9.34	3.56	1.59	0	4.4	0.9	10.2	0.01	916.03	915.76	YI A-7	YI A-6	921.37	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	17.92	915.78	915.6	1	0.013	9.34	3.57	1.47	0	4.32	0.9	10.1	0.01	916.29	916.05	YI A-8	YI A-7	921.4	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	17.87	916.06	915.88	1.01	0.013	9.34	3.57	1.29	0	4.18	0.9	9.9	0.01	916.54	916.29	YI A-9	YI A-8	921.37	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	27.17	916.44	916.16	1.03	0.013	9.34	3.62	1.04	0	3.82	0.9	9.7	0.02	916.87	916.54	YI A-10	YI A-9	921.33	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	26.97	916.81	916.54	1	0.013	9.34	3.56	0.86	0	3.73	0.9	9.3	0.01	917.2	916.87	YI A-11	YI A-10	921.33	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	26.02	917.17	916.91	1	0.013	9.34	3.56	0.67	0	3.48	0.9	8.9	0.04	917.51	917.21	YI A-12	YI A-11	921.35	Yard Inlet	Drain Basin	9" Pedestrian Grate
12	HDPE	20.92	917.48	917.27	1	0.013	9.34	3.57	0.35	0	2.38	0.9	8.3	0.01	917.72	917.51	YI A-13	YI A-12	921.38	Yard Inlet	Drain Basin	9" Pedestrian Grate
10	HDPE	17.51	917.86	917.68	1.03	0.012	9.34	2.41	0.22	0	2.73	0.9	7.6	0.01	918.06	917.85	YI A-14	YI A-13	921.37	Yard Inlet	Inline Drain	9" Pedestrian Grate
10	HDPE	17.42	918.14	917.96	1.03	0.013	9.34	2.23	0.15	0	2.33	0.9	6.7	0.01	918.31	918.11	YI A-15	YI A-14	921.4	Yard Inlet	Inline Drain	9" Pedestrian Grate
10	HDPE	15.41	918.4	918.24	1.04	0.013	9.34	2.23	0.08	0	1.96	0.9	5	0.01	918.52	918.35	YI A-16	YI A-15	921.4	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	20.07	918.4	918.2	1	0.013	9.34	0.56	0.08	0	2.05	0.9	5	0.01	918.54	918.33	YI A-13.1	YI A-13	921.4	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	19.33	917.7	917.5	1.03	0.013	9.34	0.57	0.23	0	2.76	0.9	6.2	0.01	917.94	917.72	YI A-9.1	YI A-9	921.4	Yard Inlet	Drain Basin	9" Pedestrian Grate
6	HDPE	18.85	918.02	917.8	1.17	0.013	9.34	0.61	0.16	0	2.6	0.9	5.9	0.01	918.22	917.98	YI A-9.2	YI A-9.1	921.4	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	22.52	918.35	918.12	1.02	0.013	9.34	0.57	0.08	0	2.07	0.9	5	0.01	918.49	918.25	YI A-9.3	YI A-9.2	921.35	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	22.64	918.35	918.1	1.1	0.013	9.34	0.59	0.17	0	2.59	0.9	5	0.02	918.55	918.28	YI A-8.1	YI A-8	921.35	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	18.00	917.49	917.31	1	0.013	9.34	0.56	0.23	0	2.73	0.9	6.2	0.01	917.73	917.54	YI A-2.1	YI A-2	921.4	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	21.00	917.9	917.69	1	0.013	9.34	0.56	0.16	0	2.46	0.9	5.8	0.01	918.1	917.87	YI A-2.2	YI A-2.1	921.37	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	19.75	918.3	918.1	1.01	0.013	9.34	0.56	0.08	0	2.06	0.9	5	0.01	918.44	918.23	YI A-2.3	YI A-2.2	921.37	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	26.83	917.85	917.5	1.3	0.013	9.34	0.64	0.15	0	2.68	0.9	6.6	0.01	918.04	917.67	YI A-11.1	YI A-11	921.1	Yard Inlet	Drain Basin	12" Standard Grate
