

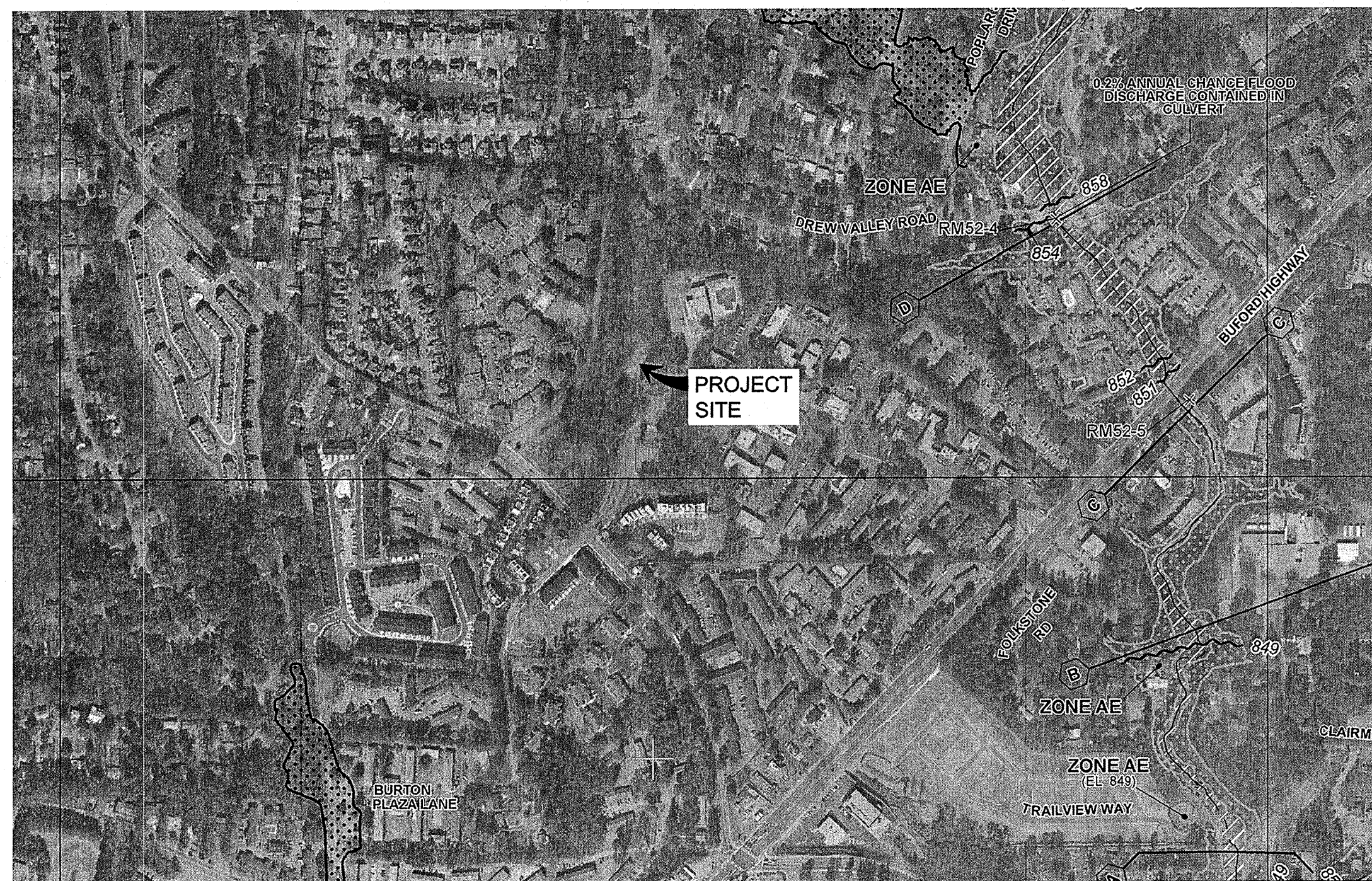
**BRIARWOOD PARK  
NATURE TRAIL**  
2235 BRIARWOOD WAY NE  
CITY OF BROOKHAVEN  
GEORGIA, 30319  
LL 201 & 202, 18TH DISTRICT  
TAX PARCEL ID 18 202 01 047

**OWNER/DEVELOPER:**  
**CITY OF BROOKHAVEN**  
CONTACT: BRIAN BORDEN  
PARKS & RECREATION DEPARTMENT  
4362 PEACHTREE ROAD  
BROOKHAVEN, GA 30319  
(404) 637-0542

**ENGINEER/LANDSCAPE ARCHITECT:**  
**GreenbergFarrow**  
CONTACT: PATRICK WAYLOR  
1430 WEST PEACHTREE STREET, #200  
ATLANTA, GA 30309  
(404) 601-4000

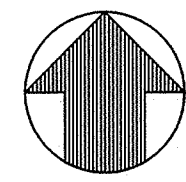
**24-HOUR EMERGENCY CONTACT:**  
BRIAN BORDEN  
(404) 275-9901  
BRIAN.BORDEN@BROOKHAVENGA.GOV

**SURVEYOR**  
BOUNDARY, TOPO & UTILITY SURVEY BY:  
TERRAMARK LAND SURVEYING, INC.  
CONTACT: BILL WOHLFORD, JR  
1396 BELLS FERRY ROAD  
MARIETTA, GA 30066  
(770) 421-1927



**FEMA FIRM MAP  
N.T.S.**

PER FEMA FIRM MAP FM 13089 C0052J, DATED MAY 2013, THE SITE IS LOCATED IN ZONE X (UNSHADED), WHICH IS AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



**Sheet List Table**

SHEET NUMBER	SHEET TITLE	24AUG18	28AUG18	15OCT18
CVR	COVER SHEET	•	•	•
V-001	SURVEY (BY OTHERS)	•	•	
V-002	SURVEY (BY OTHERS)	•	•	
V-003	SURVEY (BY OTHERS)	•	•	
C-001	GENERAL NOTES	•	•	•
C-200	SITE STAKING AND LAYOUT PLAN	•	•	
C-220	SITE DETAILS	•	•	
C-300	EROSION CONTROL AND TREE PROTECTION PLAN	•	•	•

**CONTACTS:**

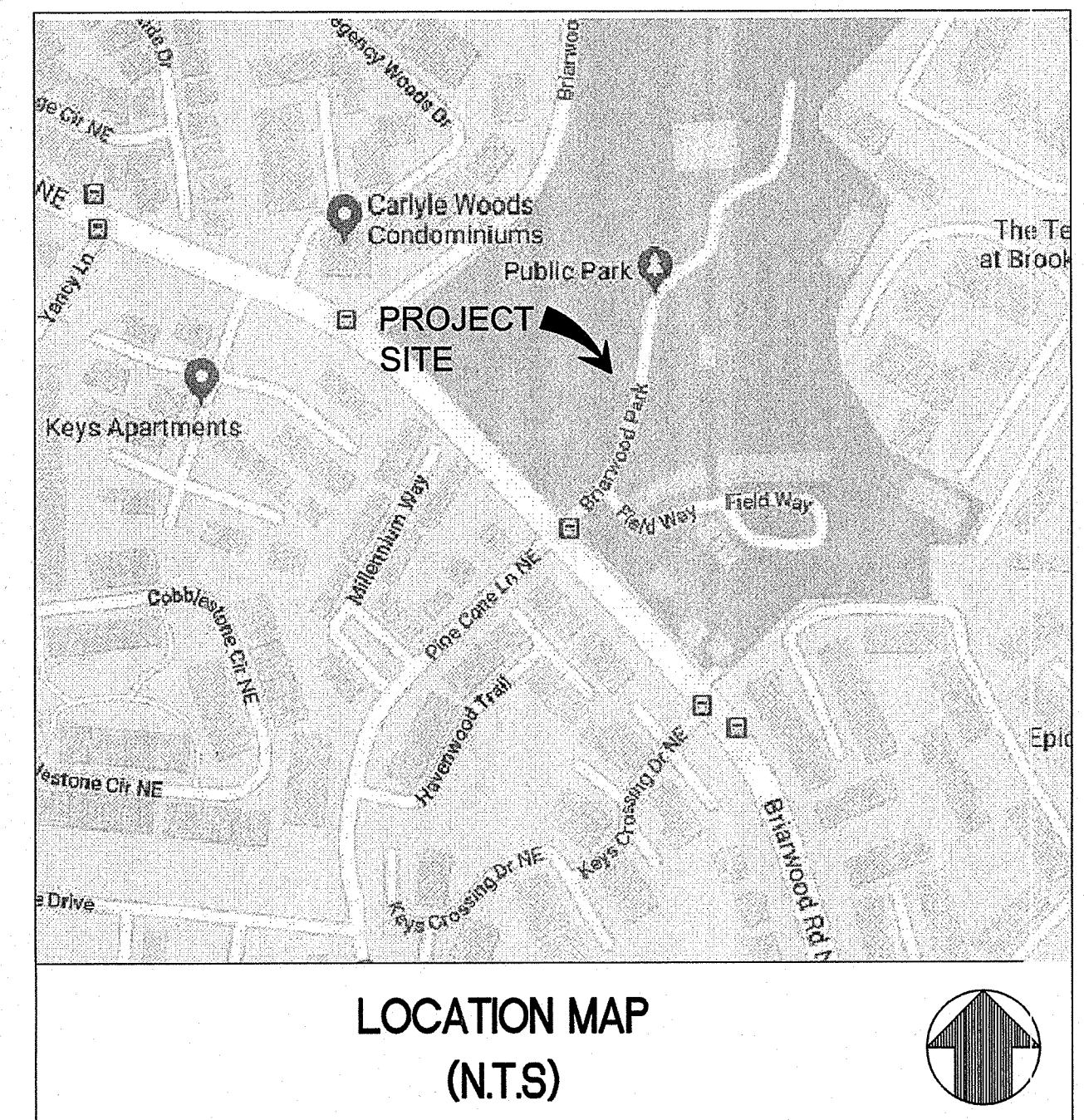
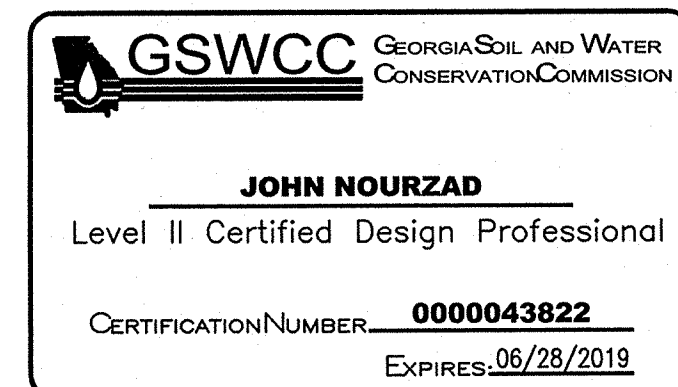
**CITY ARBORIST**  
STEVEN STRICKLAND  
4362 PEACHTREE RD  
BROOKHAVEN, GA 30319  
TEL: (404) 637-0749  
EMAIL: STEVEN.STRICKLAND@BROOKHAVENGA.GOV

**CITY ENGINEER/DEVELOPMENT MANAGER**  
TIMOTHY WARD  
4362 PEACHTREE RD  
BROOKHAVEN, GA 30319  
TEL: (404) 637-0498  
EMAIL: TIMOTHY.WARD@BROOKHAVENGA.GOV

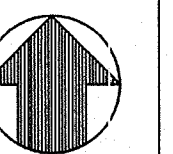
**CITY PUBLIC WORKS**  
KEVIN KORTH, P.E.  
4362 PEACHTREE RD  
BROOKHAVEN, GA 30319  
TEL: (404) 637-0500  
EMAIL: KEVIN.KORTH@BROOKHAVENGA.GOV

**IMPERVIOUS AREA CALCULATIONS**

	EXISTING (SF)	PROPOSED (SF)
CONCRETE SIDEWALK/TRAIL	8,650	8,650
GRAVEL PARKING LOT	0	0
ASPHALT PARKING LOT	112,250	112,250
BUILDING	14,684	14,684
PAVERS	0	0
TOTAL	135,584	135,584



**LOCATION MAP  
(N.T.S)**



**GENERAL NOTES:**

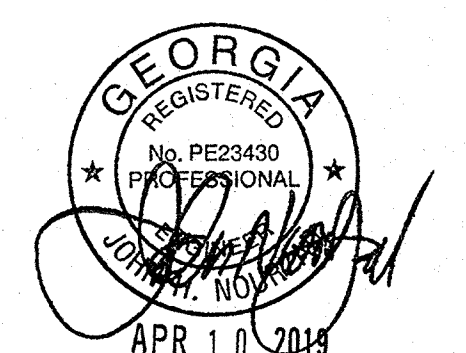
- THE PURPOSE OF THIS PROJECT IS TO INSTALL 3' WIDE NATURAL SURFACE HIKING TRAILS, CROSSWALKS AND CROSSWALK SIGNS, AND REFURBISH AN EXISTING NATURAL SURFACE HIKING TRAIL SYSTEM.
- TOTAL LIMITS OF DISTURBANCE = ±.37 AC (16,527 SF)  
TOTAL SITE AREA = ±14.97 AC
- NO PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE AE PER FEMA FIRM MAP FM 13089 C0052J, LAST UPDATED MAY 2013, FOR DEKALB COUNTY GA. FLOOD ZONE AE IS DEFINED AS SPECIAL FLOOD AREA HAZARDOUS AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED, THE PROJECT SITE WITH PROPOSED IMPROVEMENTS IS OUTSIDE FLOOD ZONE AE.
- THE SITE IS CURRENTLY ZONED R-75 (SINGLE FAMILY RESIDENTIAL DISTRICT)
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF BROOKHAVEN STANDARDS AND SPECIFICATIONS. ALL CONSTRUCTION METHODS SHALL ADHERE TO O.S.H.A. REGULATIONS.
- CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND NOTIFY PROJECT MANAGER OF ANY DISCREPANCIES IMMEDIATELY.
- THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. IF UNCHARTED UTILITIES ARE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IMMEDIATELY FOR INSTRUCTIONS. ANY DAMAGE OR INTERRUPTION OF EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED PROMPTLY AT THE CONTRACTOR'S EXPENSE.
- THE LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND MUST BE VISIBLE FROM A PUBLIC STREET.
- NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. ANY OFF-SITE AREAS DISTURBED OR DAMAGED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER.
- THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE PROJECT LANDSCAPE ARCHITECT OR THE PROJECT ENGINEER, NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE PROJECT LANDSCAPE ARCHITECT AND PROJECT ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTINUOUS BASIS AT THE SITE.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK, THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON, OR NEAR THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL PROVIDE THE PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER OF RECORD WITH THE DATE WHEN THE CONSTRUCTION IS TO BEGIN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT. PER SURVEY BY TERRAMARK DATED JUNE 22, 2016, PROJECT HORIZONTAL DATUM IS RELATIVE TO NAD83, 2011 ADJUSTMENT, PROJECTED TO THE GA STATE PLANE COORDINATE SYSTEM, WEST ZONE. VERTICAL DATUM IS NAVD83.
- ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

**PROPOSED LEGEND**

	PROPOSED 3' WIDE NATURE TRAIL
	EXISTING NATURAL TRAIL SYSTEM
	PROPOSED FORD CROSSING (SEE CHART)
	LIMITS OF DISTURBANCE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE

**ABBREVIATIONS**

SW	SIDEWALK
TG	TOP OF GRADE
BG	BOTTOM OF GRADE
TC	TOP OF CURB
BC	BOTTOM OF CURB
TYP.	TYPICAL



**ISSUED FOR BID**

JOB NO. 20181167.0

DATE: 01-23-2019

## SURVEY NOTES

**EQUIPMENT USED:**  
A TRIMBLE S8 TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.  
A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

**CLOSURE STATEMENT:**  
THIS SURVEY HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 628,015 FEET.

**THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 74,611 FEET AND AN ANGULAR ERROR OF 4" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.**

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT ONE FOOT INTERVALS.

ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 86 DATUM.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.

PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON JUNE 22, 2016

## TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB COUNTY, GEORGIA (FIRM NUMBER 13085C2005J), DATED MAY 16, 2015, NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.

SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF BRIARWOOD WAY, BRIARWOOD PARK AND BRIARWOOD ROAD.

## UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

UTILISURVEY, LLC  
514 DUNLELLA LANE  
PEACHTREE CITY, GA 30289  
PHONE: 404-312-0912  
ATTENTION: HANS WÖNNERBERGER

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER, AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC, UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL "B" UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED, UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

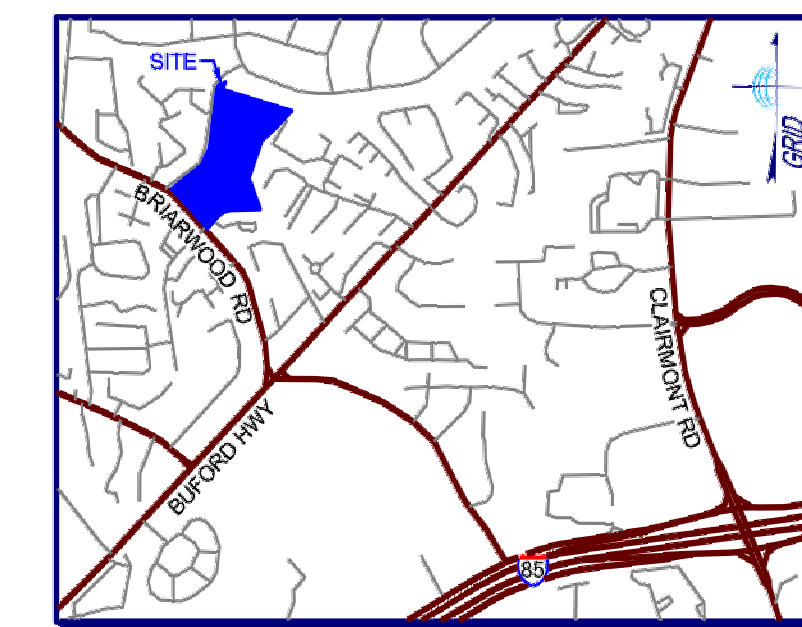
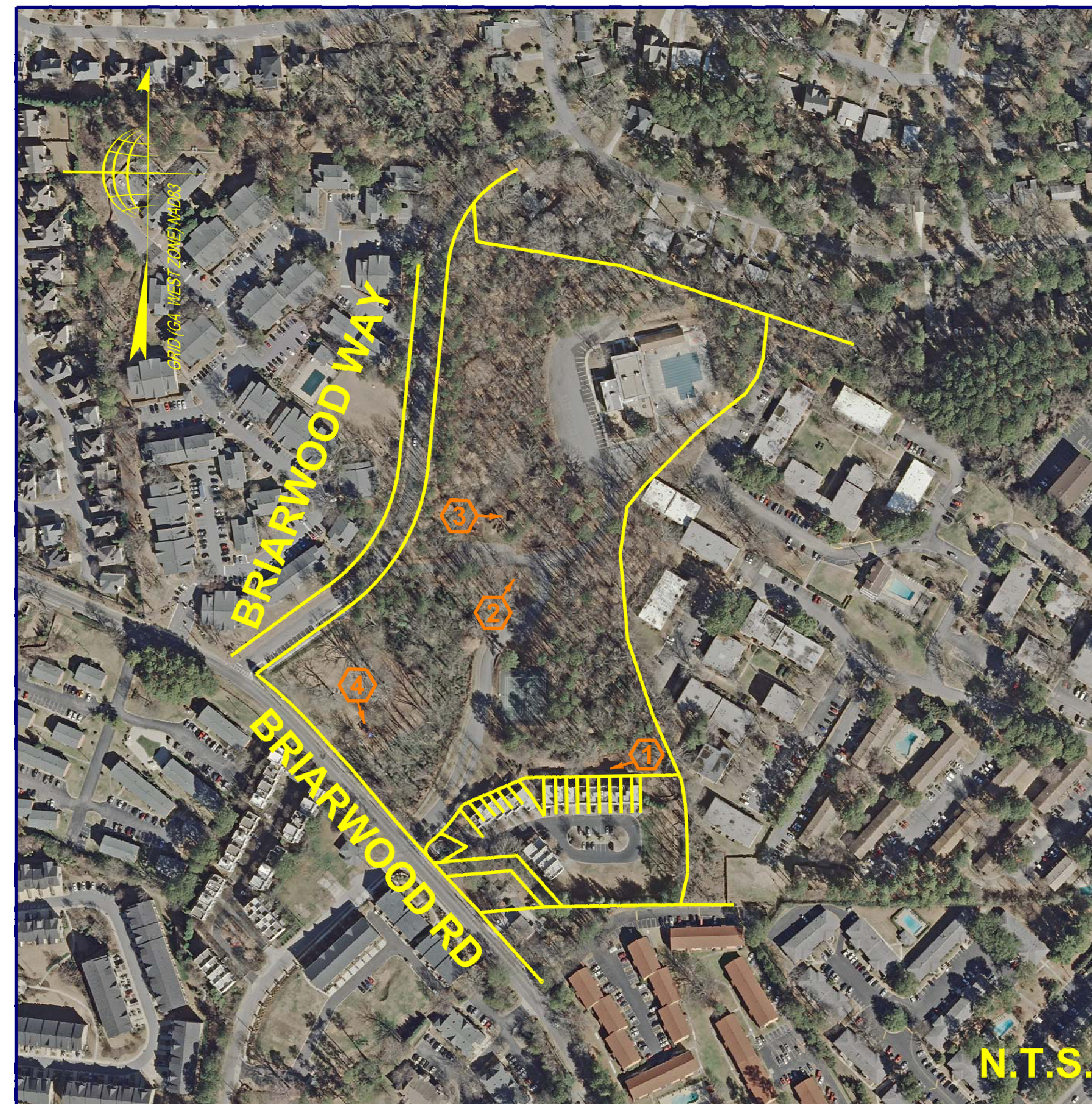
INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

## UTILITY PROVIDERS

<b>GAS</b>	<b>COMMUNICATION</b>
ATLANTA GAS LIGHT COMPANY AGL 10 PEACHTREE STREET NE ATLANTA, GA 30309 MARTIN MAREK (404) 564-4129	AT&T 2378 S AKARD ST. DALLAS, TX 75202 (210) 821-4105 ANGILO HINES (770) 764-3972
<b>POWER</b>	COMCAST (770) 959-8979 SANDRA ANDREWS
GEORGIA POWER COMPANY 623 JEFFERSON STREET ATLANTA, GA 30318 (404) 508-4569 IKE COLLINS	LEVEL 3 COMMUNICATIONS, INC 1026 ELDORADO BOULEVARD BROOMFIELD, CO 80021 (877) 365-8344 EXT. 3
<b>WATER</b>	VERIZON / MCI 2400 N GLENVILLE RICHARDSON, TX 75082 (478) 471-1042 DENNIS RAINY
DEKALB COUNTY WATER AND SEWER DEPARTMENT 1590 ROANOVAN DR. STONE MOUNTAIN, GA. 30083 (770) 612-2222 JEFF WOODS	CENTURYLINK 100 CENTURYLINK DRIVE MONROE, LA 71203 (868) 723-8010
JDWOODS@DEKALBCOUNTYGA.GOV	ZAYO FIBER SOLUTIONS 400 CENTENNIAL PKWY, SUITE 200 LOUISVILLE, CO 80027 (578) 665-2493 NIC FLORES

# BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (BRIARWOOD PARK) LOCATED IN LAND LOT 201 & 202, 18TH DISTRICT DEKALB COUNTY, GEORGIA

## SITE MAP



## LOCATION MAP

NOT TO SCALE  
LAT - 33°50'52.867N  
LONG - 84°19'45.597W

## REFERENCE MATERIAL

- QUIT CLAIM DEED TO CITY OF BROOKHAVEN RECORDED IN DB. 24526 PG. 545 AMONG THE LAND RECORDS OF DEKALB COUNTY
- ALTA/SCSM LAND TITLE SURVEY FOR MILES-CHERRY HILL, LLC PRODUCED BY PEARSON & ASSOCIATES, INC. DATED NOVEMBER 20, 1998
- FINAL PLAT FOR BRIARWOOD FIELD SUBDIVISION RECORDED IN PG. 136 PG. 97 AFORESAID RECORDS
- FINAL SUBDIVISION PLAT FOR DREW VALLEY UNIT FOUR RECORDED IN PG. 22 PG. 89 AFORESAID RECORDS
- QUIT CLAIM DEED TO TERRACES AT BROOKHAVEN, LLC RECORDED IN DB. 24751 PG. 607 AFORESAID RECORDS

## SITE INFORMATION

CURRENT OWNER: CITY OF BROOKHAVEN  
DB. 24526 PG. 545

TAX PARCEL ID # 18 202 01 047

ADDRESS: 2335 BRIARWOOD WAY

ZONING: R75 (SINGLE FAMILY RESIDENTIAL DISTRICT)  
JURISDICTION: CITY OF BROOKHAVEN

SETBACKS: FRONT 45' FROM MAJOR THROUGHFARES  
30' FROM MINOR THROUGHFARES  
30' FROM COLLECTOR STREETS  
30' FROM OTHER STREETS

SIDE 7' 2"  
REAR 40'

PARKING COUNT: REGULAR 58  
HANDICAP 6  
TOTAL 64

## PROPERTY DESCRIPTION

Being a tract or parcel of land lying and being in Land Lots 201 & 202, 18th District, DeKalb County, Georgia and being more particularly described as follows:

Beginning for the same at a 1/2 inch capped rebar set at the intersection of the Northeastly Right of Way Line of Briarwood Road (having an apparent variable width right of way) and the Southeastly Right of Way Line of Briarwood Way (having an apparent 50 feet wide right of way); thence, leaving the said Point of Beginning and running with the said line of Briarwood Way

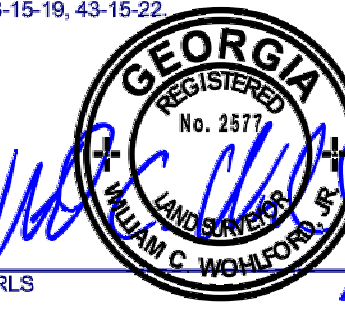
- North 54° 07' 37" East, 229.92 feet; thence,
- 345.33 feet along the arc of a curve deflecting to the left, having a radius of 408.02 feet and a chord bearing and distance of North 29° 52' 50" East, 335.11 feet; thence,
- North 09° 38' 03" East, 411.22 feet; thence,
- 142.11 feet along the arc of a curve deflecting to the right, having a radius of 246.00 feet and a chord bearing and distance of North 22° 11' 01" East, 145.14 feet; thence, leaving the lines of the aforesaid subdivision and running with the property now or formerly owned by Terraces at Brookhaven, LLC as described in a deed recorded among the aforesaid Land Records in Deed Book 24751, Page 607;
- South 04° 40' 55" East, 78.10 feet to a 1/2 inch capped rebar set; thence,
- South 80° 20' 55" East, 22.79 feet to a 1/2 inch capped top pipe found; thence,
- South 89° 20' 55" East, 223.91 feet to a 1/2 inch rebar found; thence,
- South 71° 29' 58" East, 223.92 feet to a 1/2 inch capped top pipe found; thence,
- South 71° 29' 15" East, 59.25 feet to a 1/2 inch capped top pipe found; thence,
- South 71° 22' 33" East, 20.49 feet to a 1/2 inch capped rebar set; thence, leaving the lines of the aforesaid subdivision and running with the property now or formerly owned by Terraces at Brookhaven, LLC as described in a deed recorded among the aforesaid Land Records in Deed Book 24751, Page 607;
- South 05° 37' 24" West, 88.23 feet; thence,
- South 19° 10' 35" West, 41.40 feet; thence,
- South 34° 45' 45" West, 41.39 feet; thence,
- South 51° 31' 21" West, 123.62 feet; thence,
- South 44° 42' 07" West, 153.45 feet; thence,
- South 39° 06' 04" West, 60.44 feet to a 1/2 inch rebar found; thence,
- South 08° 11' 23" West, 58.89 feet; thence,
- South 05° 22' 09" East, 53.22 feet to a 1/2 inch rebar found; thence,
- South 04° 45' 42" East, 123.39 feet to a 1/2 inch rebar found; thence,
- South 19° 27' 35" East, 168.55 feet to a 1/2 inch rebar found (disturbed); thence,
- South 23° 50' 40" East, 131.42 feet to a 1/2 inch capped rebar set at the northeast corner of a subdivision entitled "Briarwood Field" as recorded among the aforesaid Land Records in Plat Book 136, Page 55-57; thence, running with the said lines of the Briarwood Field subdivision
- South 89° 02' 27" West, 315.25 feet to a 1/2 inch capped rebar set; thence,
- South 69° 30' 51" West, 139.92 feet to a 1/2 inch capped rebar set; thence,
- 87.94 feet along the arc of a curve deflecting to the right, having a radius of 310.00 feet and a chord bearing and distance of South 39° 37' 39" West, 67.84 feet; thence,
- South 47° 45' 17" West, 19.30 feet to a 1/2 inch capped rebar set; thence,
- 31.41 feet along the arc of a curve deflecting to the left, having a radius of 20.00 feet and a chord bearing and distance of South 40° 47' 07" West, 28.28 feet to a 1/2 inch capped rebar set on the aforesaid line of Briarwood Road; thence, running with the said line of Briarwood Road
- North 42° 14' 43" West, 99.93 feet; thence,
- North 40° 04' 32" West, 143.25 feet; thence,
- North 42° 31' 57" West, 126.03 feet; thence,
- 147.26 feet along the arc of a curve deflecting to the left, having a radius of 917.57 feet and a chord bearing and distance of North 47° 40' 03" West, 147.86 feet to the Point of Beginning, containing 652,490 square feet or 14,979.1 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unrecorded.

## SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA SURVEY ACT O.C.G.A. 14-6-67. AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-22.

WILLIAM C. WOHLFORD, JR., RLS  
REGISTERED NUMBER: 2577



## BENCHMARK 1 DETAIL



PHOTO #2

## BENCHMARK 2 DETAIL



PHOTO #4

## PICTURE LOCATION AND DIRECTION

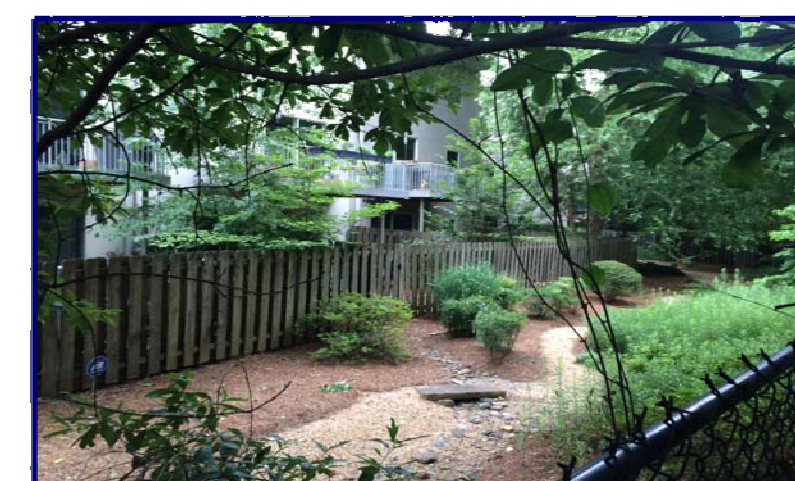


PHOTO #1

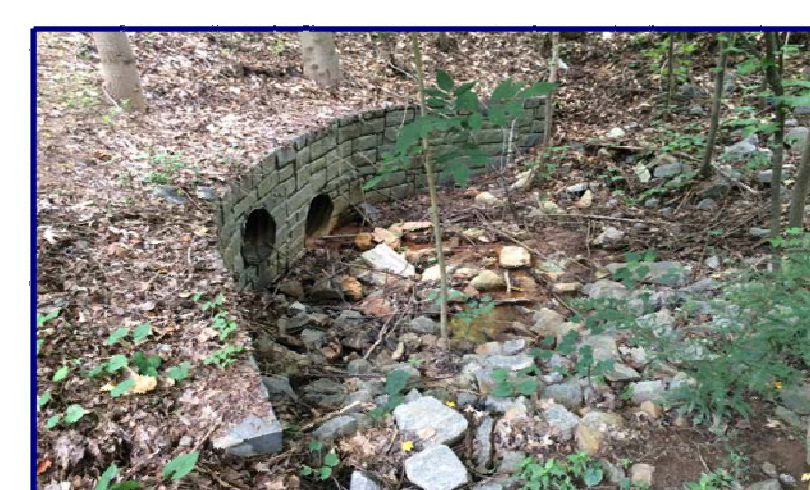


PHOTO #3



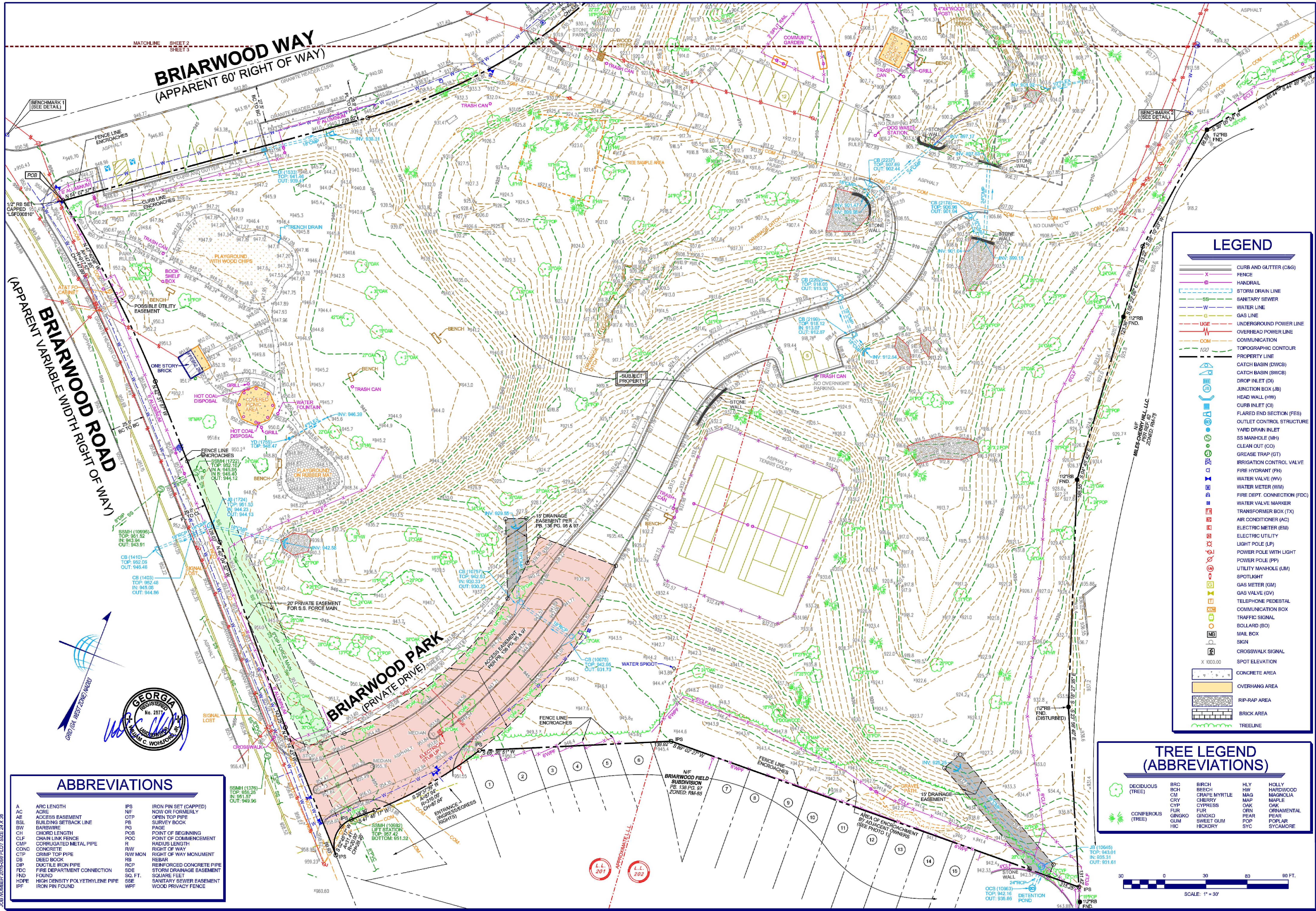
BOUNDARY AND TOPOGRAPHIC SURVEY  
FOR  
THE CITY OF BROOKHAVEN  
(BRIARWOOD PARK)  
LOCATED IN  
LAND LOT 201 & 202, 18TH DISTRICT  
DEKALB COUNTY, GEORGIA

SHEET NO.

1/3

DRAWING# TM 18 098

V-001



**BRIARWOOD WAY**  
(APPARENT 60' RIGHT OF WAY)

**BRIARWOOD ROAD**  
(APPARENT VARIABLE WIDTH RIGHT OF WAY)

**BRIARWOOD PARK**  
(PRIVATE DRIVE)

### LEGEND

- CURB AND GUTTER (C&G)
- FENCE
- HANDRAIL
- STORM DRAIN LINE
- SANITARY SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND POWER LINE
- OVERHEAD POWER LINE
- COMMUNICATION
- COMM
- 100
- PROPERTY LINE
- CATCH BASIN (DWCB)
- CATCH BASIN (SWCB)
- DROP INLET (DI)
- JUNCTION BOX (JB)
- HEAD WALL (HW)
- CURB INLET (CI)
- FLARED END SECTION (FES)
- OUTLET CONTROL STRUCTURE
- YARD DRAIN INLET
- SS MANHOLE (MH)
- CLEAN OUT (CO)
- GREASE TRAP (GT)
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT (FH)
- WATER VALVE (WV)
- WATER METER (WM)
- FIRE DEPT. CONNECTION (FDC)
- WATER VALVE MARKER
- TRANSFORMER BOX (TX)
- AIR CONDITIONER (AC)
- ELECTRIC METER (EM)
- ELECTRIC UTILITY
- LIGHT POLE (LP)
- POWER POLE WITH LIGHT
- UTILITY MANHOLE (UM)
- SPOTLIGHT
- GAS METER (GM)
- GAS VALVE (GV)
- TELEPHONE PEDESTAL
- COMMUNICATION BOX
- TRAFFIC SIGNAL
- BOLLARD (BO)
- MAIL BOX
- SIGN
- CROSSWALK SIGNAL
- SPOT ELEVATION
- CONCRETE AREA
- OVERHANG AREA
- RIP-RAP AREA
- BRICK AREA
- TREELINE

### TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BRC	BIRCH	HLY	HOLLY
	BCH	BEECH	HW	HARDWOOD
	CM	CRAPE MYRTLE	MAG	MAGNOLIA
	CRY	CHERRY	MAP	MAPLE
	CYP	CYPRESS	OAK	OAK
	FUR	FUR	ORN	ORNAMENTAL
CONIFEROUS (TREE)	GUM	GINKGO	PEAR	PEAR
	HIC	SWEET GUM	POP	POPLAR
		HICKORY	SYC	SYCAMORE

### ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	NIF	NOW OR FORMERLY
AE	ACCESS EASEMENT	OTF	OPEN TOP PIPE
BSL	BUILDING SETBACK LINE	PE	SURVEY BOOK
BW	BARBWARE	PG	PAGE
CH	CHORD LENGTH	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS LENGTH
CONC	CONCRETE	RAW	RIGHT OF WAY
CTP	CRIMP TOP PIPE	RAW MON	RIGHT OF WAY MONUMENT
DB	DEED BOOK	RB	REBAR
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
TDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAINAGE EASEMENT
FND	FOUND	SQ. FT.	SQUARE FEET
HDPE	HIGH DENSITY POLYETHYLENE PIPE	SSE	SANITARY SEWER EASEMENT
IPF	IRON PIN FOUND	WPF	WOOD PRIVACY FENCE

TerraMark  
Professional Land Surveying, Inc.  
1396 Bells Ferry Road  
Marietta, Georgia 30066  
Phone No. (770) 421-1827  
Fax No. (770) 421-0522  
Lic. No. 100000010

Project No.	2016-089	NO	DATE	BY
Survey Date				
Drawn By	NEC			
Approved By	MCV			
Date	08/24/16			
Scale	1"=30'			

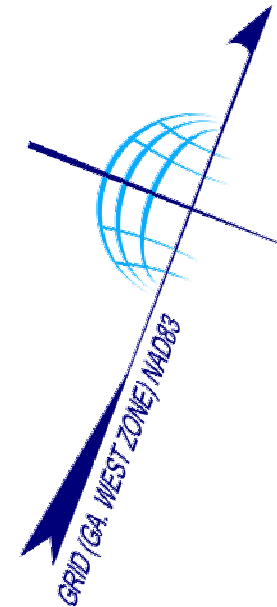
**BOUNDARY AND TOPOGRAPHIC SURVEY**  
FOR  
THE CITY OF BROOKHAVEN  
(BRIARWOOD PARK)  
LOCATED IN  
LAND LOT 201 & 202, 18TH DISTRICT  
DEKALB COUNTY, GEORGIA

