

ISSUE FOR BID

LYNWOOD PARK - BUILDING RE-ROOFING

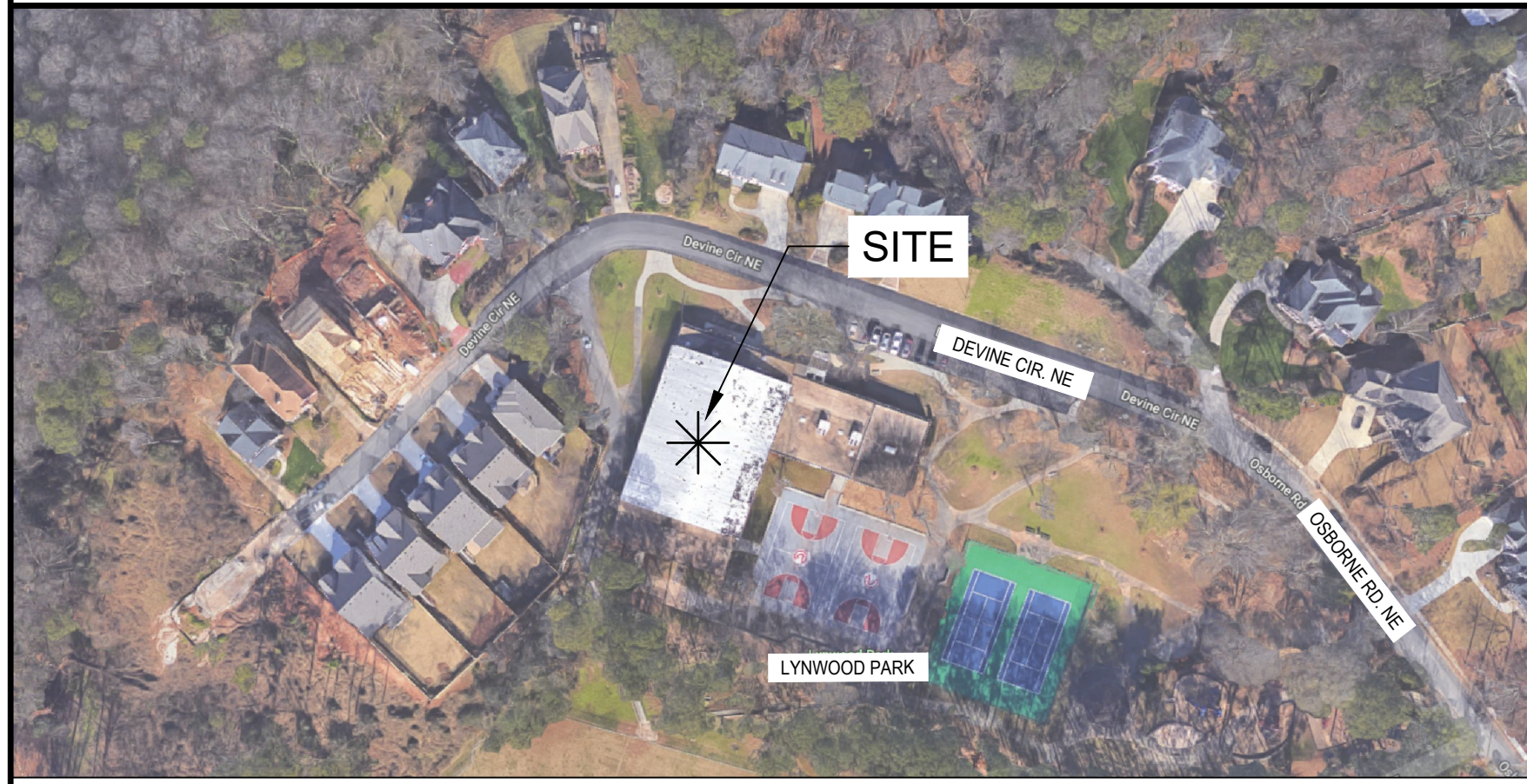
3360 OSBORNE ROAD NE
BROOKHAVEN, GEORGIA 30319



THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPIING, OR USE OF THE DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. AND ANY VIOLATION IS SUBJECT TO LEGAL ACTION.