6	HDPE	40.00	918.35	917.95	1	0.013	9.34	0.56	0.08	0	2.05	0.9	5	0.01	918.49	918.08	YI A-11.2	YI A-11.1	921.1	Yard Inlet	Inline Drain	12" Standard Grate
6	HDPE	28.77	918.25	917.9	1.22	0.013	9.34	0.62	0.08	0	2.2	0.9	5	0.01	918.39	918.02	YI A-12.1	YI A-12	921.25	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	17.06	918.1	917.9	1.17	0.013	9.34	0.61	0.08	0	2.17	0.9	5	0.01	918.24	918.03	YI A-5.1	YI A-5	921.1	Yard Inlet	Inline Drain	12" Standard Grate
6	HDPE	17.21	918.1	917.9	1.16	0.013	9.34	0.6	0.08	0	2.16	0.9	5	0.01	918.24	918.03	YI A-7.1	YI A-7	921.1	Yard Inlet	Inline Drain	12" Standard Grate
6	HDPE	22.32	918.1	917.85	1.12	0.013	9.34	0.59	0.08	0	2.14	0.9	5	0.01	918.24	917.98	YI A-10.1	YI A-10	921.1	Yard Inlet	Inline Drain	12" Standard Grate
8	HDPE	25.09	912.5	910	9.96	0.013	0	3.81	2.52	0	7.27	0	6.6	0	913.15	910.65	WQ B-1.1	HW B-1	921	Water Quality Unit	Drain Basin	Solid Cover
6	HDPE	12.92	916.4	916.2	1.55	0.013	9.34	0.7	0.46	0	3.79	0.9	6.5	0.01	916.75	916.5	YI B-2	WQ B-1.1	921.35	Yard Inlet	Drain Basin	9" Pedestrian Grate
6	HDPE	25.41	918.24	917.9	1.34	0.013	9.34	0.65	0.16	0	2.72	0.9	6	0.01	918.44	918.07	YI B-2.1	YI B-2	921.33	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	25.38	918.7	918.44	1.02	0.013	9.34	0.57	0.08	0	2.07	0.9	5	0.01	918.84	918.57	YI B-2.2	YI B-2.1	921.33	Yard Inlet	Inline Drain	9" Pedestrian Grate
8	HDPE	94.13	915.4	914.45	1.01	0.013	0	1.21	2.16	3.191	6.18	0	5.8	0	918.12	915.12	CO B-1.2	WQ B-1.1	922	Clean Out	N/A	Clean Out Plug
8	HDPE	128.80	916.8	915.5	1.01	0.013	9.34	1.21	2.2	3.326	6.31	0.9	5.5	0.16	923.24	918.96	CO B-1.3	CO B-1.2	922	Clean Out	N/A	Clean Out Plug
6	HDPE	12.76	917.2	917	1.57	0.013	0	0.7	0.9	2.576	4.58	0	5.4	0	924.5	924.17	CO B-1.4	CO B-1.3	921.3	Clean Out	N/A	Clean Out Plug
6	HDPE	10.97	917.43	917.3	1.19	0.013	9.34	0.61	0.08	0.022	0.43	0.9	5	0.01	924.99	924.99	YI B-1.6	CO B-1.4	921.3	Yard Inlet	Inline Drain	12" Standard Grate
6	HDPE	22.91	917.6	917.3	1.31	0.013	9.34	0.64	0.84	2.249	4.28	0.9	5	0.1	925.51	924.99	YI B-1.5	CO B-1.4	920.43	Yard Inlet	Inline Drain	12" Standard Grate
6	HDPE	22.26	916.9	916.6	1.35	0.013	9.34	0.65	0.25	0	3.08	0.9	5.4	0.01	917.15	916.81	YI B-3	YI B-2	921.35	Yard Inlet	Inline Drain	9" Pedestrian Grate
6	HDPE	19.51	917.3	917.1	1.02	0.013	9.34	0.57	0.17	0	2.52	0.9	5	0.02	917.5	917.29	YI B-4	YI B-3	921.35	Yard Inlet	Inline Drain	9" Pedestrian Grate