SHEET NO.  
2/3  
DRAWING# TM 18 088

**V-002**

**SITE AREA**

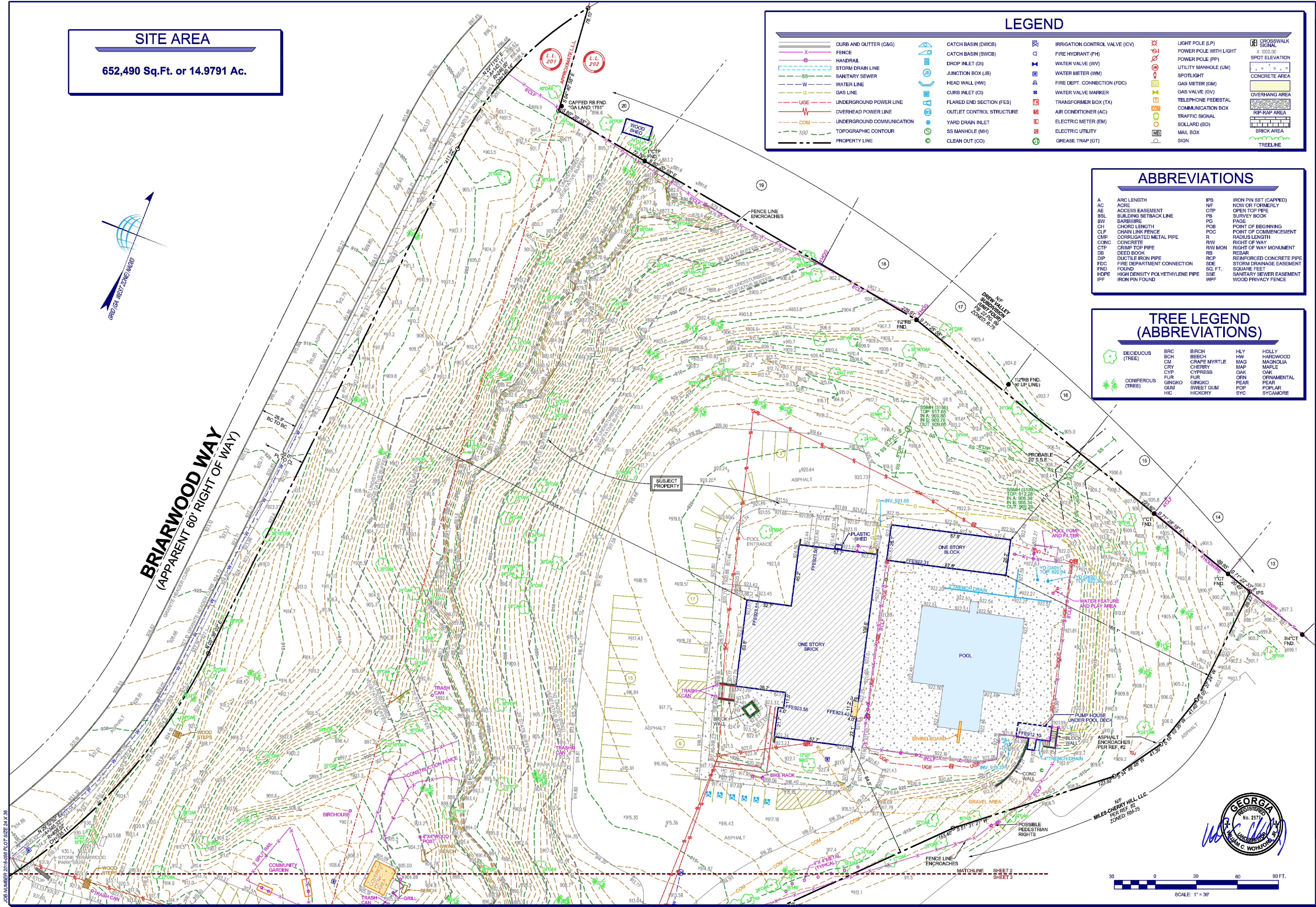
652,490 Sq.Ft. or 14.9791 Ac.



LEGEND			
	CURB AND GUTTER (C&G)		IRRIGATION CONTROL VALVE (ICV)
	FENCE		FIRE HYDRANT (FH)
	HANDRAIL		WATER VALVE (WV)
	STORM DRAIN LINE		WATER METER (WM)
	SANITARY SEWER		FIRE DEPT. CONNECTION (FDC)
	WATER LINE		TRANSFORMER BOX (TX)
	GAS LINE		AIR CONDITIONER (AC)
	UNDERGROUND POWER LINE		ELECTRIC METER (EM)
	OVERHEAD POWER LINE		ELECTRIC UTILITY
	UNDERGROUND COMMUNICATION		GREASE TRAP (GT)
	100' TOPOGRAPHIC CONTOUR		CATCH BASIN (DWCB)
	PROPERTY LINE		CATCH BASIN (SWCB)
			DROP INLET (DI)
			JUNCTION BOX (JB)
			HEAD WALL (HW)
			CURB INLET (CI)
			FLARED END SECTION (FES)
			OUTLET CONTROL STRUCTURE
			YARD DRAIN INLET
			SS MANHOLE (MH)
			CLEAN OUT (CO)
			LIGHT POLE (LP)
			POWER POLE WITH LIGHT
			POWER POLE (PP)
			UTILITY MANHOLE (UM)
			SPOTLIGHT
			GAS METER (GM)
			GAS VALVE (GV)
			TELEPHONE PEDESTAL
			COMMUNICATION BOX
			TRAFFIC SIGNAL
			BOLLARD (BO)
			MAIL BOX
			SIGN
	CROSSWALK SIGNAL		CONCRETE AREA
	SPOT ELEVATION		OVERHANG AREA
	RIP-RAP AREA		BRICK AREA
	TREELINE		

ABBREVIATIONS			
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AC	ACRE	NF	NOW OR FORMERLY
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		GUM	GUM	POP	POPULAR
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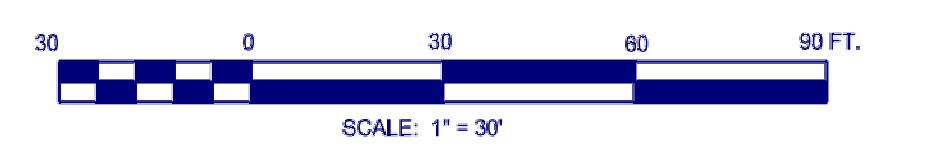


TerraMark Land Surveying, Inc.  
1396 Bulls Ferry Road  
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Project No.	2016-089	NO	17	18	19	20
Survey Date	DIV	17	18	19	20	
Drawn By	NEC	17	18	19	20	
Approved By	MDV	17	18	19	20	
Date	06/24/16	17	18	19	20	
Scale	1"=30'	17	18	19	20	

**BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (BRIARWOOD PARK) LOCATED IN LAND LOT 201 & 202, 18TH DISTRICT DEKALB COUNTY, GEORGIA**



SHEET NO.  
**3 / 3**  
DRAWING# TM 18 098

**V-003**

**GENERAL NOTES:**

1. THE PURPOSE OF THIS PROJECT IS TO INSTALL 3' WIDE NATURAL SURFACE HIKING TRAILS, CROSSWALKS AND CROSSWALK SIGNS, AND REFURBISH AN EXISTING NATURAL SURFACE TRAIL SYSTEM.
2. TOTAL LIMITS OF DISTURBANCE = ±.37 AC (16,527 SF)  
TOTAL SITE AREA = ±14.97 AC
3. NO PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE AE PER FEMA FIRM MAP FM 13088 C0052J, LAST UPDATED MAY 2013, FOR DEKALB COUNTY GA. FLOOD ZONE AE IS DEFINED AS SPECIAL FLOOD AREA HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED, THE PROJECT SITE WITH PROPOSED IMPROVEMENTS IS OUTSIDE FLOOD ZONE AE.
4. THE SITE IS CURRENTLY ZONED R-75 (SINGLE FAMILY RESIDENTIAL DISTRICT)
5. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF BROOKHAVEN STANDARDS AND SPECIFICATIONS. ALL CONSTRUCTION METHODS SHALL ADHERE TO O.S.H.A. REGULATIONS.
6. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND NOTIFY PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
8. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. IF UNCHARTED UTILITIES ARE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IMMEDIATELY FOR INSTRUCTIONS. ANY DAMAGE OR INTERRUPTION OF EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED PROMPTLY AT THE CONTRACTOR'S EXPENSE.
9. NAME AND ADDRESS OF OWNER:  
CITY OF BROOKHAVEN  
4362 PEACHTREE ROAD  
BROOKHAVEN, GEORGIA 30319  
PHONE: (404) 637-0542  
CONTACT: BRIAN BORDEN
10. NAME AND ADDRESS OF PROJECT LANDSCAPE ARCHITECT/ENGINEER:  
GREENBERGFARROW  
1430 WEST PEACHTREE ST SUITE #200  
ATLANTA, GEORGIA 30309  
CONTACT: PATRICK WAYLOR
11. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED DISTURBANCE SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO DISTURBANCE SHALL OCCUR OUTSIDE THE LIMITS INDICATED ON THE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE PROJECT LANDSCAPE ARCHITECT.
12. THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF ALL CONSTRUCTION ELEMENTS, WITH SOME FIELD ADJUSTMENTS AS NECESSARY BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT GROUNDWATER CONTROL DURING CONSTRUCTION, AS WELL AS PROVISIONS FOR CONTROLLING SURFACE WATER RUN-OFF, IN ORDER TO PREVENT PONDING IN OPEN EXCAVATIONS AND POTENTIAL UNDERMINING OF PERMANENT CONSTRUCTION FEATURES.
15. EARTHWORK OPERATIONS AND SOIL COMPACTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND DRAWINGS.
16. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND LAYOUT.
17. DEMOLITION DEBRIS SHALL BECOME PROPERTY OF THE CONTRACTOR AND WASTE SOILS, VEGETATION, AND OTHER DELETERIOUS MATERIALS SHALL BE HAULED OFF-SITE AND BE DISPOSED OF AT AN APPROVED LOCATION IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. BURNING WILL NOT BE ALLOWED ON THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE CITY OF BROOKHAVEN.
18. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATIONS, ALONG WITH APPLICABLE CITY OF BROOKHAVEN AND GEORGIA DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND STANDARDS.
19. ALL TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED WITH TREE SAVE TAPE PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING EARTHWORK OPERATIONS SO THAT NO DAMAGE TO EXISTING TREES AND ROOT SYSTEMS OCCURS. TREE PROTECTION MEASURES SHALL BE COORDINATED WITH THE PROJECT LANDSCAPE ARCHITECT AND CITY ARBORIST.

22. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. ANY OFF-SITE AREAS DISTURBED OR DAMAGED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER/DEVELOPER.
23. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTINUOUS BASIS AT THE SITE.
24. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK, THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
25. THE CONTRACTOR SHALL PROVIDE THE PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER OF RECORD WITH THE DATE WHEN THE CONSTRUCTION IS TO BEGIN.
26. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER AND THE PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

**CITY OF BROOKHAVEN EROSION CONTROL NOTES:**

1. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
2. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXIT(S), ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
3. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.
4. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
5. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.
6. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
7. ALL SEWER EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION.
8. ALL EQUIPMENT MUST BE CLEANED (INCLUDING, BUT NOT LIMITED TO, DIRT AND SEDIMENT REMOVAL) PRIOR TO ENTERING ANY ROAD, PARKING, OR OTHER PAVED AREA.
9. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
10. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

**ENVIRONMENTAL NOTES**

1. TREES WITHIN THE LIMITS OF DISTURBANCE HAVE BEEN DESIGNATED FOR PROTECTION WITHIN TREE SAVE AREAS. ANY TREES DESIGNATED FOR PROTECTION THAT ARE REMOVED OR DAMAGED SHALL REQUIRE REPLACEMENT BY THE CONTRACTOR AT NO COST TO THE OWNER. REQUIRED REPLACEMENT SHALL MEET THE SATISFACTION OF THE CITY OF BROOKHAVEN AND THE PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT ENGINEER.
2. CONTRACTOR IS TO MAINTAIN CONSTRUCTION RELATED ACTIVITIES WITHIN THE DESIGNATED LIMITS SHOWN ON THE DRAWINGS.
3. CONSTRUCTION SITE STAGING AND STORAGE SHALL NOT INFRINGE UPON, DAMAGE OR DESTROY ANY TREE SAVE AREAS AND SHALL BE LIMITED TO THE AREA DESIGNATED BY THE LIMIT OF CONSTRUCTION BOUNDARY.



1430 W. Peachtree St. NW  
Suite 200  
Atlanta, GA 30309  
t: 404 601 4000 f: 404 601 3970

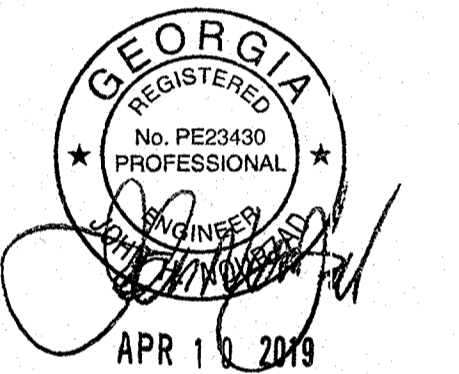
**PROJECT TEAM**

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**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
08-24-18	COB PERMIT SUBMITTAL
08-28-18	COB PERMIT RE-SUBMITTAL
10-15-18	COB PERMIT RE-SUBMITTAL
01-23-19	ISSUED FOR BID