LOCATION MAP



SHEET INDEX

GENERAL

A0.0 COVER SHEET

ARCHITECTURAL

A1.1 DEMOLITION PLANS

A2.1 NEW CONSTRUCTION PLANS

A3.1 EXISTING CONDITIONS & DEMOLITION - ROOF DETAILS

A3.2 EXISTING CONDITIONS & DEMOLITION - ROOF DETAILS

A4.1 NEW CONSTRUCTION - ROOF DETAILS

A4.2 NEW CONSTRUCTION - ROOF DETAILS

A4.3 ALTERNATE No.2 - NEW CONSTRUCTION - ROOF DETAILS

ABBREVIATIONS

<p>A.B. - ANCHOR BOLTS</p> <p>ABV. - ABOVE</p> <p>A.C.T. - ACUSTICAL CEILING TILE</p> <p>ACUM. - ARCHITECTURAL CONCRETE</p> <p>MASONRY UNIT</p> <p>ADA - AMERICANS W/DSABILITIES ACT</p> <p>ADAAG. - AMERICANS W/DSABILITIES ACT ARCHITECTURAL GUIDELINES</p> <p>ADJ. - ADJUSTABLE</p> <p>A.F.F. - ABOVE FINISHED FLOOR</p> <p>ALUM. - ALUMINUM</p> <p>APPROX. - APPROXIMATE</p> <p>ARCH - ARCHITECT, ARCHITECTURE</p> <p>ASPH. - ASPHALT</p> <p>ASSEM. - ASSEMBLE</p> <p>ASSOC. - ASSOCIATE</p> <p>ASSY. - ASSEMBLY</p> <p>ATTEN. - ATTENUATION</p> <p>ATM. - AUTOMATIC TELLER MACHINE</p> <p>AUTO. - AUTOMATIC</p> <p>BD. - BOARD</p> <p>BDRM. - BEDROOM</p> <p>BEL. - BELOW</p> <p>BETW. - BETWEEN</p> <p>BLK. - BLOCK</p> <p>BLDG. - BUILDING</p> <p>BLKG. - BLOCK(ING)</p> <p>BM. - BEAM</p> <p>B.O.S. - BOTTOM OF STEEL</p> <p>BTM. - BOTTOM</p> <p>BRG. - BEARING</p> <p>BRK. - BRICK</p> <p>BRKT. - BRACKET</p> <p>BSTM. - BASEMENT</p> <p>B.W. - BOTHWAYS</p> <p>CC. - CENTER TO CENTER</p> <p>CAB. - CABINET</p> <p>C.C. - CONTRACTOR FURNISHED & CONTRACTOR INSTALLED</p> <p>C.J. - CONTROL JOINT</p> <p>CL. - CENTER LINE</p> <p>C.L.C. - CEILING</p> <p>C.L.O. - CLOSET</p> <p>CLR. CLEAR</p> <p>CMU. - CONCRETE MASONRY UNIT</p> <p>CNTR. - CENTER</p> <p>C.O. - CASSED OPENING</p> <p>COL. - COLUMN</p> <p>CONC. - CONCRETE</p> <p>COND. - CONDITION</p> <p>CONST. - CONSTRUCTION</p> <p>CONT. - CONTINUOUS</p> <p>CONTR. - CONTRACTOR</p> <p>CORR. - COORD. COORDINATE</p> <p>CPT. - CARPET</p>	<p>DBL. - DOUBLE</p> <p>DEG. - DEGREE</p> <p>DEMO. - DEMOLITION</p> <p>DEPT. - DEPARTMENT</p> <p>DET / DTL. - DETAIL</p> <p>D.F. - DRINKING FOUNTAIN</p> <p>D.H. - DOUBLE HUNG</p> <p>DIAG. - DIAGONAL</p> <p>DI. - DIAMETER</p> <p>DIFF. - DIFFUSER</p> <p>DIMS. - DIMENSIONS</p> <p>DIV. - DIVISION</p> <p>DN. - DOWN</p> <p>D.S. - DOWNSPOUT</p> <p>DWG. - DRAWING / DWGS. - DRAWINGS</p> <p>EA. - EACH</p> <p>E.I.F.S. - EXTERIOR INSULATION AND FINISH SYSTEM</p> <p>EJT / E.J. - EXPANSION JOINT</p> <p>ELECT. - ELECTRICAL</p> <p>ELEV. - ELEVATION</p> <p>EMER. - EMERGENCY</p> <p>E.E.W. - EMERGENCY EYE WASH</p> <p>ENGR. - ENGINEER</p> <p>ENTR. - ENTRANCE</p> <p>E.O.S. - EDGE OF SLAB</p> <p>EQUIP. - EQUIPMENT</p> <p>EQ. - EQUAL</p> <p>E.W.C. - ELECTRIC WATER COOLER</p> <p>EXIST. - EXISTING</p> <p>EXP. - EXPANSION</p> <p>EXT. - EXTERIOR</p> <p>FABR. - FABRICATE</p> <p>F.A.R. - FLOOR AREA RATIO</p> <p>FD. - FLOOR DRAIN</p> <p>FDN. - FOUNDATION</p> <p>F.F. - FINISH FLOOR</p> <p>F.F.E. - FINISH FLOOR ELEVATION</p> <p>FE. - FIRE EXTINGUISHER</p> <p>FIN. - FINISH, FINISHED</p> <p>FIX. - FIXTURE</p> <p>FLASH - FLASHING</p> <p>FLG. - FLOORING</p> <p>FLR / FL. - FLOOR</p> <p>FLOUR / FL. - FLUORESCENT</p> <p>F.O. - FINISHED OPENING</p> <p>FRFP. - FIREPROOF</p> <p>FRMG. - FRAMING</p> <p>FRT. - FIRE RETARDANT</p> <p>FS. - FLOOR SINK</p> <p>FT. - FEE</p> <p>FTG. - FOOTING</p> <p>F.T.RTD. - FIRE TREATED</p> <p>FURN. - FURNISH, FURNITURE</p> <p>FURR. - FURRING</p> <p>F.V.C. - FIRE VALVE CABINET</p>	<p>GA. - GAUGE, GAGE</p> <p>GALV. - GALVANIZED</p> <p>GB. - GLASS BLOCK</p> <p>G.C. - GENERAL CONTRACTOR</p> <p>GL. - GLASS</p> <p>GOVT. - GOVERNMENT</p> <p>GYP. BD. - GYPSUM BOARD</p> <p>GSQ. FT. - GROSS SQUARE FEET</p> <p>H.C. - HOLLOW CORE</p> <p>H.C. - HANDICAPPED</p> <p>H.D. - HEAVY DUTY</p> <p>HDR. - HEADER</p> <p>HDW. - HARDWARE</p> <p>HM. - HOLLOW METAL</p> <p>HORIZ. / HOR. - HORIZONTAL</p> <p>HR. - HOUR</p> <p>HT. - HEIGHT</p> <p>I.D. - INSIDE DIAMETER</p> <p>IN. - INCH</p> <p>INFO. - INFORMATION</p> <p>INDUL. - INSULATION</p> <p>INT. - INTERIOR</p> <p>I.T. - INFORMATION TECHNOLOGIES</p> <p>JAN. - JANITOR</p> <p>JST. - JOIST</p> <p>JT. - JOINT</p> <p>L. - ANGLE</p> <p>LAM. - LAMINATE</p> <p>LAV. - LAVATORY</p> <p>L.H. - LEFT HAND</p> <p>LANDG. - LANDING</p> <p>LTS. - LIGHTING</p> <p>LVR. - LOUVER</p> <p>MAINT. - MAINTENANCE</p> <p>MANUF. / MFR. - MANUFACTURER</p> <p>MAS. - MASONRY</p> <p>MATL. - MATERIAL</p> <p>MAX. - MAXIMUM</p> <p>MECH. - MECHANICAL</p> <p>MED. - MEDIUM</p> <p>MET. - METAL</p> <p>MEM. - MEMBRANE</p> <p>MEZZ. - MEZZANINE</p> <p>MIN. - MINIMUM</p> <p>MIR. - MIRROR</p> <p>MISC. - MISCELLANEOUS</p> <p>MOLD. - MOLDING</p> <p>M.M. - MILLIMETER</p> <p>MO. - MASONRY OPENING</p> <p>MTD. - MOUNTED</p> <p>MTL. - MATERIAL</p> <p>MULL. - MULLION</p> <p>NO. - NUMBER</p> <p>NOM. - NOMINAL</p> <p>N.I.C. - NOT IN CONTRACT</p> <p>N.T.S. - NOT TO SCALE</p>	<p>O.C. - ON CENTER</p> <p>OCC. - OCCUPANT OCCUPANCY</p> <p>O.A. - OUTSIDE DIAMETER</p> <p>O.F. - OUTSIDE OF FACE</p> <p>O.F.E. - OWNER FURNISHED EQUIPMENT</p> <p>O.F.O.I. - OWNER FURNISHED & OWNER INSTALLED</p> <p>O.F.C.I. - OWNER FURNISHED & CONTRACTOR INSTALLED**</p> <p>O.F.O.I. - OWNER FURNISHED, OWNER / VENDOR INSTALLED</p> <p>O.H. - OVERHEAD</p> <p>OPNG. - OPENING</p> <p>OPP. - OPPOSITE</p> <p>O.R. - OUTSIDE RADIUS</p> <p>O.S.B. - ORIENTED STRAND BOARD</p> <p>PERIM. - PERIMETER</p> <p>PERP. - PERPENDICULAR</p> <p>PLAS. - PLASTER</p> <p>PLBG. / PLMBG. - PLUMBING</p> <p>PLYWD. - PLYWOOD</p> <p>PNT. - PAINT</p> <p>PWR. - POWER</p> <p>PR. - PAIR</p> <p>PREFAB. - PREFABRICATED</p> <p>PREFIN. - PREFINISH</p> <p>PT. - PRESSURE TREATED</p> <p>FTD. - PAINTED</p> <p>PTN. - PARTITION</p> <p>P.V.A. - POLYVINYL CHLORIDE</p> <p>Q.T. - QUARRY TILE, QUART</p> <p>QTR. - QUARTER</p> <p>QTY. - QUANTITY</p> <p>R. - RIDGE</p> <p>RA. - RADIUS</p> <p>RCP. - REFLECTED CEILING PLAN</p> <p>R.D. - ROOF DRAIN</p> <p>REBAR. - REINFORCING BAR</p> <p>REF. - REFRIGERATOR</p> <p>REOD. - REQUIRED</p> <p>REIN. - REINFORCEMENT / REINFORCE</p> <p>REQD. - REQUIRED</p> <p>R.H. - RIGHT HAND</p> <p>RM. - ROOM</p> <p>R.O. - ROUGH OPENING</p> <p>SCHED. - SCHEDULE</p> <p>S.F. - SQUARE FOOT</p> <p>S.H. - SHOWER</p> <p>SHT. - SHEET</p> <p>SHTG. - SHEATHING</p> <p>SMIL. - SIMILAR</p> <p>SPEC. - SPECIFICATION</p> <p>SQ. - SQUARE</p> <p>SS. - STANDING SEAM</p>	<p>SST. - STAINLESS STEEL</p> <p>STL. - STEEL</p> <p>STOR. - STORAGE</p> <p>STRUC. / STRUCT. - STRUCTURAL</p> <p>SUSP. - SUSPENDED / SUSPEND</p> <p>S.Y. - SQUARE YARD</p> <p>SYM. - SYMMETRICAL</p> <p>SYS. - SYSTEM</p> <p>T. - TREAD</p> <p>T / TOP</p> <p>T & B. - TOP AND BOTTOM</p> <p>T&G. - TONGUE AND GROOVE</p> <p>TAN. - TANGENT</p> <p>T.O. - TOP OF</p> <p>T.O.C. - TOP OF CURB</p> <p>T.O.S. - TOP OF STEEL</p> <p>T.O.W. - TOP OF WALL</p> <p>T.P.O. - THERMO PLASTIC OLEFIN</p> <p>TEL. - TELEPHONE</p> <p>TEMP. - TEMPERED</p> <p>THK. - THICK</p> <p>THKS. - THICKNESS</p> <p>THRESH. - THRESHOLD</p> <p>THRM. - THERMAL</p> <p>TLT. - TOILET</p> <p>TRTD. - TREATED</p> <p>TV. - TELEVISION</p> <p>TYP. - TYPICAL</p> <p>U.L. - UNDERWRITERS' LABORATORIES</p> <p>U.G. - UNDERGROUND</p> <p>U.N.O. - UNLESS NOTED OTHERWISE</p> <p>UT. - UTILITY</p> <p>VAT. - VINYL ASBESTOS TILE</p> <p>V.B. - VAPOR BARRIER</p> <p>V.C.T. - VINYL COMPOSITION TILE</p> <p>VENT. - VENTILATE, VENTILATOR</p> <p>VERT. - VERTICAL</p> <p>VEST. - VESTIBULE</p> <p>V.I.F. - VERIFY IN THE FIELD</p> <p>VNR. - VENEER</p> <p>VOL. - VOLUME</p> <p>V.P. - VAPOR PROOF</p> <p>V.T. - VINYL TILE</p> <p>W. - WIDTH</p> <p>WI. - WITH</p> <p>W/O. - WITHOUT</p> <p>WC. - WATER CLOSET</p> <p>WD. - WOOD</p> <p>WH. - WATER HEATER</p> <p>WIN. - WINDOW</p> <p>W.P. - WORKING POINT</p> <p>WPK. - WATERPROOFING</p> <p>WT. - WEIGHT</p> <p>W.W.F. - WELDED WIRE FABRIC</p>
---	---	---	---	---

PREPARED FOR

OWNER
CITY OF BROOKHAVEN, GA

PARKS & RECREATION DEPARTMENT
3360 OSBORNE ROAD.
BROOKHAVEN, GA 30319
CONTACT: BRIAN BORDEN, DIRECTOR
PHONE: (404) 637-0562

PREPARED BY

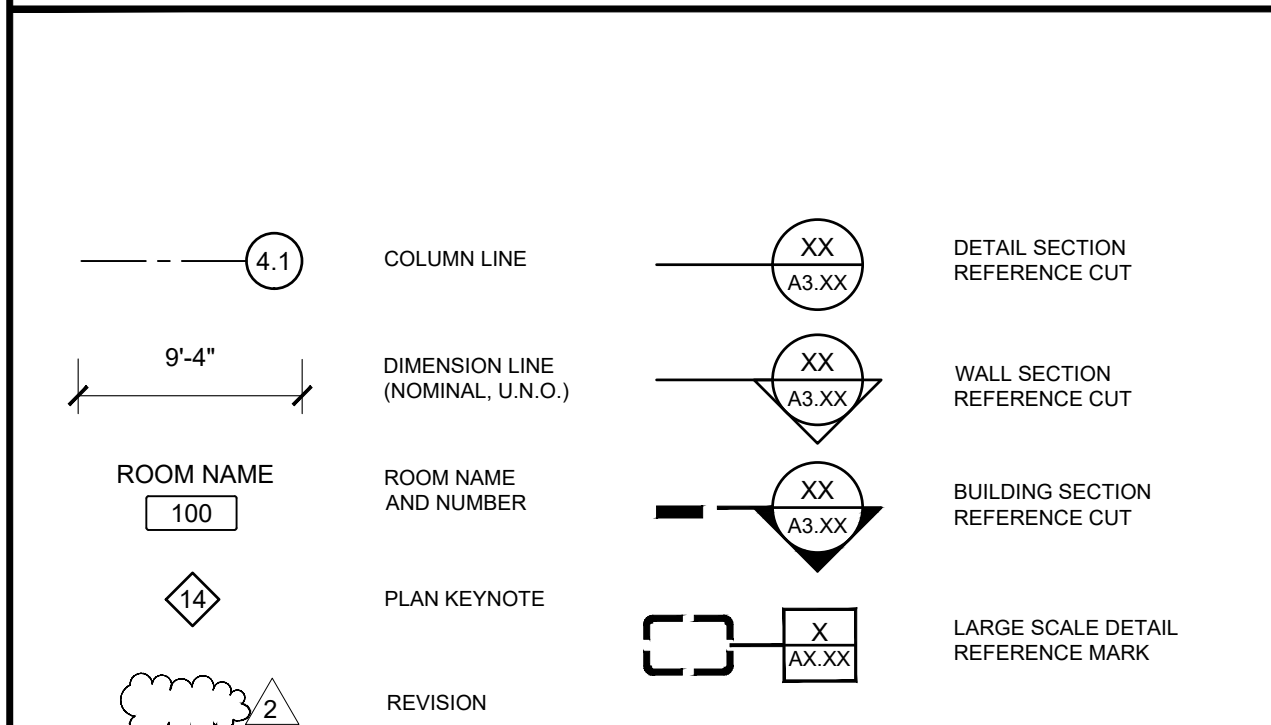
ARCHITECT
LOSE DESIGN

220 W. CROGAN ST., SUITE 100
LAWRENCEVILLE, GEORGIA 30046
PHONE: 770-338-0017
CONTACT: STEPHEN DICKERHOFF, DIRECTOR OF ARCHITECTURE