NOTES:

1. REFER TO DETAILS 1 AND 4 / C2.92 FOR DRAIN BASIN DETAILS
2. REFER TO DETAIL 3 / C2.92 FOR FOR GRATE TYPE DETAILS
3. WATER QUALITY UNITS TO BE ADS BARACUDA S4 UNITS (OR APPROVED EQUAL). DRAIN BASINS TO BE SIZE APPROPRIATELY FOR WATER QUALITY UNIT PROVIDED.



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BRIARWOOD PARK POOL PROJECT  
 SITE DEVELOPMENT PACKAGE  
 CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
 BROOKHAVEN

CA

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION

BID SET

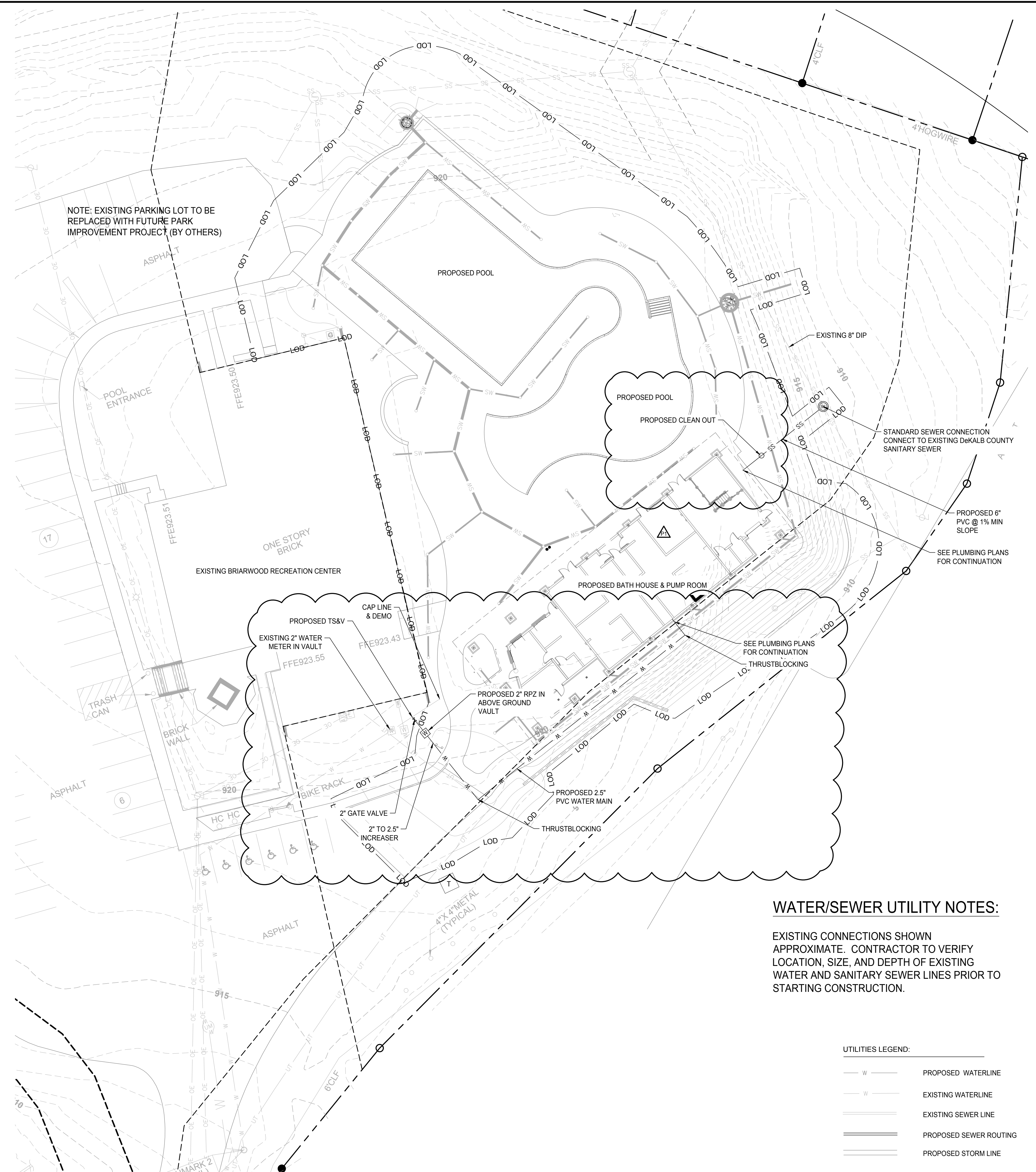
SHEET TITLE

PIPE CHART

PROJECT NO. 18141C	DATE 07/11/2019
DRAWN BY AM	SCALE N/A
CHECKED BY JM	
SHEET NO.	