**PROFESSIONAL SEAL**



**PROFESSIONAL IN CHARGE**

**JOHN NOURZAD**  
PROFESSIONAL ENGINEER  
LICENSE NO. 23430

**PROJECT MANAGER**

PATRICK WAYLOR

**QUALITY CONTROL**

LIZ COLE

**DRAWN BY**

THOMAS HARGRETT

**PROJECT NAME**

**BRIARWOOD NATURE TRAIL**

**BROOKHAVEN GEORGIA**

**BRIARWOOD RD AND  
BRIARWOOD WAY NE  
BROOKHAVEN, GA 30341  
DEKALB COUNTY**



**PROJECT NUMBER**

20181167.0

**SHEET TITLE**

**GENERAL NOTES**

**SHEET NUMBER**

**C-001**

**FORD CROSSING SIZING CHART**

CROSSING NUMBER	CROSSING LENGTH	# OF ENTRY STEPS	# OF EXIT STEPS
①	6'	0	0
②	5'	15	8
③	6'	6	6
④	6'	15	2

**SITE NOTES:**

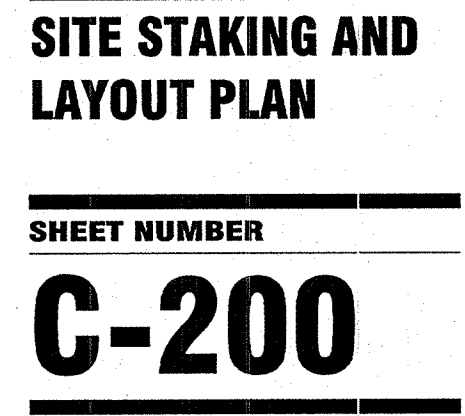
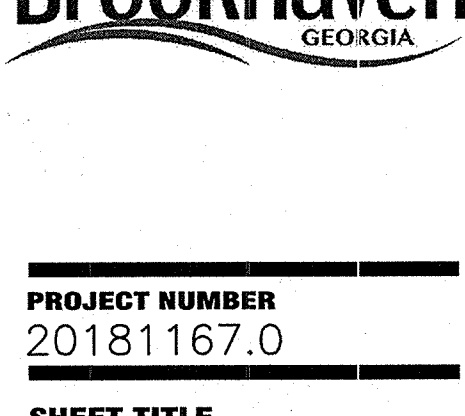
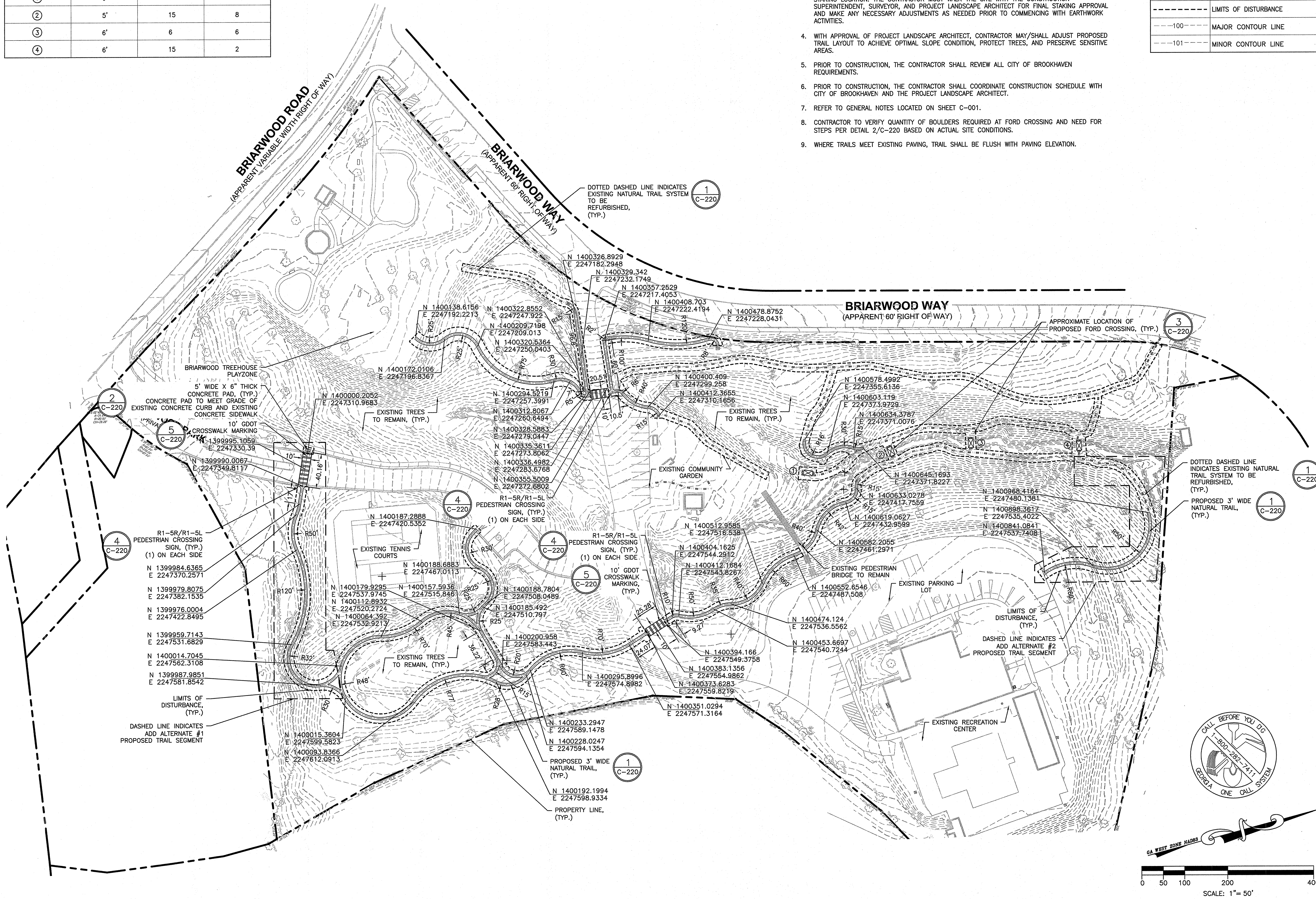
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, CENTERLINE OF SIDEWALK/TRAIL, FACE OF WALL ETC.
- IN AREAS WITH SLOPE GREATER THAN 4:1, SWITCHBACKS MAY BE REQUIRED.

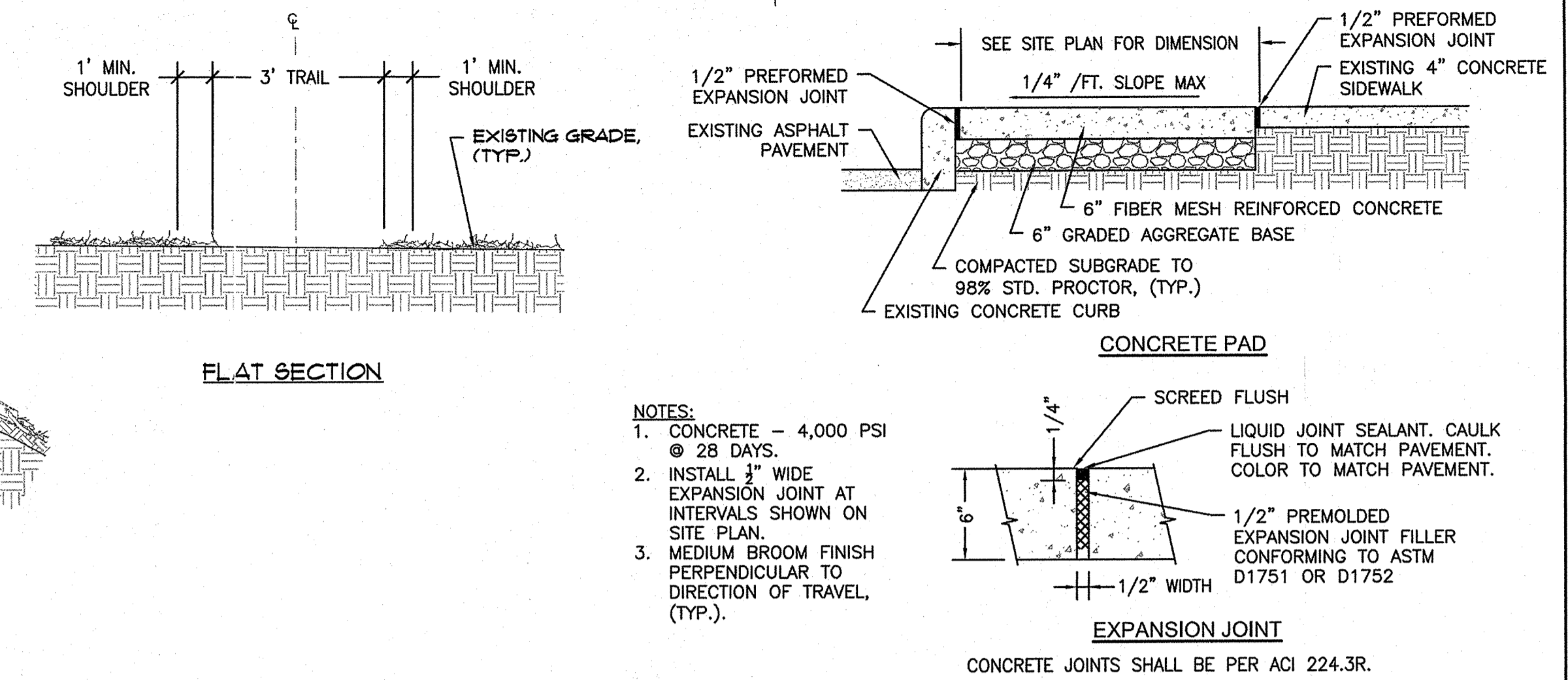
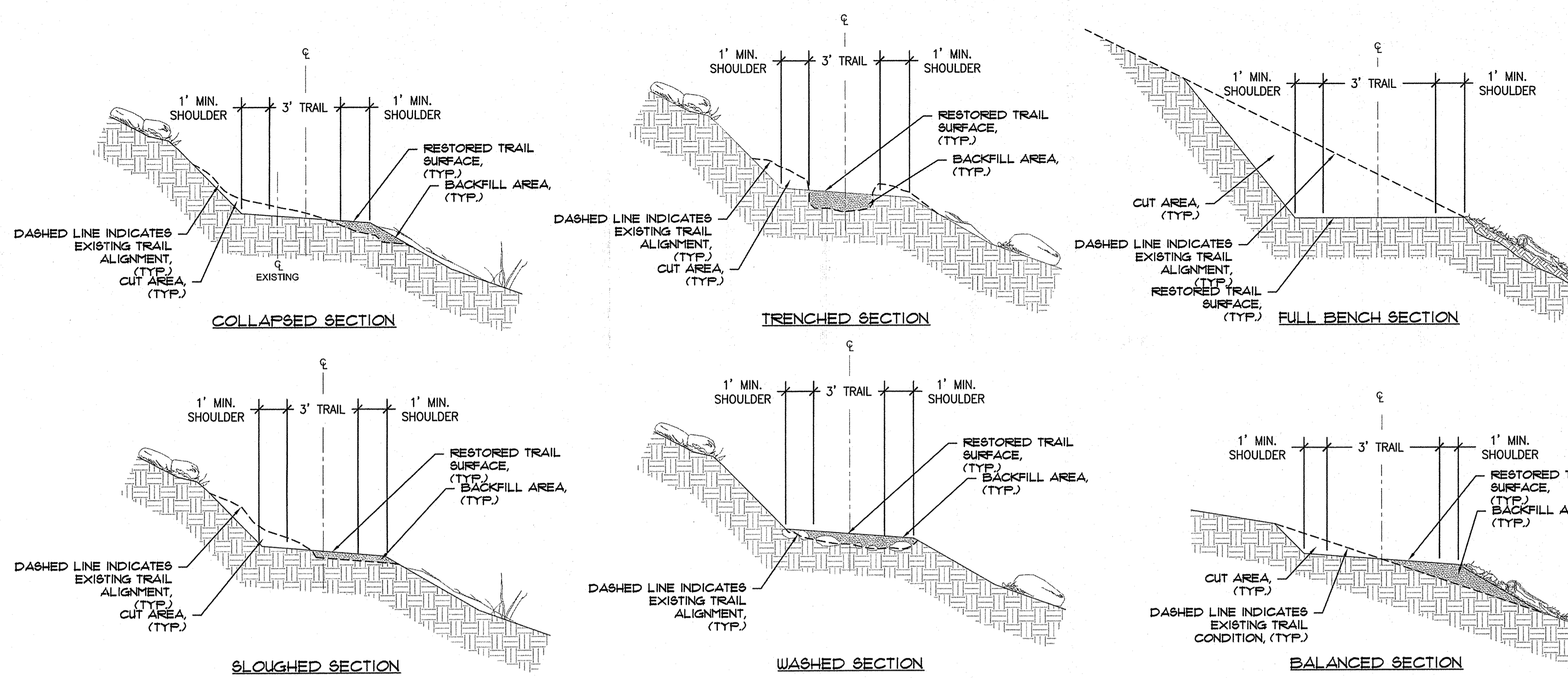
**GENERAL NOTES:**

- SET 3' TALL STAKE WITH ORANGE FLAG AT EACH NORTHING & EASTING COORDINATE AS SHOWN ON PLANS SHEET C-200.
- WRITE STAKE ID NO. ON EACH STAKE. CENTERLINE IS STAKED.
- CONTRACTOR SHALL STAKE THE LOCATION OF ALL PROJECT ELEMENTS. AFTER STAKES ARE SET, PROJECT LANDSCAPE ARCHITECT MUST BE NOTIFIED 24 HOURS IN ADVANCE TO INSPECT THE STAKING LOCATION. THE CONTRACTOR MUST WALK THE SITE WITH THE CONSTRUCTION SUPERINTENDENT, SURVEYOR, AND PROJECT LANDSCAPE ARCHITECT FOR FINAL STAKING APPROVAL AND MAKE ANY NECESSARY ADJUSTMENTS AS NEEDED PRIOR TO COMMENCING WITH EARTHWORK ACTIVITIES.
- WITH APPROVAL OF PROJECT LANDSCAPE ARCHITECT, CONTRACTOR MAY/SHALL ADJUST PROPOSED TRAIL LAYOUT TO ACHIEVE OPTIMAL SLOPE CONDITION, PROTECT TREES, AND PRESERVE SENSITIVE AREAS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW ALL CITY OF BROOKHAVEN REQUIREMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE WITH CITY OF BROOKHAVEN AND THE PROJECT LANDSCAPE ARCHITECT.
- REFER TO GENERAL NOTES LOCATED ON SHEET C-001.
- CONTRACTOR TO VERIFY QUANTITY OF BOULDERS REQUIRED AT FORD CROSSING AND NEED FOR STEPS PER DETAIL 2/C-220 BASED ON ACTUAL SITE CONDITIONS.
- WHERE TRAILS MEET EXISTING PAVING, TRAIL SHALL BE FLUSH WITH PAVING ELEVATION.