GENERAL NOTES

- ARCHITECTURAL**
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
 - THE BUILDING LAYOUT SHALL BE BASED ON THE ARCHITECTURAL DRAWINGS AND COORDINATED WITH THE ARCHITECT. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS, FINISH PLANS, GRADES, AND FINAL DIMENSIONS IN THE FIELD AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION DISCOVERED.
 - BUILDING MATERIALS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE PROHIBITED ON THIS PROJECT.
 - ALL MATERIALS PROVIDED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATION AND AS PER CODE REQUIREMENTS. IF ARCHITECT'S RECOMMENDATIONS CONFLICT WITH THE MANUFACTURER'S NOTIFY ARCHITECT BEFORE PROCEEDING.
 - ALL WORK PERFORMED UNDER THIS CONTRACT SHALL MEET ALL ADOPTED BUILDING CODES, AND THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
 - ITEMS REQUIRING FINISH SELECTIONS THAT DO NOT APPEAR ON THE EXTENT OF FINISH DRAWINGS SHALL BE SELECTED FROM SHOP DRAWINGS, SUBMITTALS AND/OR SAMPLES AS REQUIRED BY THE ARCHITECTURAL SPECIFICATIONS.
 - THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED OF EQUAL VALUE; WHERE THERE IS A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
 - ALL STUD SPACING TO BE 16" O.C. UNLESS OTHERWISE INDICATED. INTERIOR DIMENSIONS ARE FROM FACE TO FACE OF FINISH AND FACE TO FACE OF CMU MASONRY WALLS, U.N.O.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT TO FULLY CONSTRUCT THE PROJECT PER THE DESIGN INTENT OF THE CONTRACT DOCUMENTS, WHETHER DETAILED OR IMPLIED. IF THE CONTRACTOR, AFTER REVIEW OF THE DRAWINGS, NEEDS ADDITIONAL INFORMATION OR CLARIFICATION CONTACT THE ARCHITECT BEFORE SUBMITTING CONSTRUCTION COST, SUBMITTING BID, OR PROCEEDING WITH THE WORK.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY DURING CONSTRUCTION.
 - DISPOSE OF WASTE MATERIAL IN A LEGALLY APPROVED DUMP SITE. ONCE WASTE MATERIAL LEAVES THE JOB SITE IT BECOMES THE PROPERTY OF THE CONTRACTOR. NO BURNING OF DEBRIS SHALL BE ALLOWED UNLESS APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION AND THE OWNER.
 - CONTRACTOR SHALL KEEP ALL ADJACENT STREETS FREE OF DEBRIS, MUD, GRAVEL, ECT. OR ANY ITEMS WHICH MAY CAUSE MOTORIST DIFFICULTIES. CONTRACTOR IS REQUIRED TO PERIODICALLY WASH ADJACENT STREET OF CONSTRUCTION DIRT AND DEBRIS.
 - CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES CONCERNING SCHEDULE AND PLACEMENT OF UTILITY COMPANY PROVIDED ITEMS SUCH AS SEWER LINES, TRANSFORMERS, POWER POLES, FIRE HYDRANTS, BACK FLOW PREVENTERS, ECT. BEFORE STARTING CONSTRUCTION.
 - PROVIDE POSITIVE DRAINAGE AT WALKS, STEPS, AND LANDINGS. THERE SHALL BE NO PONDING OF WATER.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL EASEMENTS, SETBACKS, R.O.W. AND PROPERTY CORNERS BEFORE STARTING CONSTRUCTION. THIS PROJECT HAS AN EXISTING. CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS REGARDING THE USE OF THIS LAND FOR CONSTRUCTION, OPERATIONS AND GRADING.
 - ALL SINKS AND VANITIES SHALL BE MOUNTING TO ALLOW 4" MINIMUM CLEARANCE BETWEEN SIDE OF SINK AND ADJACENT WALL AS REQUIRED.
 - ALL WATER CLOSETS SHALL BE MOUNTED TO ALLOW 18" BETWEEN ADJACENT SIDE WALL AND CENTER LINE OF WATER IN INDIVIDUAL TOILET ROOMS. IN TOILET STALLS, CENTER WATER CLOSET IN STALL.
 - ELECTRICAL BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES MINIMUM FOR SOUND ATTENUATION.
 - ROUND FINISHING AND "OVER" CUTS AROUND ELECTRICAL OUTLETS WILL NOT BE ACCEPTED.
 - ALL MASONRY VENEER TO BE SUPPORTED BY NON-COMBUSTIBLE MATERIALS.
 - ALL INTERIOR FIRE RATED PARTITIONS SHALL EXTEND TIGHT TO STRUCTURE ABOVE AND SHALL TERMINATE AT EXTERIOR SHEATHING. NON-FIRE RATED PARTITIONS SHALL BUTT INTO FACE OF FIRE RATED PARTITION SO THAT FIRE RATING INTEGRITY IS MAINTAINED. SEAL ALL PENETRATIONS WITH APPROPRIATE RATED ASSEMBLIES TO MAINTAIN THE FIRE RATING OF THE INDIVIDUAL PARTITIONS OR WALLS.
 - ALL PARTITIONS ON THIS PROJECT EXTEND FROM THE FLOOR SLAB AND UPWARD TO THE FLOOR OR ROOF DECK ABOVE UNLESS OTHERWISE INDICATED.
 - ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ECT. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH TYPE-X DRYWALL ON FIVE SIDES TO MAINTAIN RATING.
 - CONTACT THE BUILDING OFFICIALS AND FIRE DEPARTMENT FOR SCHEDULING OF ALL REQUIRED FIELD INSPECTIONS.
 - THE GENERAL CONTRACTOR IS REQUIRED TO CAREFULLY REVIEW ALL SHOP DRAWINGS, COORDINATE DIFFERENT SUBMITTALS FROM DIFFERENT TRADES. VERIFY EACH FOR COMPLETE DIMENSIONS, DETAIL REFERENCES AND OTHER FACTORS THAT MAY IMPACT THE TOTAL PROJECT. THE CONTRACTOR IS REQUIRED TO "FILL-IN" AND CALCULATE MISSING SHOP DRAWING REQUESTED INFORMATION AND DIMENSIONS PER HIS OR HER BEST UNDERSTANDING. THE ARCHITECTURAL AND CONSULTANT'S REVIEW WILL ONLY BE FOR "DESIGN INTENT" AND "VERIFICATION" OF THE SUPPLIED INFORMATION BY THE VENDOR. SUB AND GENERAL CONTRACTOR, SHOP DRAWINGS SUBMITTED BY THE GENERAL CONTRACTOR THAT INDICATE ONLY "ACKNOWLEDGMENT" OR SIMILAR LANGUAGE WILL BE REJECTED AND MARKED FOR RESUBMITTAL.
 - THESE CONTRACT DOCUMENTS (DRAWINGS AND PROJECT MANUAL/SPECIFICATIONS) ARE TO BE CONSIDERED AS A WHOLE ENTITY. ANY CONTRACTOR, SUBCONTRACTOR, OR VENDOR THAT CHOOSES TO UTILIZE ONLY A PORTION OF THE DOCUMENTS TO BID, CONSTRUCT, OR SUPPLY MATERIAL FOR THE PROJECT SHALL ASSUME FULL RESPONSIBILITY FOR RELATED ITEMS THAT MAY BE CONTAINED ELSEWHERE IN THE DOCUMENTS. THE OWNER WILL GRANT NO ADDITIONAL TIME OR COST FOR CONSEQUENCES THAT MAY RESULT.
 - THE BUILDING DESIGN IS DESCRIBED IN THE CONSTRUCTION DOCUMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THESE "DRAWINGS" WITH GRAPHIC DEPICTIONS OF THE CONSTRUCTION, NOTES, DIMENSIONS AS APPROPRIATE, AND THE PROJECT MANUAL WHICH INCLUDES THE GENERAL & TECHNICAL SPECIFICATIONS AND THE SCHEDULES (AND MAY ALSO BE REFERRED TO AS "THE SPECS" OR "THE SPECIFICATIONS"). THESE TWO DOCUMENTS ARE DEPENDANT ON EACH OTHER AND SHALL BE UTILIZED BY THE CONTRACTOR AS THE INITIAL SET OF CONSTRUCTION DOCUMENTS (ADDENDA, SUPPLEMENTARY DRAWINGS, FIELD REVISIONS, AND OTHER DOCUMENTS DURING THE CONSTRUCTION PROCESS SHALL BE TRANSMITTED AS THEY BECOME RELEVANT). THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL HAVING A CLEAR UNDERSTANDING OF THE COMPLETE PACKAGE OF DRAWINGS AND SPECS AS LISTED IN THE PROJECT MANUAL IN THE TABLE OF CONTENTS-000100 AND THE DRAWING INDEX - A0.0.
 - SLOPE INTERIOR FLOOR AS SHOWN ON PLANS 1/8" PER FOOT MINIMUM, 1/4" MAXIMUM TO ALL INDICATED SPOT FLOOR AND TRENCH DRAINS. THIS APPLIES TO ALL EPOXY FLOORING AND FLOOR TILE FINISHES.
 - THE FLOOR LEVEL ON BOTH SIDES OF ALL DOORS SHALL BE LEVEL FOR THE WIDTH OF THE DOOR.
 - ALL DOOR FRAMES, WHICH ARE INTENDED TO HAVE A DOOR WITH A SWING GREATER THAN 90 DEGREES, SHALL BE SET BACK 1/4" FROM THE EXTERIOR WALL FACE ON THE SWING SIDE.
 - CONTRACTING PARTIES SHALL APPROVE THE SUBSTRATES PREPARED FOR THEIR SYSTEM INSTALLATIONS PRIOR TO BEGINNING THE INSTALLATION OF THEIR SYSTEMS. THEY SHALL REPORT ALL DEFICIENCIES TO THE SUPERINTENDENT, THE GENERAL CONTRACTOR, AND TO THE ARCHITECT. UPON COMMENCING WITH THE INSTALLATION OF THEIR SYSTEM OVER A SUBSTRATE PREPARED BY THEMSELVES, ANOTHER COMPANY, OR ANOTHER PERSON (SUB) CONTRACTOR(S) SHALL, BY DEFINITION, BE DEEMED TO HAVE THOROUGHLY INSPECTED AND FORMALLY APPROVED AND ACCEPTED ALL SUBSTRATES OVER WHICH HE INSTALLS THEIR SYSTEM(S). THE GENERAL CONTRACTOR SHALL ALLOW THE NECESSARY TIME IN THE SCHEDULE FOR SUBCONTRACTORS TO INSPECT SAID SUBSTRATES.
 - ALL CONTRACTOR ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES, ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES, PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004.
 - ALL EXPOSED STEEL SHALL BE PAINTED, PAINT TBD.