C2.96

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**PROJECT DESCRIPTION:**  
 SANITARY SEWER & WATER SERVICE LINES TO BE INSTALLED TO SERVICE THE POOL BUILDING.  
 ALL PROPOSED SANITARY SEWER IS PRIVATE AND WILL TIE INTO EXISTING SANITARY SEWER MAINS WITHIN THE PROPERTY. ALL PROPOSED WATER SERVICE WILL TIE INTO EXISTING WATER MAINS WITHIN THE PROPERTY.

- SANITARY SEWER NOTES:**
- ALL DESIGN AND CONSTRUCTION FOR WATER, SEWER, LIFT STATIONS, AND BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS LATEST EDITION. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
  - DEVELOPER SHALL PROVIDE SANITARY SEWER AS-BUILT DRAWINGS, CONSTRUCTION PERMIT AND A MANDATORY PRE-CONSTRUCTION CONFERENCE WITH DEKALB COUNTY INSPECTOR, BY APPOINTMENT ONLY, ARE REQUIRED PRIOR TO ANY SEWER WORK.
  - COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 98% OF THE THEORETICAL MAXIMUM DENSITY. BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS.
  - FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK STABILIZATION AND PROTECTION SHALL BE REQUIRED AS PER EROSION CONTROL REQUIREMENTS AND THE LAWS OF THE CITY OF WINNER. ALL PROPOSED SANITARY SEWER PIPING IS TO BE INSTALLED AT A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE STATED (SEE SANITARY SEWER PROFILES FOR ADDITIONAL INFORMATION).
  - SEWERS SHOULD BE LAID AT LEAST 10' HORIZONTALLY AND 18" VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN WITH THE WATER MAIN ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE ARRANGED SO THAT THE SEWER THE SEWER JOINTS WILL BE EQUAL DISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, EITHER THE WATER MAIN OR THE SEWER SHOULD BE DUCTILE IRON OR SHALL BE ENCASED IN DUCTILE IRON OR CONCRETE FOR A MINIMUM OF ONE FULL JOINT LENGTH ON EACH SIDE OF THE CROSSING.
  - FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVED BY THE DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT BEFORE CHANGES ARE IMPLEMENTED.
  - CONTRACTOR SHALL NOTIFY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT INSPECTOR 72 HOURS PRIOR TO START OF CONSTRUCTION.
  - ALL PVC TO BE SDR35 AND ALL DIP TO BE CLASS 350, UNLESS OTHERWISE NOTED.

- WATER NOTES:**
- ALL DESIGN AND CONSTRUCTION FOR WATER, SEWER, LIFT STATIONS, AND BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS LATEST EDITION. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
  - VAULTS SHALL HAVE ONLY ONE (1) LINE ENTERING AND LEAVING THE STRUCTURE.
  - POTABLE WATER MAINS SHALL MAINTAIN A CLEARANCE OF TEN (10') FEET HORIZONTAL AND EIGHTEEN (18") INCHES VERTICAL FROM ALL NON-POTABLE PIPELINES.
  - BACKFLOW PREVENTION DEVICES IS REQUIRED TO BE INSTALLED ON ALL NON-DOMESTIC WATER SERVICE CONNECTION LINES INCLUDING: COMMERCIAL, FIRE LINE, AND IRRIGATION SERVICES.
  - WATER CONNECTIONS TO FACILITIES WITH HIGH HAZARD POTENTIAL REQUIRE THE INSTALLATION OF REDUCED PRESSURE ZONE PRINCIPLE (RPZ) ASSEMBLIES.
  - FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVED BY THE DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT BEFORE CHANGES ARE IMPLEMENTED.
  - CONTRACTOR SHALL NOTIFY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT INSPECTOR 72 HOURS PRIOR TO START OF CONSTRUCTION.
  - THRUST BLOCKS TO BE USED AT ALL BENDS, PLUGS, AND TEES ON LINES 4" AND LARGER.
  - FIRE HYDRANTS SHOWN IN THE RADIUS OF A CURVE SHALL BE FIELD ADJUSTED SO THAT THE ACTUAL INSTALLATION OF FIRE HYDRANTS WILL BE A MIN. OF 3' OUTSIDE OF CURVE RADIUS.
  - ANY CHANGES TO THE WATER DRAWINGS MUST BE APPROVED BY THE REGULATED DEKALB COUNTY UTILITIES DEPARTMENT.
  - ALL FIRE HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE REGULATED DEKALB COUNTY UTILITIES DEPARTMENT.