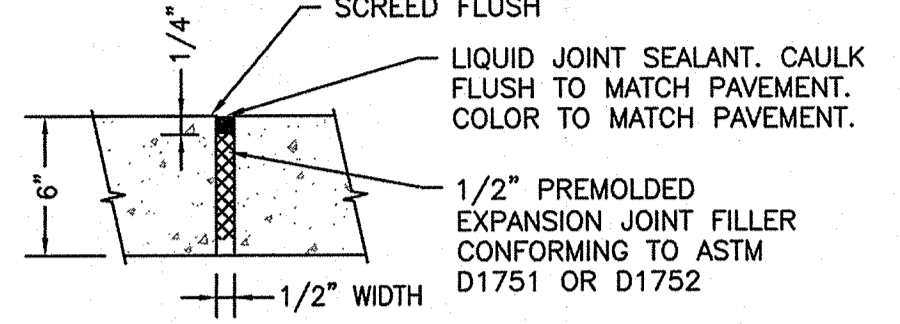
**PROPOSED LEGEND**

	PROPOSED 3' WIDE NATURE TRAIL
	EXISTING NATURAL TRAIL SYSTEM
	PROPOSED FORD CROSSING (SEE CHART)
	LIMITS OF DISTURBANCE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE



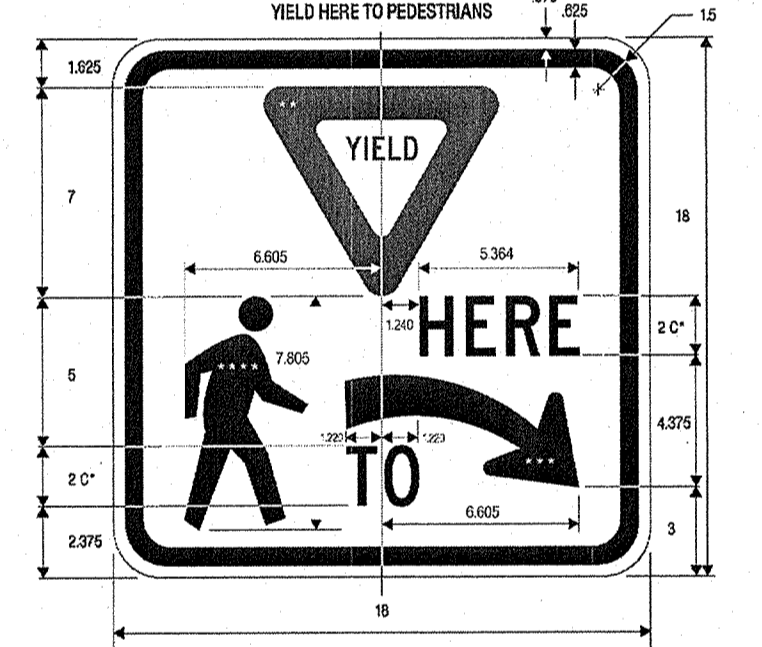
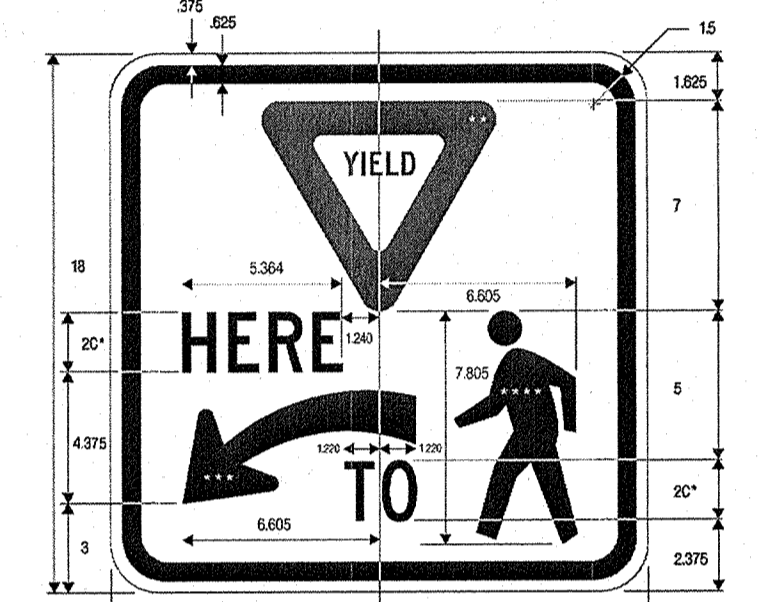
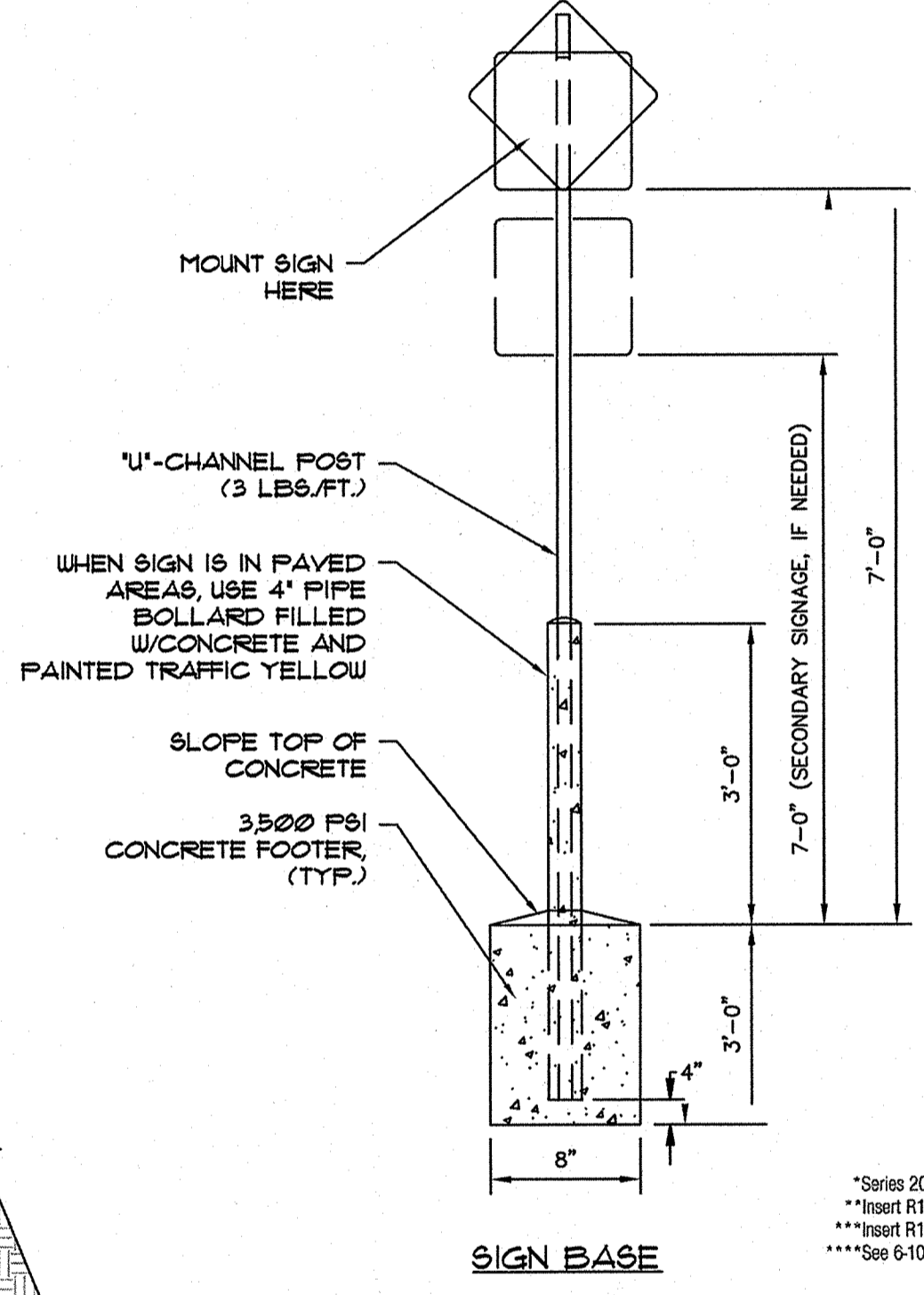


- NOTES:**
1. CONCRETE - 4,000 PSI @ 28 DAYS.
  2. INSTALL 1/2" WIDE EXPANSION JOINT AT INTERVALS SHOWN ON SITE PLAN.
  3. MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL, (TYP.).