LEGEND GRAPHIC SYMBOLS



CODE REVIEW

- APPLICABLE CODES**
 - 2012 INTERNATIONAL BUILDING CODE (IBC) WITH 2014, 2015, 2017 GEORGIA AMENDMENTS.
 - 2012 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 - 2012 INTERNATIONAL FIRE CODE (IFC) WITH 2014 GEORGIA AMENDMENTS.
 - 2012 NFPA 101 LIFE SAFETY CODE (LSCS)
 - 2012 INTERNATIONAL MECHANICAL CODE WITH 2014, 2015 GEORGIA AMENDMENTS.
 - 2012 INTERNATIONAL PLUMBING CODE, WITH 2014, 2015 GEORGIA AMENDMENTS.
 - 2014 NATIONAL ELECTRICAL CODE.
 - 2009 INTERNATIONAL ENERGY CONSERVATION CODE, WITH 2011, 2012 GEORGIA AMENDMENTS.
 - 2010 ADA STANDARD FOR ACCESSIBLE DESIGN, GEORGIA ACCESSIBILITY CODE 120-3-20.
- SCOPE OF WORK (IEBC 503)**
 - ALTERATION LEVEL 1
 - REMOVAL AND REPLACEMENT OF PORTIONS OF EXISTING ROOF SYSTEM WITH EXISTING STRUCTURE TO REMAIN. NO OWK REQUIRED TO EXISTING STRUCTURAL SYSTEM
- DESIGN CRITERIA (IEBC 602, 606)**
 - ALL NEW AND REPLACEMENT MATERIALS SHALL BE IN COMPLIANCE. (IEBC 602.2)
 - NO REPAIRS THAT INCLUDE STRUCTURAL ELEMENTS OF THE BUILDING ARE TO BE DONE. (IEBC 606)
- BUILDING CONSTRUCTION**
 - OCCUPANCY AND USE - BUSINESS AND ASSEMBLY
 - TYPE 2A - UN-SPRINKLED
 - COMPLIANT WITH SECTION
- ROOF AREA REPLACEMENT CALCULATIONS**
 - BALLASTED ROOFING IS TO BE REPLACED WITH SINGLE PLY MEMBRANE ROOFING
TOTAL AREA = 12,640 SF
 - PITCHED ROOFING IS TO BE REPLACED WITH SINGLE PLY MEMBRANE ROOFING
TOTAL AREA = 13,620 SF
 - TOTAL AREA OF WORK = 26,260 SF**

GEORGIA

LYNWOOD PARK - REROOFING
CONSTRUCTION DOCUMENTS
PREPARED FOR:
CITY OF BROOKHAVEN

BROOKHAVEN

REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

SHEET TITLE

COVER SHEET

PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY SCALE	
CHECKED BY N/A	

SHEET NO.
A0.0

REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

SHEET TITLE
DEMOLITION PLANS

PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	AS NOTED
SHEET NO. A1.1	

GENERAL NOTES

- CONSTRUCTION DIMENSIONS ARE FROM EDGE OF ROOF OR FINISH FACE OF WALL (U.N.O)
- VERIFY DIMENSIONS AND LOCATIONS OF ALL EXISTING BUILDING ELEMENTS PRIOR TO REMOVAL OR INSTALLATION OF ANY BUILDING ELEMENTS.
- SEE SHEET A2 SERIES FOR ALL NEW ROOF CONSTRUCTION PLANS.
- SEE SHEET A3 SERIES FOR ALL EXISTING ROOF CONDITION DETAILS.
- SEE SHEET A4 SERIES FOR ALL NEW ROOF CONSTRUCTION DETAILS.

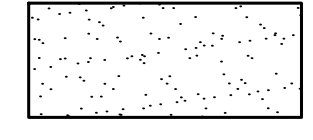
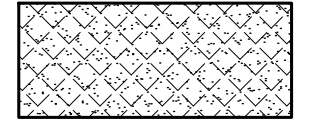
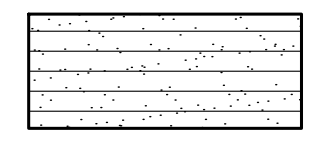
DEMOLITION PLAN KEYNOTES

- EXTERIOR MASONRY WALL CONSTRUCTION, EXISTING TO REMAIN.
- WALKWAY CANOPY, ATTACHED TO EXISTING BUILDING FROM ONE SIDE. STEEL BEAM AND COLUMN STRUCTURAL SUPPORT FROM SIDE AWAY FROM BUILDING. CANOPY STRUCTURE EXISTING TO REMAIN.
- REMOVE MATERIALS FROM EXISTING BALLASTED ROOF SYSTEM TO BE REPLACED WITH NEW MEMBRANE ROOFING. ROOF STRUCTURAL INTEGRITY TO BE EXAMINED PRIOR TO DEMOLITION OR REMOVAL OF ANY MATERIALS. FOLLOW PROCEDURES LISTED IN DEMOLITION NOTES FOR HANDLING OF DEMOLISHED MATERIAL. FOLLOW ALL WEATHER PROTECTIVE PROCEDURES WHILE DEMOLITION AND INSTALLATION OCCURS. SEE NEW ROOF PLAN FOR ALL NEW CONSTRUCTION.
- SKYLIGHT, 2'-0" x 3'-0". EXISTING TO REMAIN. SEE DETAIL 6/A3.2
- SKYLIGHT, 4'-0" x 8'-0". EXISTING TO REMAIN. SEE DETAIL 6/A3.2
- EXHAUST ROOF VENTILATOR, EXISTING TO REMAIN. SEE DETAIL 5/A3.2
- ROOF GUTTER & DOWNSPOUT SYSTEM, REMOVE ALL EXPOSED FLASHING. PREPARE ROOF EDGE FOR RE-INSTALLING GUTTER & DOWNSPOUT SYSTEM.
- ROOF COPING, REMOVE ALL EXISTING COPING AND COUNTER FLASHING U.N.O.
- CONCRETE LEDGE/OVERHANG, EXISTING TO REMAIN.
- MEMBRANE ROOF, CONSTRUCTION TO BE VERIFIED, EXISTING TO REMAIN.
- REMOVE MEMBRANE FROM SLOPED ROOF. CLEAN & PREPARE SURFACE FOR NEW ROOFING. REMOVE ALL EXPOSED FLASHINGS & FASICA AT ROOF EAVE.

DEMOLITION NOTES

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- THE DEMOLITION PLANS ARE DERIVED FROM ROUGH BUILDING MEASUREMENTS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ILLUSTRATIONS, DIMENSIONS AND INFORMATION IN THESE DRAWINGS ARE BASED, IN PART, ON SITE VISITS BY THE ARCHITECT. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS. THE DEMOLITION KEY NOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
- REMOVE FROM SITE DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH AS SOON AS FEASIBLE. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
- DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTES OTHERWISE.
- PROTECT FROM DAMAGE ALL BUILDING COMPONENTS AND FINISHES THAT ARE EXISTING TO REMAIN.
- PATCH AND REPAIR ALL EXISTING BUILDING COMPONENTS AND FINISHES THAT ARE DAMAGED BEYOND REPAIR DURING NEW WORK CONSTRUCTION.
- REMOVE AND REPLACE EXISTING BUILDING COMPONENTS AND FINISHES THAT ARE DAMAGED BEYOND REPAIR DURING NEW WORK CONSTRUCTION.
- COORDINATE WITH OWNER FOR RELOCATION OF FURNISHINGS THAT COULD BE DISTURBED DURING NEW WORK CONSTRUCTION.
- PROVIDE A THOROUGH PLAN TO PROTECT INTERIOR BUILDING ELEMENTS WHILE EXTERIOR DEMOLITION AND INSTALLATION IS TO OCCUR. PROTECTION FROM WEATHER AND CONSTRUCTION RELATED DAMAGES SHALL BE IN PLACE DURING THE ENTIRETY OF CONSTRUCTION TO MINIMIZE IMPACT TO INTERIOR SPACE THAT IS NOT PART OF THE PROJECT SCOPE.

EXISTING ROOF TYPE

	
BALLASTED ROOFING WATERPROOF MEMBRANE RIGID FOAM INSULATION DECK CONSTRUCTION TO BE VERIFIED IN FIELD	MEMBRANE ROOFING ROOF CONSTRUCTION TO BE VERIFIED IN FIELD
	
PITCHED MEMBRANE ROOFING DECK CONSTRUCTION TO BE VERIFIED IN FIELD	

NOTE:
EXACT ROOF CONSTRUCTIONS THAT ARE EXISTING IS UNKNOWN. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION IN FIELD.

DEMOLITION ROOF AREA

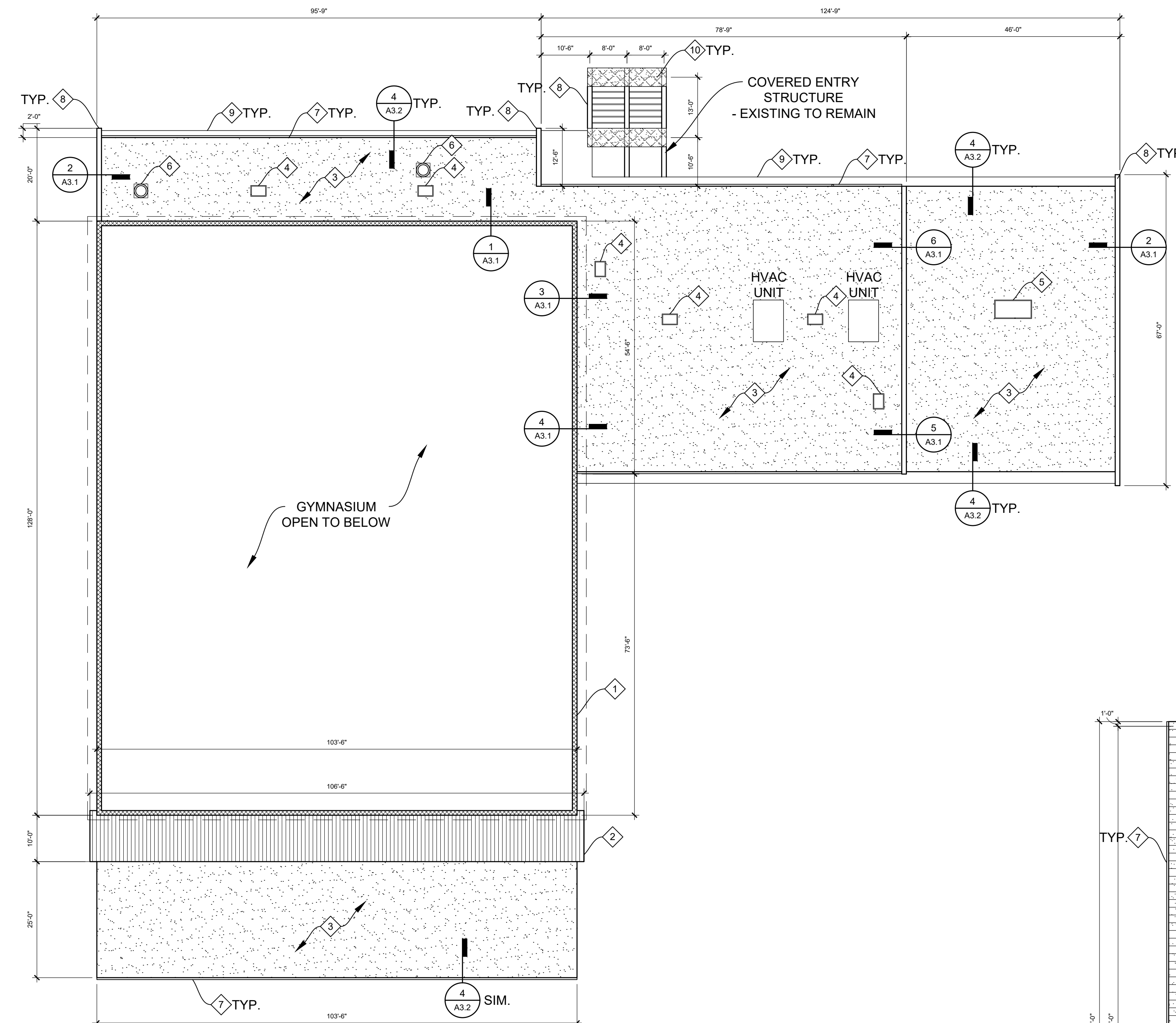
BALLASTED ROOFING MEASURED AREA = 12,640 SF
PITCHED MEMBRANE ROOFING MEASURED AREA = 13,620 SF

NOTE:
TOTAL ROOF AREA MUST BE VERIFIED IN FIELD. THE AREAS PROVIDED ARE ROUGH CALCULATIONS OF EXISTING CONDITIONS.