**WATER/SEWER UTILITY NOTES:**  
 EXISTING CONNECTIONS SHOWN APPROXIMATE. CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING WATER AND SANITARY SEWER LINES PRIOR TO STARTING CONSTRUCTION.


**UTILITIES LEGEND:**

--- W ---	PROPOSED WATERLINE
---	EXISTING WATERLINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER ROUTING
---	PROPOSED STORM LINE

**PRIMARY PERMITTEE / OWNER CONTACT:**  
 BRIAN BORDEN  
 CITY OF BROOKHAVEN  
 3360 OSBORNE ROAD  
 BROOKHAVEN, GA 30319  
 PHONE: 404.637.0562  
  
 24-HR. EMERGENCY CONTACT:  
 BRIAN BORDEN - 404.637.0562  
 BRIAN.BORDEN@BROOKHAVENGA.GOV

**CONTRACTOR SANITARY SEWER NOTE:**  
 DEKALB COUNTY RECORDS DO NOT INDICATE ANY SANITARY SEWER ON THIS PROPERTY. THE CONTRACTOR WILL PROVIDE ALL EXISTING AND AS-BUILT INFORMATION AS REQUIRED BY DEKALB COUNTY FOR THEIR RECORDS. SELECTED SANITARY SEWER SERVICE MAY BE ABANDONED UPON APPROVAL BY THE DEKALB COUNTY WATERSHED DEPARTMENT.

**811** Know what's below. Call before you dig.

  
 SCALE: 1" = 20'



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**BRIARWOOD PARK POOL PROJECT**  
**SITE DEVELOPMENT PACKAGE**  
 CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT  
 BROOKHAVEN

**SUBMITTALS / REVISIONS**

NO.	DATE	DESCRIPTION
P1	07/11/19	PERMIT REVISIONS

**BID SET**

**SHEET TITLE**  
 UTILITY PLAN

PROJECT NO. 18141C	DATE 07/11/2019
DRAWN BY AM	SCALE 1" = 20'
CHECKED BY JM	SHEET NO. C5.01

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**SECTION 012300 – ALTERNATES**

**PART 1- GENERAL**

**1.1 DESCRIPTION:**

- A. An Alternate is an amount proposed by Bidders, and stated on the Bid Form, for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if the City decides to accept a corresponding change in either the amount of construction to be completed, or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
- B. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate the Alternate into the Work. No other adjustments are made to the Contract Sum.
- C. Alternate pricing shall include all materials, supervision, overhead and profit for each alternate bid item.
- D. Related Work Described Elsewhere:
  - 1. Materials and methods to be used in the Base Bid and in the Alternates have been described on the Drawings and in pertinent Sections of these Specifications.
  - 2. Method for stating the proposed Contract Sum is described in the bid form.