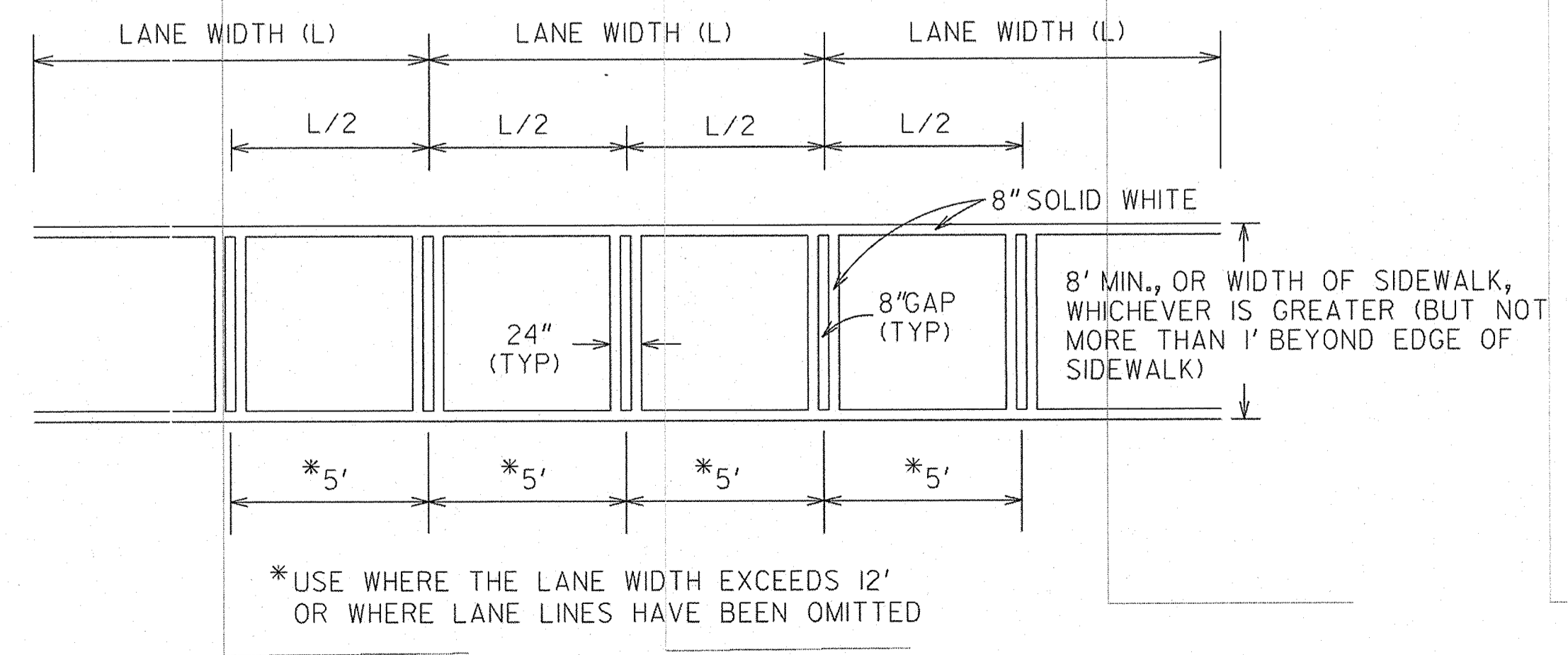


**2 CONCRETE PAD AND JOINT DETAIL**  
SCALE: NTS

ALL SIGNS SHOULD COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

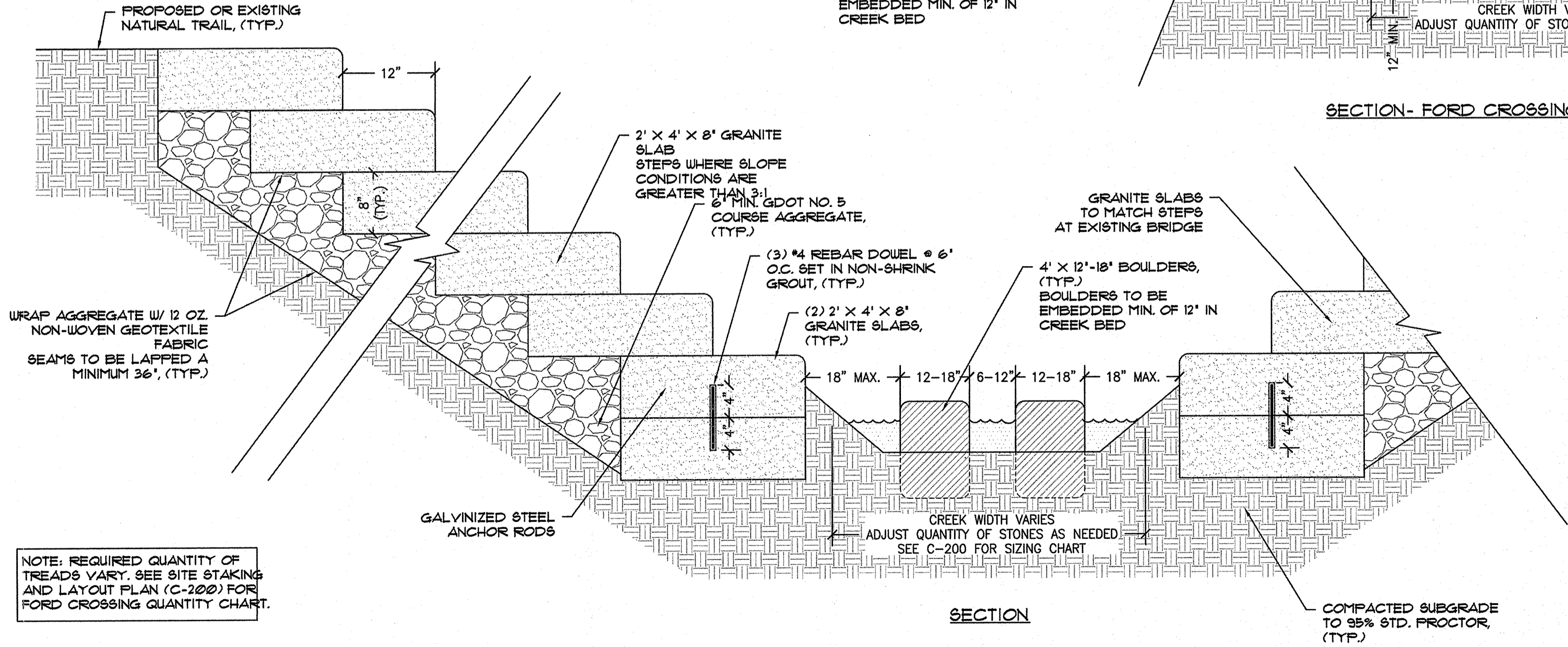
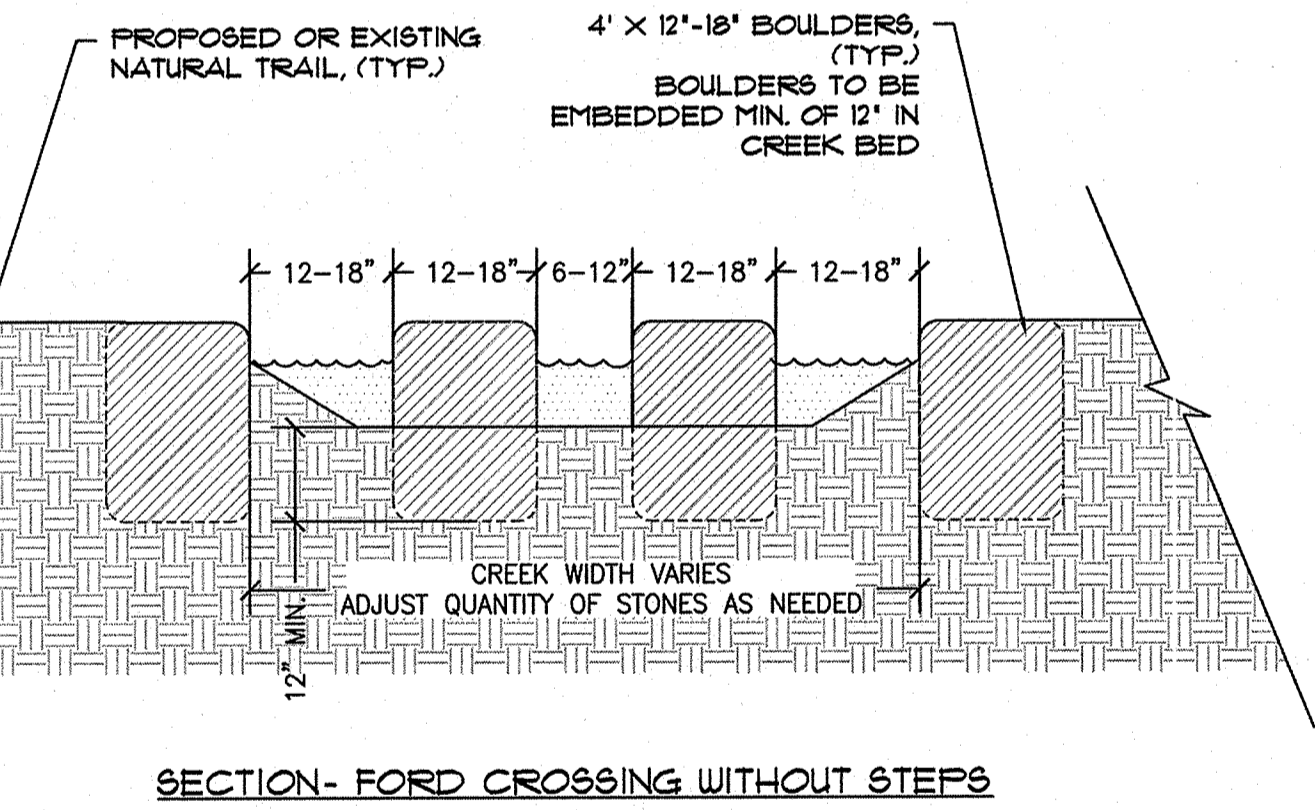
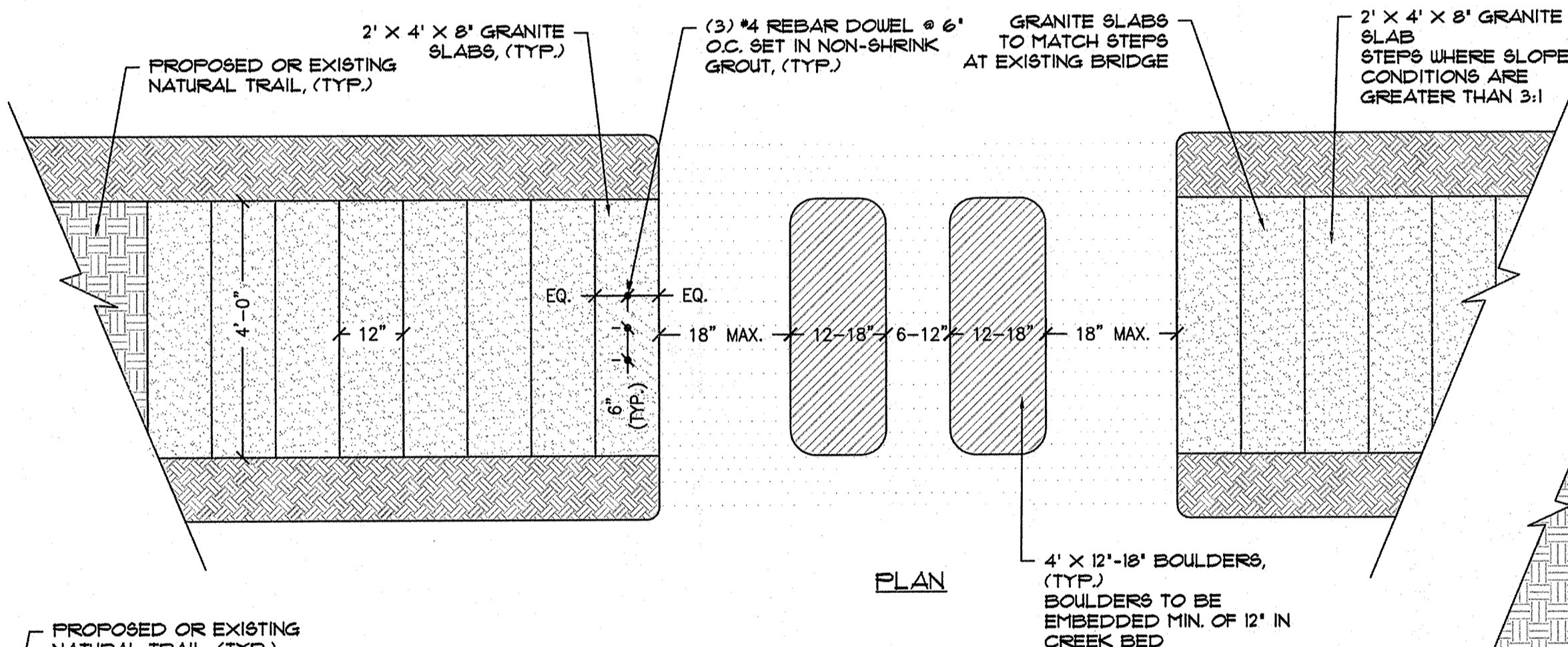


**4 PEDESTRIAN CROSSING BASE DETAIL**  
SCALE: NTS



**5 DOT STANDARD CROSSWALK DETAIL**  
SCALE: NTS

**1 TYPICAL PROPOSED AND EXISTING TRAIL NATURAL SURFACE HIKING SYSTEM RESTORATION SECTIONS**  
SCALE: NTS



**3 FORD CREEK CROSSING**  
SCALE: NTS

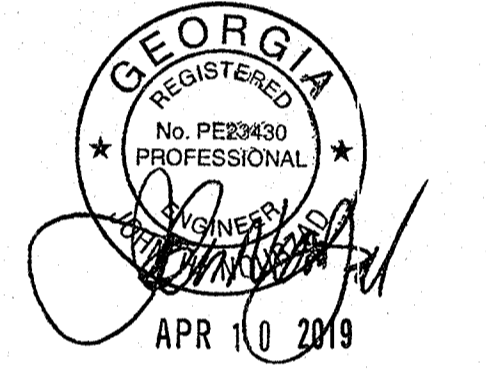
NOTE: REQUIRED QUANTITY OF TREADS VARY. SEE SITE STAKING AND LAYOUT PLAN (C-200) FOR FORD CROSSING QUANTITY CHART.

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**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
08-24-18	COB PERMIT SUBMITTAL
08-28-18	COB PERMIT RE-SUBMITTAL
10-15-18	COB PERMIT RE-SUBMITTAL
01-23-19	ISSUED FOR BID

**PROFESSIONAL SEAL**



**PROFESSIONAL IN CHARGE**  
**JOHN NOURZAD**  
PROFESSIONAL ENGINEER  
LICENSE NO. 23430  
**PROJECT MANAGER**  
PATRICK WAYLOR  
**QUALITY CONTROL**  
LIZ COLE  
**DRAWN BY**  
THOMAS HARGRETT

**PROJECT NAME**  
**BRIARWOOD NATURE TRAIL**

**BROOKHAVEN GEORGIA**  
**BRIARWOOD RD AND BRIARWOOD WAY NE**  
**BROOKHAVEN, GA 30341**  
**DEKALB COUNTY**



**PROJECT NUMBER**  
20181167.0

**SHEET TITLE**  
**SITE DETAILS**

**SHEET NUMBER**

**C-220**

**OWNER/DEVELOPER:**  
CITY OF BROOKHAVEN  
CONTACT: BRIAN BORDEN  
PARKS & RECREATION DEPT.  
3360 OSBORNE RD. NE  
BROOKHAVEN, GA 30319  
(404) 275-9901

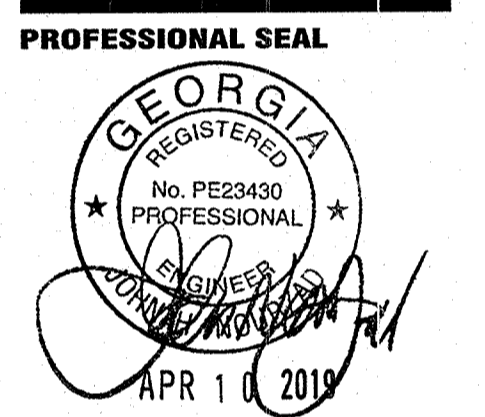
**LAND SURVEYOR:**  
TERRAMARK  
1396 BELLS FERRY ROAD  
MARIETTA, GA 30066  
770-421-1927

**ENGINEER/LANDSCAPE ARCHITECT:**  
GREENBERGFARROW  
CONTACT: PATRICK WAYLOR  
1430 WEST PEACHTREE ST. NW,  
SUITE 200  
ATLANTA, GA 30309  
(678) 983-8614

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
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DEKALB COUNTY