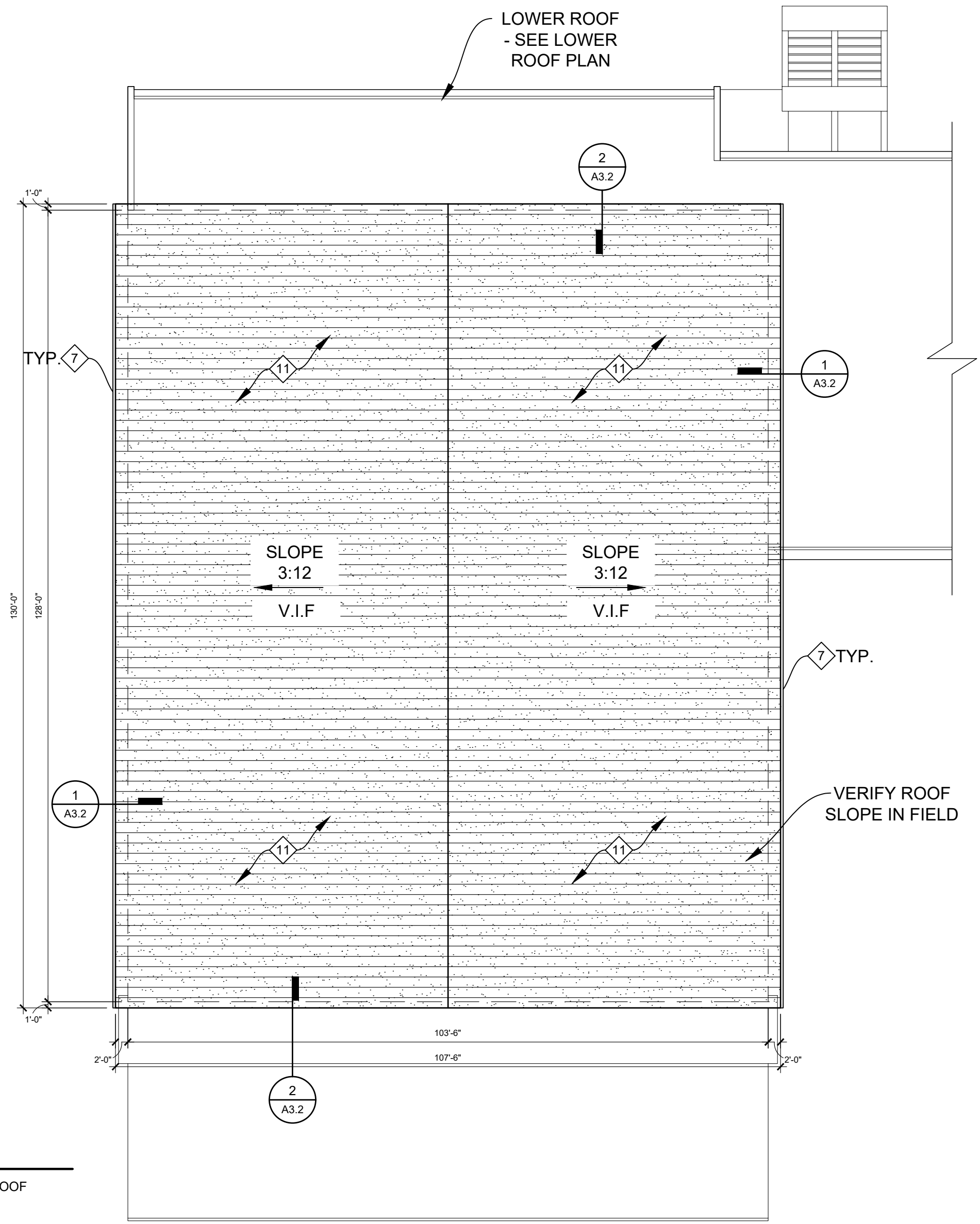
DEMOLITION NOTE:
ALL EXISTING ROOF CONSTRUCTION THAT HAS BEEN SOAKED OR DETERIORATED TO THE POINT THAT THE EXISTING ROOF AND/OR COVERING IS NOT AN ADEQUATE BASE FOR ADDITIONAL ROOFING MUST BE REMOVED AND DISPOSED OF IN COMPLIANCE WITH THE PROCEDURES AS WRITTEN IN THE PROJECT DOCUMENTS.

ABATEMENT NOTE:
INTENT IS FOR REROOFING SCOPE OF WORK FOR PROJECT TO PROVIDE REMOVAL OF EXISTING ROOF MATERIALS AND INSTALL OF NEW ROOFING MATERIALS - AT THIS TIME WE ARE NOT AWARE OF ANY ABATEMENT WORK REQUIRED AS RELATED TO ROOFING WORK - THE EXISTING ROOF WAS INSTALLED AT AN UNKNOWN DATE DURING THE LIFE OF THE BUILDING - WE HAVE NO INFORMATION ON THIS EXISTING ROOF.

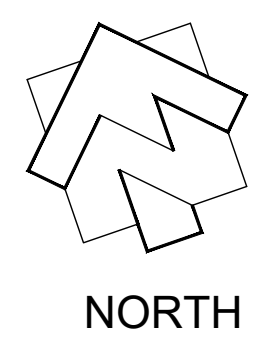
FOR BIDDING PURPOSES ANY ABATEMENT WORK RELATED TO ROOFING CAN BE ELIMINATED - IF ASBESTOS AND/OR ANY OTHER HAZARDOUS MATERIALS ARE DISCOVERED RELATED TO EXISTING ROOFING ANY ABATEMENT MUST BE PERFORMED BY A CONTRACTOR LICENSED TO PERFORM ASBESTOS ABATEMENT.



1 DEMOLITION LOWER ROOF PLAN
A1.1 SCALE: 1/16" = 1'-0" BALASTED MEMBRANE ROOF



2 DEMOLITION UPPER ROOF PLAN
A1.1 SCALE: 1/16" = 1'-0" PITCHED MEMBRANE ROOF



REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

SHEET TITLE
NEW CONSTRUCTION PLANS

PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	
SHEET NO.	

A2.1

GENERAL NOTES

- CONSTRUCTION DIMENSIONS ARE FROM EDGE OF ROOF OR FINISH FACE OF WALL (U.N.O.)
- VERIFY DIMENSIONS AND LOCATIONS OF ALL EXISTING BUILDING ELEMENTS PRIOR TO REMOVAL OR INSTALLATION OF ANY BUILDING ELEMENTS.
- SEE SHEET A1 SERIES FOR ALL DEMOLITION ROOF PLANS.
- SEE SHEET A3 SERIES FOR ALL EXISTING ROOF CONDITION DETAILS.
- SEE SHEET A4 SERIES FOR ALL NEW ROOF CONSTRUCTION DETAILS.

PLAN KEYNOTES

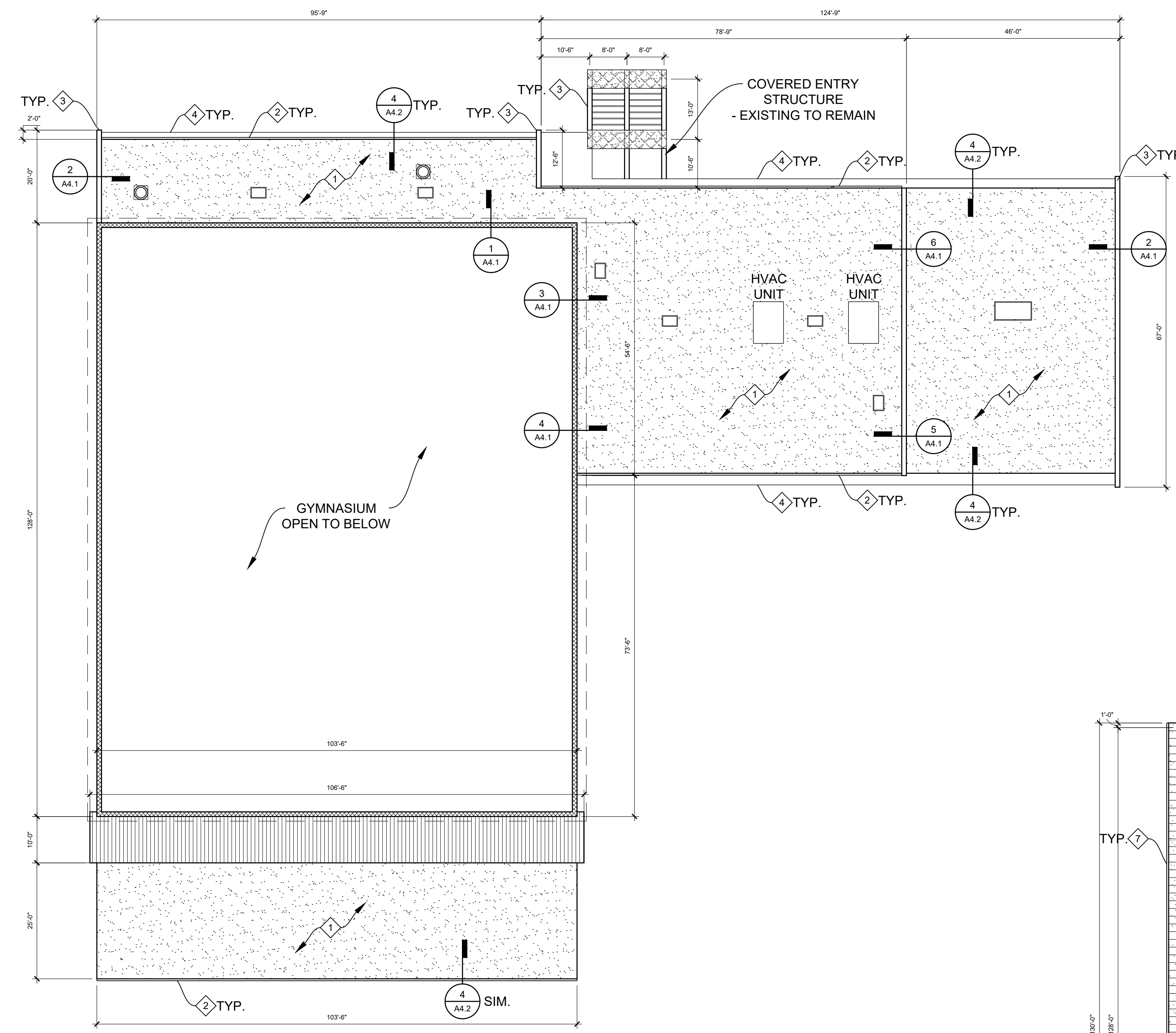
- INSTALL NEW THERMOPLASTIC POLYOLEFIN ROOFING ON HIGH DENSITY POLYISO ROOF COVER BOARD. SEE NEW CONSTRUCTION DETAILS. INSTALL ROOF PER ROOFING MANUFACTURER'S INSTRUCTIONS.
- BASE BID:** RE-INSTALL EXISTING ROOF GUTTER & DOWNSPOUT SYSTEM.
- ALTERNATE No. 3:** INSTALL NEW ROOF GUTTER & DOWNSPOUT SYSTEM. PROVIDE CONCRETE SPLASH BLOCKS WHERE DOWNSPOUTS SPILL ONTO PERVIOUS GRADE. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- BASE BID:** RE-INSTALL EXISTING COPING W/ SUBFLASHING.
- ALTERNATE No. 4:** INSTALL NEW COPING W/ SUBFLASHING. INSTALL PER ROOFING MANUFACTURER'S INSTRUCTIONS. - SEE NEW CONSTRUCTION DETAILS.
- POWER WASH AND CLEAN CONCRETE LEDGE/OVERHANG.
- BASE BID:** INSTALL NEW THERMOPLASTIC POLYOLEFIN ROOFING WITH POLYSTER FLEECE BACKING ON EXISTING ROOFING BOARD. INSTALL ROOF PER ROOFING MANUFACTURER'S INSTRUCTIONS. - SEE CONSTRUCTION DETAILS.
- ALTERNATE No. 1:** INSTALL TPO CONTOUR RIBS WITH NEW THERMOPLASTIC POLYOLEFIN ROOFING WITH POLYSTER FLEECE BACKING ON EXISTING ROOFING BOARD. INSTALL ROOF PER ROOFING MANUFACTURER'S INSTRUCTIONS. - SEE ALTERNATE DETAILS.
- ALTERNATE No. 2:** INSTALL NEW STANDING SEAM METAL ROOFING OVER NEW ROOFING FELT AND ROOFING SUBSTRATE. - SEE ALTERNATE DETAILS.