**1.2 SELECTION AND PURCHASE**

- A. All Alternates described in this Section are required to be reflected on the Bid Form as submitted by Bidders. Failure to submit an alternate price may cause the entire bid to be determined non-responsive and rejected. Do not submit Alternates other than as described in this Section.
- B. If the City elects to proceed on the basis of one or more of the Alternates, the Contractor shall make all modifications to the work required in furnishing and installing the selected Alternates to the approval of the City and at no additional cost to the City other than as proposed on the Bid Form.
- C. All Alternates must be executed with an appropriate response. A "blank space" or a "No Bid" statement is inappropriate and non-responsive. The space MUST INCLUDE a "Specific Amount, Percentage or Sum" or a "No Change in Price" or a "Zero Dollar Cost" statement. Failure by the Bidder to provide this information may be cause for rejection of the Bid at the County's discretion.

**PART 2- SCHEDULE OF ALTERNATES**

**2.1 ALTERNATE NO. 1 (DEDUCT): POLIGON SHADE PAVILION (OR EQUAL)**

The Contractor shall deduct from the Contract with the City all work necessary and required to provide and install a 24' diameter shade pavilion as indicated on the contract documents, including: associated electrical service.



ALTERNATES - SECTION 01 23 00

Page 2 of 2

- 2.2 ALTERNATE NO. 2 (DEDUCT): WATER JELLY NO 1 (VOR 7010 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 3 – Vortex Water Jelly spray features (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.3 ALTERNATE NO. 3 (DEDUCT): VORTEX TURTLE NO. 2 (VOR 7216 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Turtle No. 2 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.4 ALTERNATE NO. 4 (DEDUCT): VORTEX FROG NO. 1 (VOR 7200 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Frog No. 1 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.5 ALTERNATE NO. 5 (DEDUCT): VORTEX SNAIL NO. 4 (VOR 7217 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Snail No. 4 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.6 ALTERNATE NO. 6 (DEDUCT): VORTEX CASCADES NO. 2 (VOR 7044 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Cascades No. 2 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.7 ALTERNATE NO. 7 (DEDUCT): VORTEX FROG NO. 6 (VOR 7659 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Frog No. 6 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.8 ALTERNATE NO. 8 (DEDUCT): VORTEX FLOWER NO. 5 (VOR 7557 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Flower No. 5 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.9 ALTERNATE NO. 9 (DEDUCT): VORTEX WAVY PALM (VOR 0510 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Wavy Palm spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.10 ALTERNATE NO. 10 (DEDUCT): VORTEX LEAF NO. 3 (VOR 7672 (OR EQUAL))**  
The Contractor shall deduct from the Contract with the City all work necessary and required to furnish and install 1 – Vortex Leaf No. 3 spray feature (or approved equal) as indicated on the contract documents. (Contractor to provide SAFESWAP ground cap in either condition).
- 2.11 ALTERNATE NO. 11 (ADD): KOOLDECK DECK TOPPING**  
The Contractor shall add to the Contract with the City all work necessary and required to provide and install a Kooldeck or equal surfacing to the pool deck (defined as all exterior concrete within the fenced area). Color to be selected by Owner from the manufactures full catalogue.