**PROJECT NUMBER**  
20181167.0

**SHEET TITLE**  
**EROSION CONTROL AND TREE PROTECTION PLAN**

**SHEET NUMBER**  
**C-300**

**GENERAL NOTES**

1. CONTACT CITY ARBORIST FOR APPROPRIATE TREATMENT OF TREES PRIOR TO PRUNING.

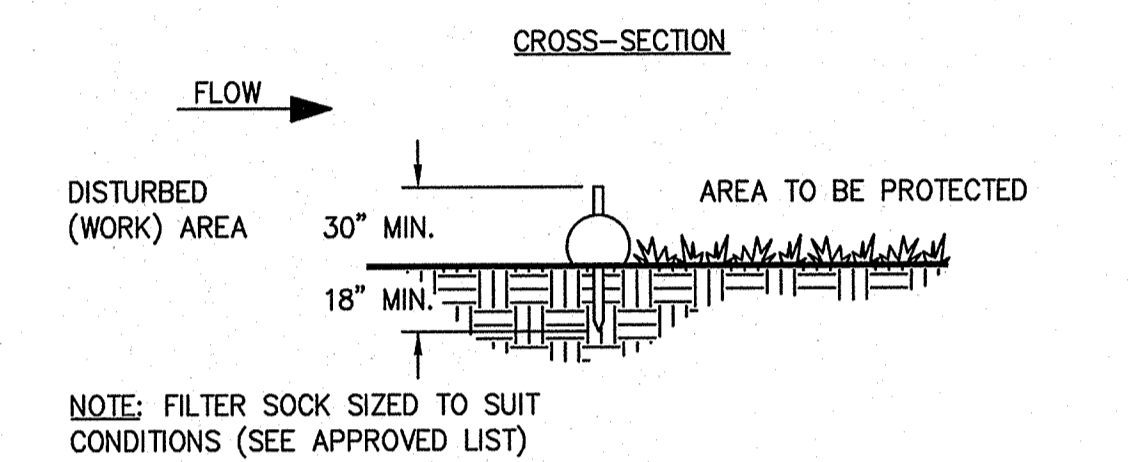
**CONTACTS**

**ESC NOTES:**

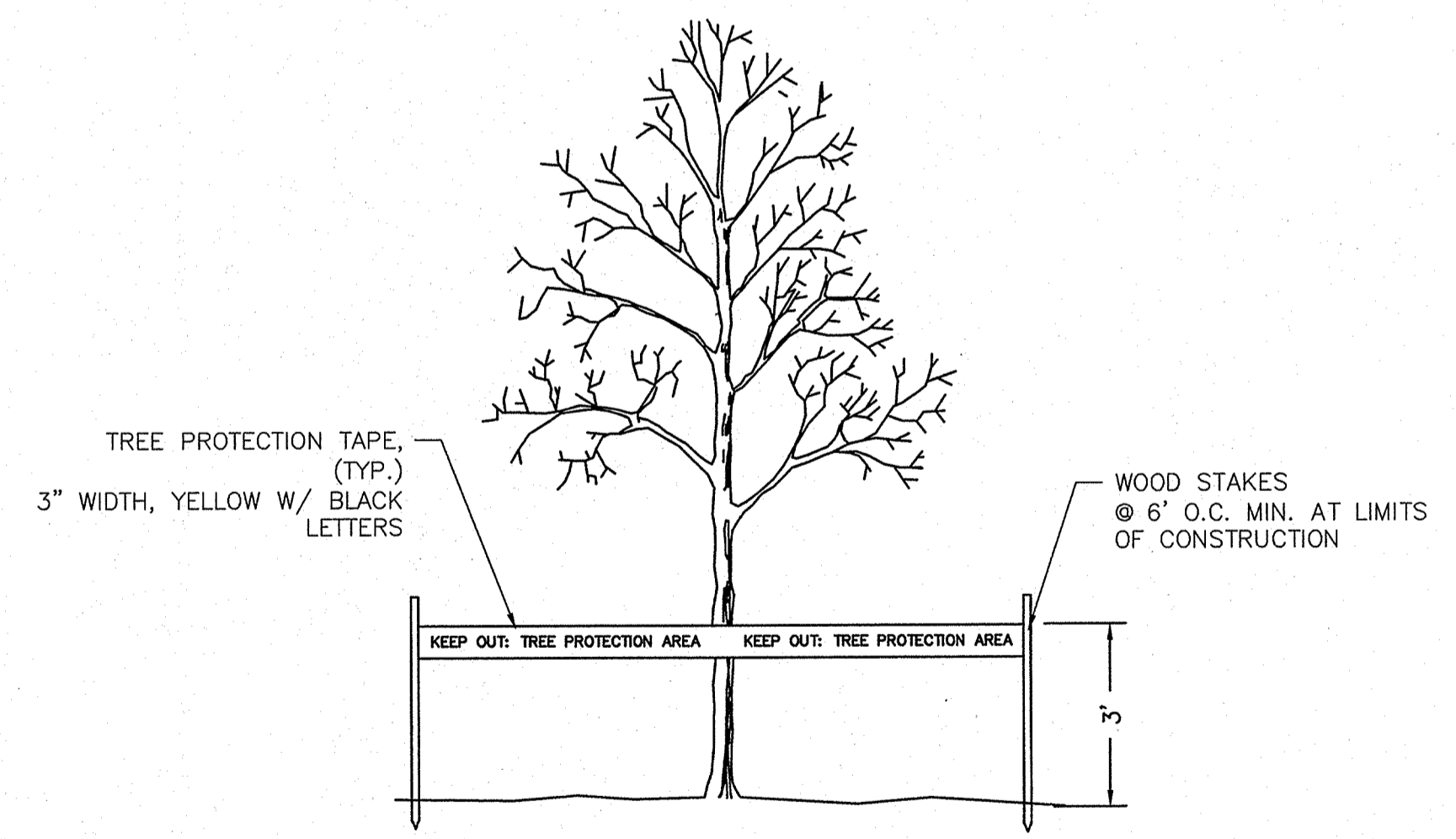
- SEE SHEET C-001 FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS.
- STORM STRUCTURES MAY EXIST THAT ARE NOT SHOWN ON PLANS. ALL EXISTING STORM STRUCTURES LOCATED IN THE FIELD WITHIN AND ADJACENT TO LIMITS OF DISTURBANCE SHALL HAVE FILTER FABRIC INLET PROTECTION.

**EROSION CONTROL AND TREE PROTECTION LEGEND**

- LIMIT OF DISTURBANCE/TREE PROTECTION TAPE
- COMPOST FILTER SOCK
- ☼ EXISTING HARDWOOD TO REMAIN (TYP.)
- ☼ EXISTING PINE TO REMAIN (TYP.)



**1 COMPOST FILTER SOCK**  
SCALE: N.T.S.



**2 TREE PROTECTION TAPE DETAIL**  
SCALE: N.T.S.

**CITY OF BROOKHAVEN EROSION CONTROL NOTES:**

- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR WITHIN THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
- IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXIT(S), ALL PERIMETER EROSION CONTROL DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
- OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.
- THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED CONSISTENT WITH THE CITY OF BROOKHAVEN EROSION CONTROL ORDINANCE.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- ALL SEWER EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION.
- ALL EQUIPMENT MUST BE CLEANED (INCLUDING, BUT NOT LIMITED TO, DIRT AND SEDIMENT REMOVAL) PRIOR TO ENTERING ANY ROAD, PARKING, OR OTHER PAVED AREA.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORK DAY TO ENSURE MEASURE ARE FUNCTIONING PROPERLY.
- IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS NECESSARY.

**TREE PROTECTION NOTES:**

- ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
- TREE PROTECTION TAPE SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING). CLEARING SHALL BE DONE BY HAND.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL IMMEDIATELY. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.
- TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- DAMAGE TO TREES OR ANY NATURAL RESOURCE DUE TO CONTRACTOR'S NEGLIGENCE DURING THE CONSTRUCTION PHASE SHALL BE APPRAISED BY THE OWNERS REPRESENTATIVE AND ORDERED REPAIRED, REPLACED, OR COMPENSATED.

NOTE: CONSTRUCTION ACTIVITY ALLOWED WITHIN CRZ (FOR UP TO 20%), (TYP.)

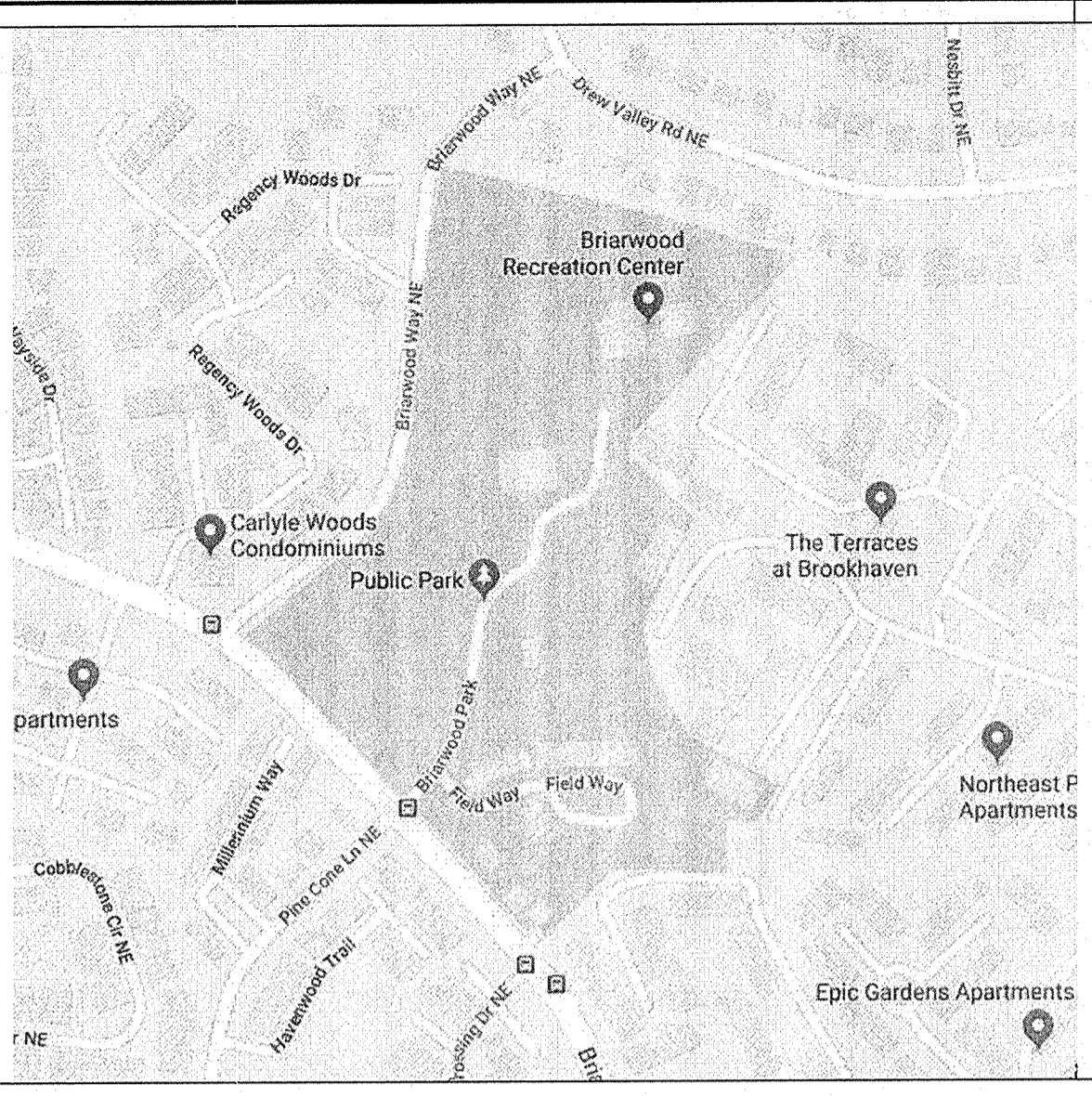
NOTE: COMPOST FILTER SOCK AND TREE PROTECTION TAPE TO BE LOCATED IN THE FIELD AS SHOWN ONLY WHERE ACTIVE TRAIL WORK IS OCCURRING. UPON COMPLETION OF EACH PORTION OF TRAIL WORK, THE COMPOST FILTER SOCK AND TREE PROTECTION TAPE IS TO BE RE-LOCATED TO THE NEXT AREA WHERE ACTIVE TRAIL WORK IS TO OCCUR.

TREE PRESERVATION NOTE: NO TREE REMOVAL IS TO OCCUR DURING ANY PHASE OF CONSTRUCTION. ALL TREES ARE TO REMAIN. CONTRACTOR TO ENSURE THE PRESERVATION OF ANY TREES THAT HAVE A CRITICAL ROOT ZONE (CRZ) THAT FALLS WITHIN THE LIMITS OF DISTURBANCE.

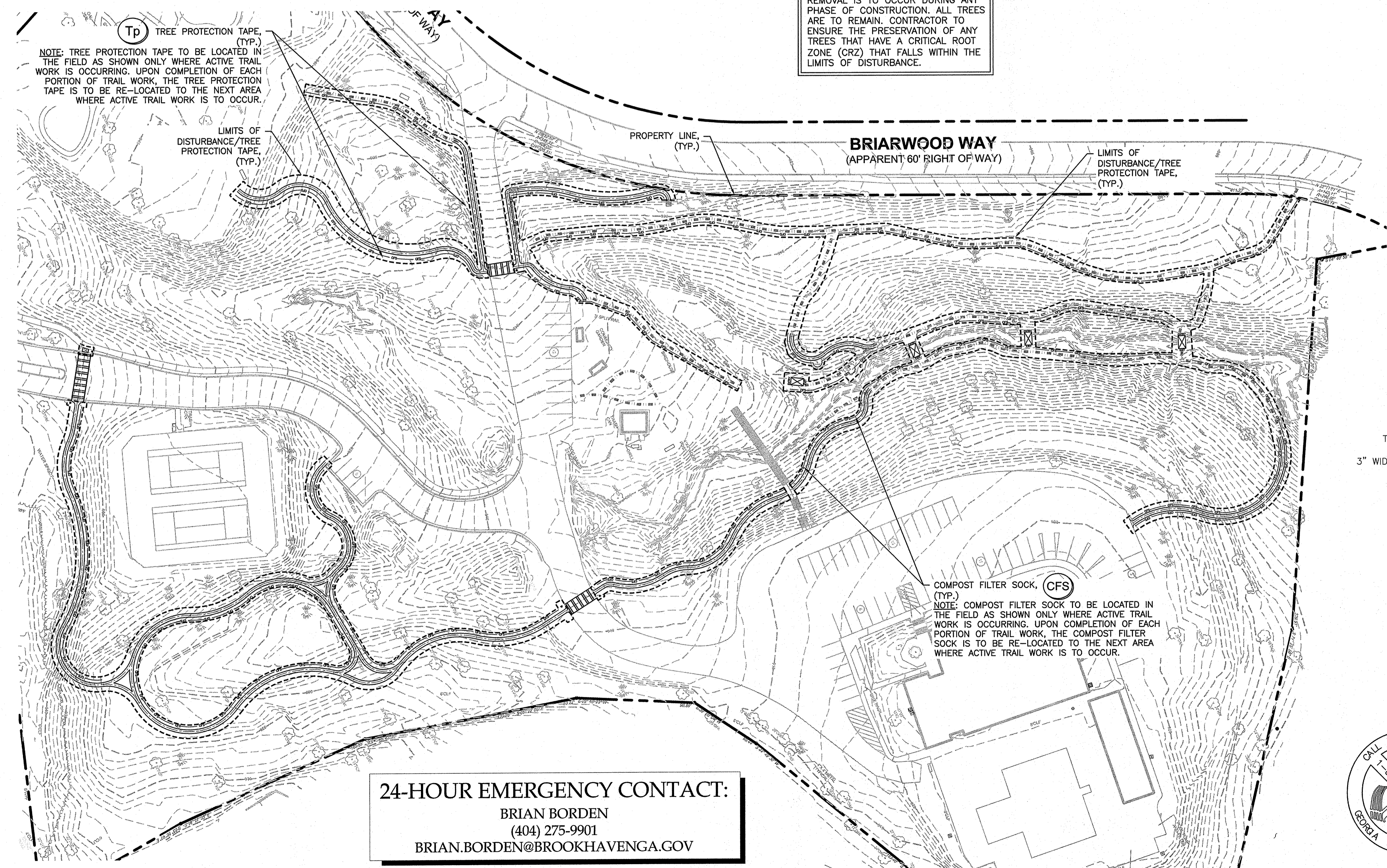
**GSWCC** GEORGIA SOIL AND WATER CONSERVATION COMMISSION

**JOHN NOURZAD**  
Level II Certified Design Professional

CERTIFICATION NUMBER: **0000043822**  
EXPIRES: 06/28/2019



**LOCATION MAP (N.T.S.)**



**24-HOUR EMERGENCY CONTACT:**  
BRIAN BORDEN  
(404) 275-9901  
BRIAN.BORDEN@BROOKHAVENGA.GOV