ROOF CONSTRUCTION TYPE

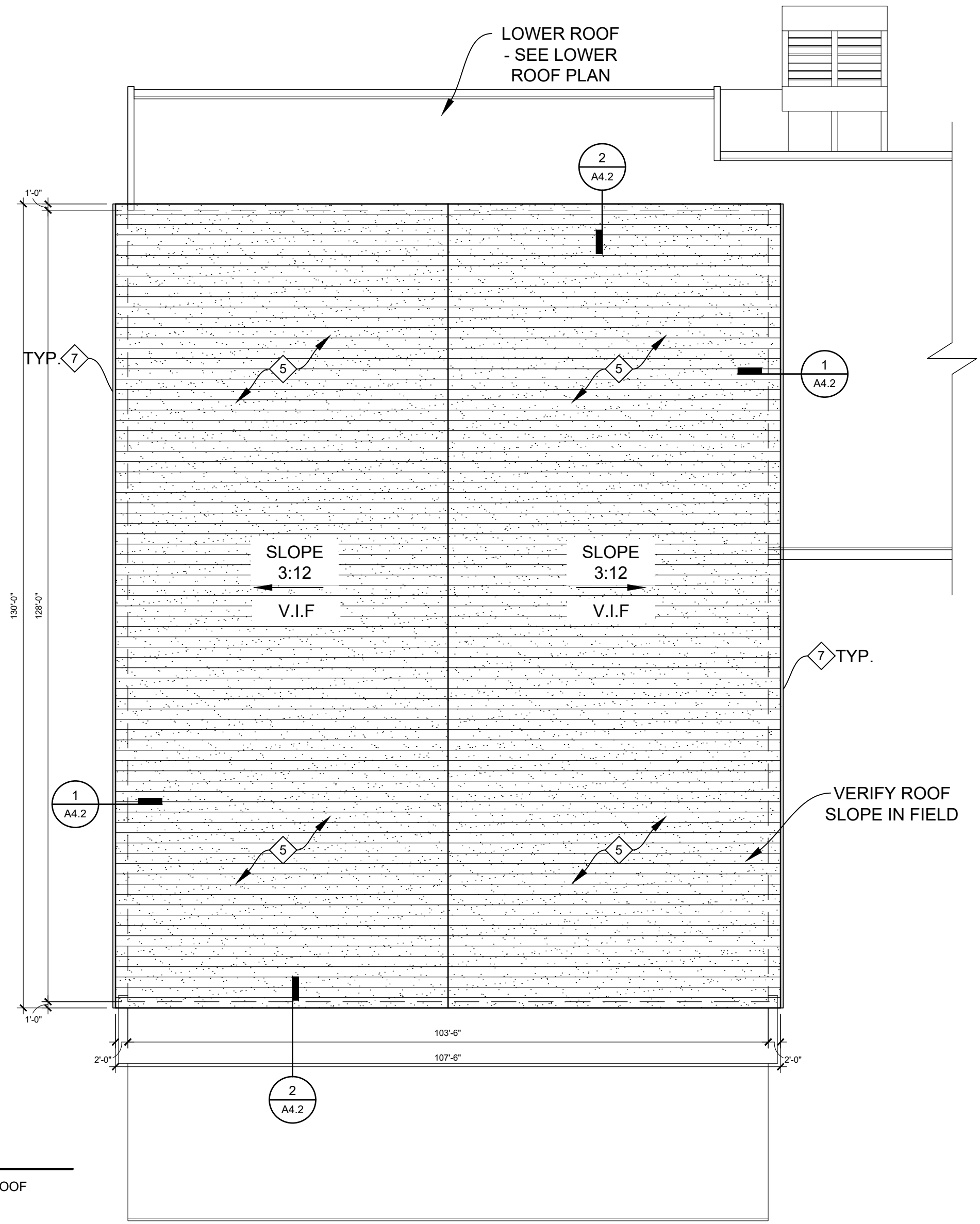
	BASE BID: NEW THERMOPLASTIC POLYOLEFIN ROOFING ON HIGH DENSITY POLYISO ROOF COVER BOARD	COLOR: MANUFACTURER'S STANDARD WHITE
	BASE BID: NEW THERMOPLASTIC POLYOLEFIN ROOFING WITH POLYSTER FLEECE BACKING	COLOR: MANUFACTURER'S STANDARD WHITE, GRAY OR TAN IN STOCK ADDITIONAL COLORS AVAILABLE WITHIN 30 DAYS FROM REQUEST
	ALTERNATE No. 1: NEW THERMOPLASTIC POLYOLEFIN ROOFING WITH POLYSTER FLEECE BACKING AND CONTOUR RIBS	COLOR: MANUFACTURER'S STANDARD WHITE, GRAY OR TAN IN STOCK ADDITIONAL COLORS AVAILABLE WITHIN 30 DAYS FROM REQUEST
	ALTERNATE No. 2: NEW STANDING SEAM METAL ROOFING ON #30 ROOFING FELT & PLYWOOD NAILER BOARD	COLOR: OWNER TO SELECT FROM MANUFACTURER'S STANDARD AVAILABLE COLORS ARCHITECT RECOMMENDS = GRAY

NOTE:
ALL NEW ROOF CONSTRUCTIONS SHALL BE INSTALLED IN ACCORDANCE WITH ROOF MANUFACTURER'S INSTRUCTIONS.

NEW CONSTRUCTION NOTE:
ALL EXISTING ROOF CONSTRUCTION THAT WAS REMOVED DUE TO DAMAGE OR DETERIORATION SHALL BE REPLACED BY NEW MATERIAL WITH THE SAME PERFORMANCE AND PHYSICAL PROPERTIES AS THE MATERIAL THAT WAS REMOVED.