END OF SECTION 01 23 00

**SECTION 01 50 00 - TEMPORARY FACILITIES AND CONTROLS**

**PART 1 - GENERAL**

**1.1 TEMPORARY ON-SITE FACILITIES TO BE PROVIDED BY THE CONTRACTOR:**

- A. Temporary Offices: Provide sufficient space for Contractor's personnel.
  - 1. Provide temporary office facilities complete with lighting, heating and air conditioning and telephone service.
  - 2. Location of temporary office shall be subject to City's acceptance.
  - 3. Temporary on-site facilities required under this section relate only to the Contractor's needs.
  - 4. Provide separate heat / air-conditioned space for City's representative with office space, desk with task chair, 2-drawer lockable file cabinet, table for construction plans, drawings, and specifications. Space may be end of the contractor's trailer with separate exterior lockable access door and locking interior door. (No phone, fax, internet, water, etc. is necessary).
  - 5. Contractor shall relocate offices and other storage buildings or facilities as necessary, at no additional costs to allow the work of the project and the other contractors to be performed.
- B. Temporary Storage Facilities: Install and maintain storage and fabrication sheds sized, furnished, and equipped to accommodate materials and equipment involved, including temporary utility service. Sheds may be open shelters or fully enclosed spaces. Locations and adequacy of storage facilities shall be subject to the City's approval.
- C. Electrical Service: Provide temporary electrical service, including extensions and connections necessary for construction work.
- D. Temporary Lighting: Provide the following minimum light levels for construction purposes. Comply with OSHA requirements for temporary lighting:
- E. Temporary Heat and Ventilation to be provided by the Contractor for the timely performance and protection of its work:
  - 1. Provide temporary heat in enclosed spaces to provide minimum temperatures of 40°F until time finishing work begins.
  - 2. After building is totally enclosed and installation of finishes begins, maintain spaces in a temperature range of 60oF to 80oF at all times, except as may otherwise be required by product manufacturers for proper product installation and performance. Contractor shall maintain until Date of Substantial Completion has been established by the City.
  - 3. Maintain relative humidity in a range of 50% to 65% in enclosed spaces after building is enclosed and installation of finishes begin; except as may otherwise be required by product manufacturers for proper product installation and performance.
  - 4. Provide ventilation to prevent accumulation of dust, fumes or gases and to properly cure materials and disperse humidity.
- F. Telephone Service: Provide temporary telephone service to temporary offices for duration of project. Contractor to pay costs for installation and services.

**TEMPORARY FACILITIES AND CONTROLS- SECTION 01 50 00**

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- G. Water Service: Provide temporary water for construction purposes, including extensions and connections necessary for work, including but not limited to any irrigation requirements of the Work of the Project.
- H. Sanitary Toilet Facilities: Provide and maintain temporary toilet facilities for construction and site visitors and other personnel. Permanent new facilities may not be used by personnel.
- I. Relocate temporary facilities during construction as required by progress of the Work at no additional cost.
- J. Power for Contractor's temporary office and storage trailers shall be paid by the Contractor.
- K. At completion of Work, or at time of permanent utility connections, as applicable, remove temporary facilities, including connections and debris resulting from temporary installation.

**1.2 STAGING AREA:**

- A. The Contractor shall establish staging areas WITHIN the designated Limits of Work area for this Contract; no staging or materials storage will be permitted outside the Limits of Work area.
- B. The Contractor is solely responsible for all security, protection, safeguards, etc. of materials and personnel within the established staging area (areas).

**1.3 TEMPORARY CONTROLS:**

- A. Noise Control: Contractor shall make every effort to affect a satisfactory noise abatement Construction. Use sound deadening materials where required to reduce disturbances to classroom in session.
- B. Dust Control: Where cutting or removing materials which will generate dust and dirt, the Contractor shall provide temporary dust curtains, solid barricades, or the like, to retain and control dust relative to the area in which work is occurring. Clean areas of dust as practicable so as not to allow its spread by pedestrian traffic.

**1.4 CONTRACTOR'S USE OF PREMISES:**

- A. The Contractor is reminded that the Project is limited by its nature to certain physical areas. The facilities may be occupied (except as provided for work areas) while the work progresses, therefore, restrict personnel to areas where such occupancy exists.

**1.5 SITE SECURITY:**

- A. Contractor is responsible for operating in a manner that will maintain the security of the site and its contents, and the existing building where affected.
- B. Required emergency exit ways shall be maintained at all times at buildings and the site in general.
- C. Site Enclosure Fence: Before construction operations begins, furnish and install site enclosure fence in a manner that will prevent people from easily entering site except by entrance gates.
  - 1. Extent of Fence: As required to enclose entire Project.
  - 2. Minimum fence height: 6'
  - 3. Maintain security by limiting number of keys and restricting distribution to authorized personnel. Furnish one set of keys to Owner.

- D. Contractor shall be responsible for the security of the entire site for the entire duration of the construction period. Before leaving at the end of each work day or work shift, Contractor shall check all gates, doors, windows, etc. to be certain that they are closed, locked and secure. Contractor shall leave premises in a condition to allow normal operation by the City for its intended uses.

**PART 2 - PRODUCTS (Not used)**

**PART 3 - EXECUTION (Not used)**

**END OF SECTION 01 50 00**

**LD# 18141 – BRAIRWOOD PARK POOL PROJECT**

**TEMPORARY FACILITIES AND CONTROLS- SECTION 01 50 00**

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