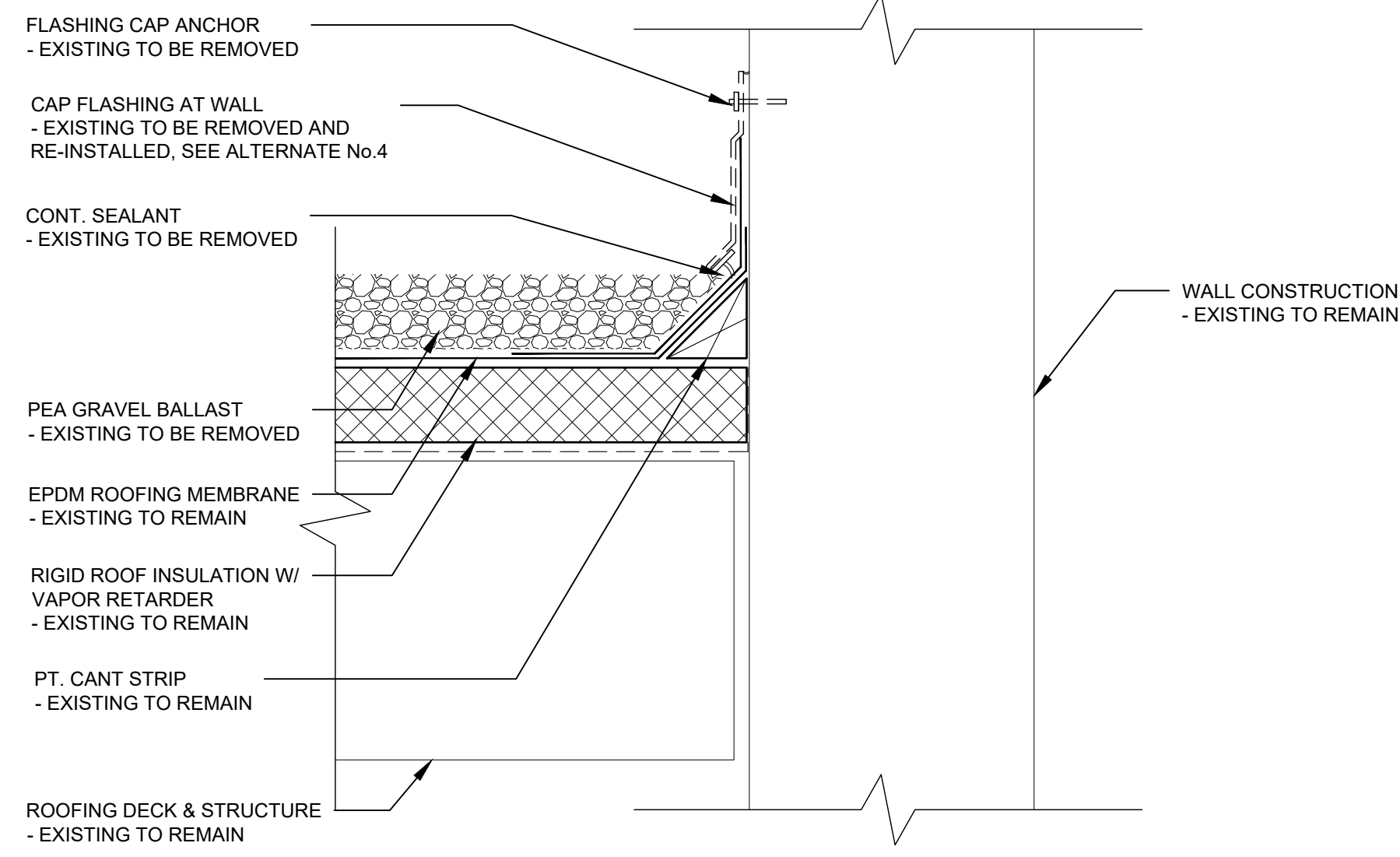


1 EXISTING LOWER ROOF PLAN
A2.1 SCALE: 1/16" = 1'-0" BALASTED MEMBRANE ROOF

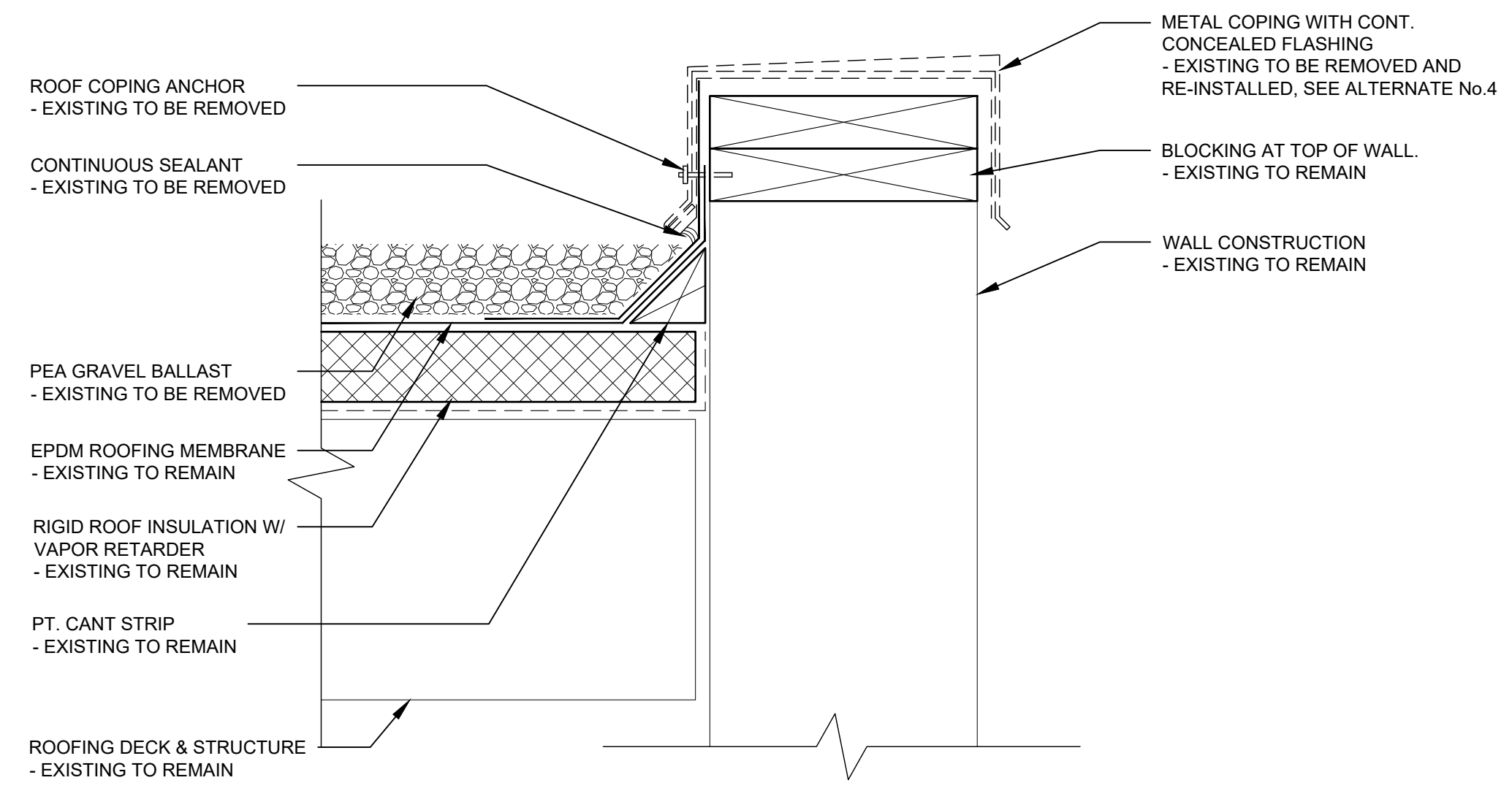


2 EXISTING UPPER ROOF PLAN
A2.1 SCALE: 1/16" = 1'-0" PITCHED MEMBRANE ROOF

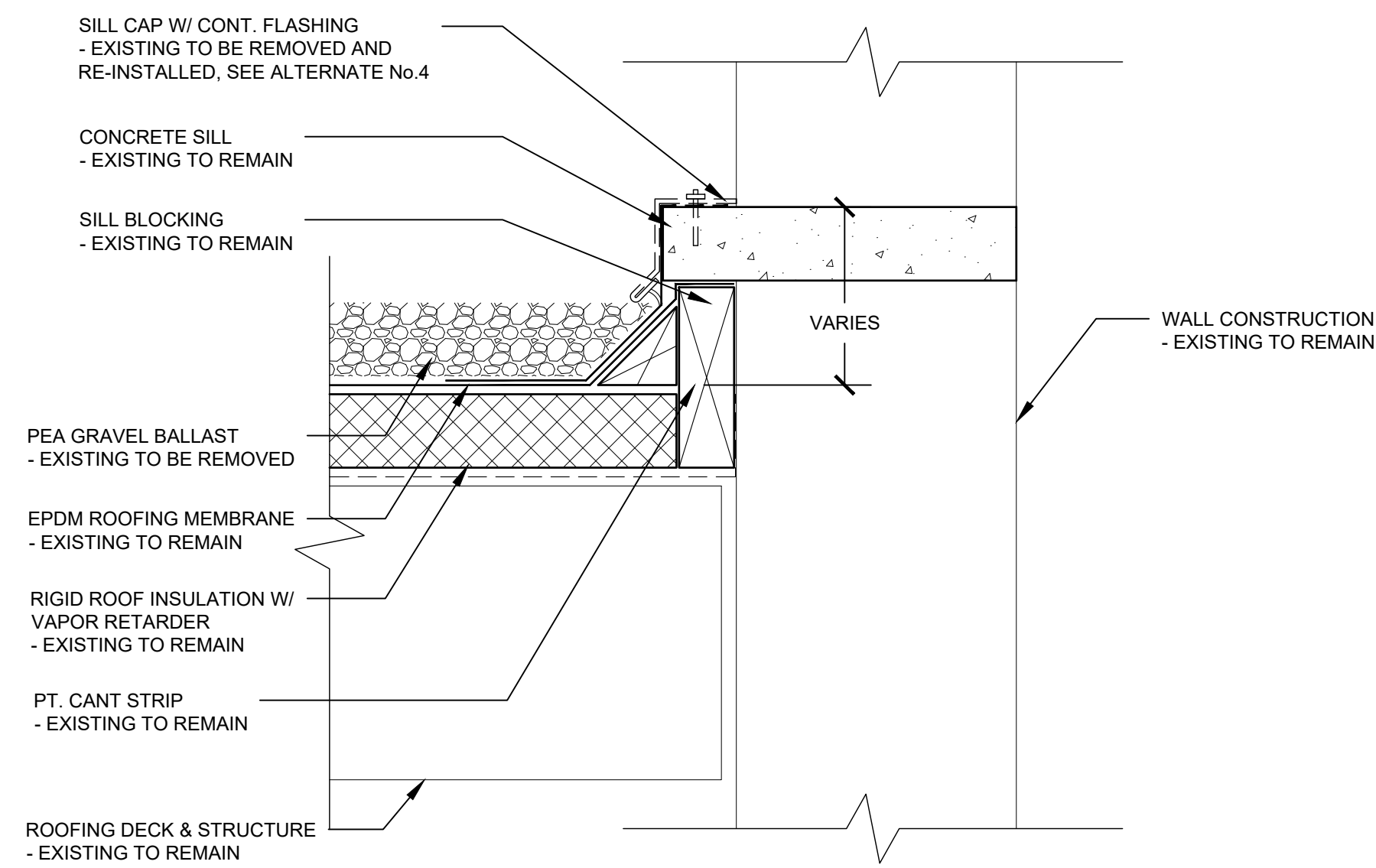




1 EXISTING ROOF DETAIL
A3.1 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF



2 EXISTING ROOF DETAIL
A3.1 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF



3 EXISTING ROOF DETAIL
A3.1 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF

GUTTERS & DOWNSPOUTS

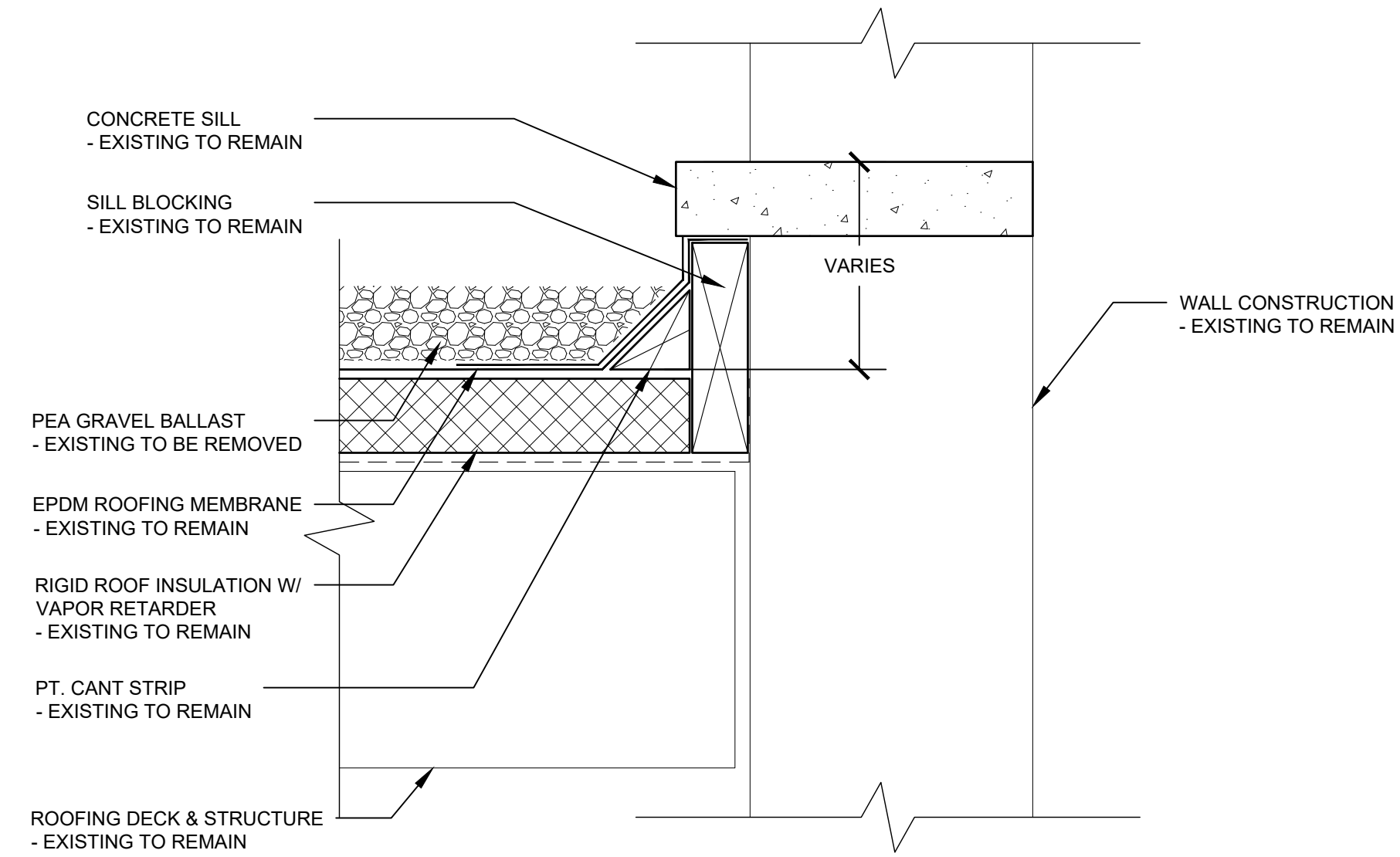
BASE BID:
ALL GUTTERS AND DOWNSPOUTS TO BE REMOVED FOR NEW ROOF INSTALLATION. STORE ALL ITEMS PROPERLY FOR RE-INSTALLATION WITH NEW ROOF.

ALTERNATE No.3:
ALL EXISTING GUTTERS AND DOWNSPOUTS SHALL BE REMOVED AND DISCARDED PER THE DEMOLITION GUIDELINES.

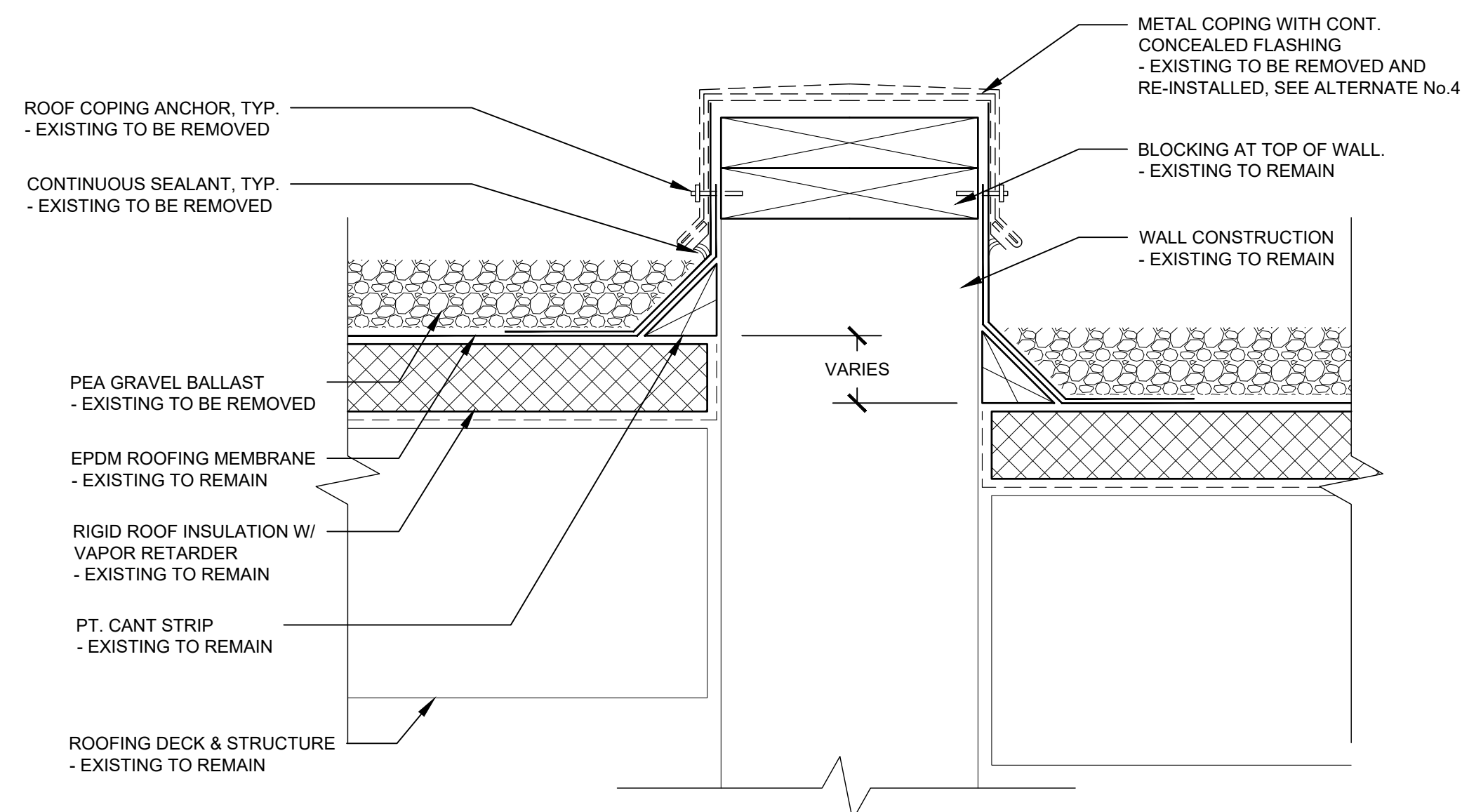
ROOF COPING & FLASHING

BASE BID:
ALL FLASHING & COPING TO BE REMOVED FOR NEW ROOF INSTALLATION. STORE ALL ITEMS PROPERLY FOR RE-INSTALLATION WITH NEW ROOF.

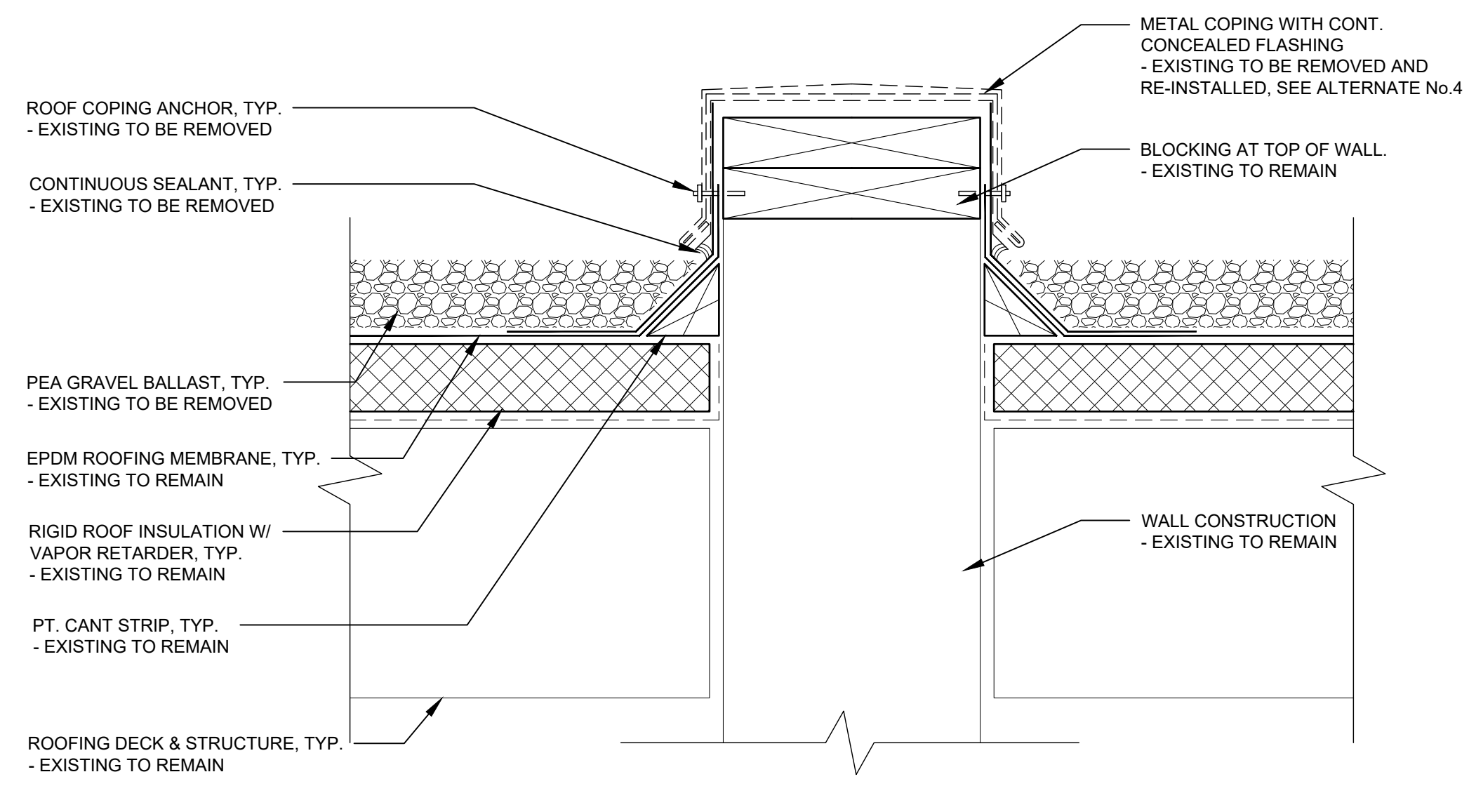
ALTERNATE No.4:
ALL EXISTING FLASHING & COPING SHALL BE REMOVED AND DISCARDED PER THE DEMOLITION GUIDELINES.



4 EXISTING ROOF DETAIL
A3.1 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF



5 EXISTING ROOF DETAIL
A3.1 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF



6 EXISTING ROOF DETAIL
A3.1 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF

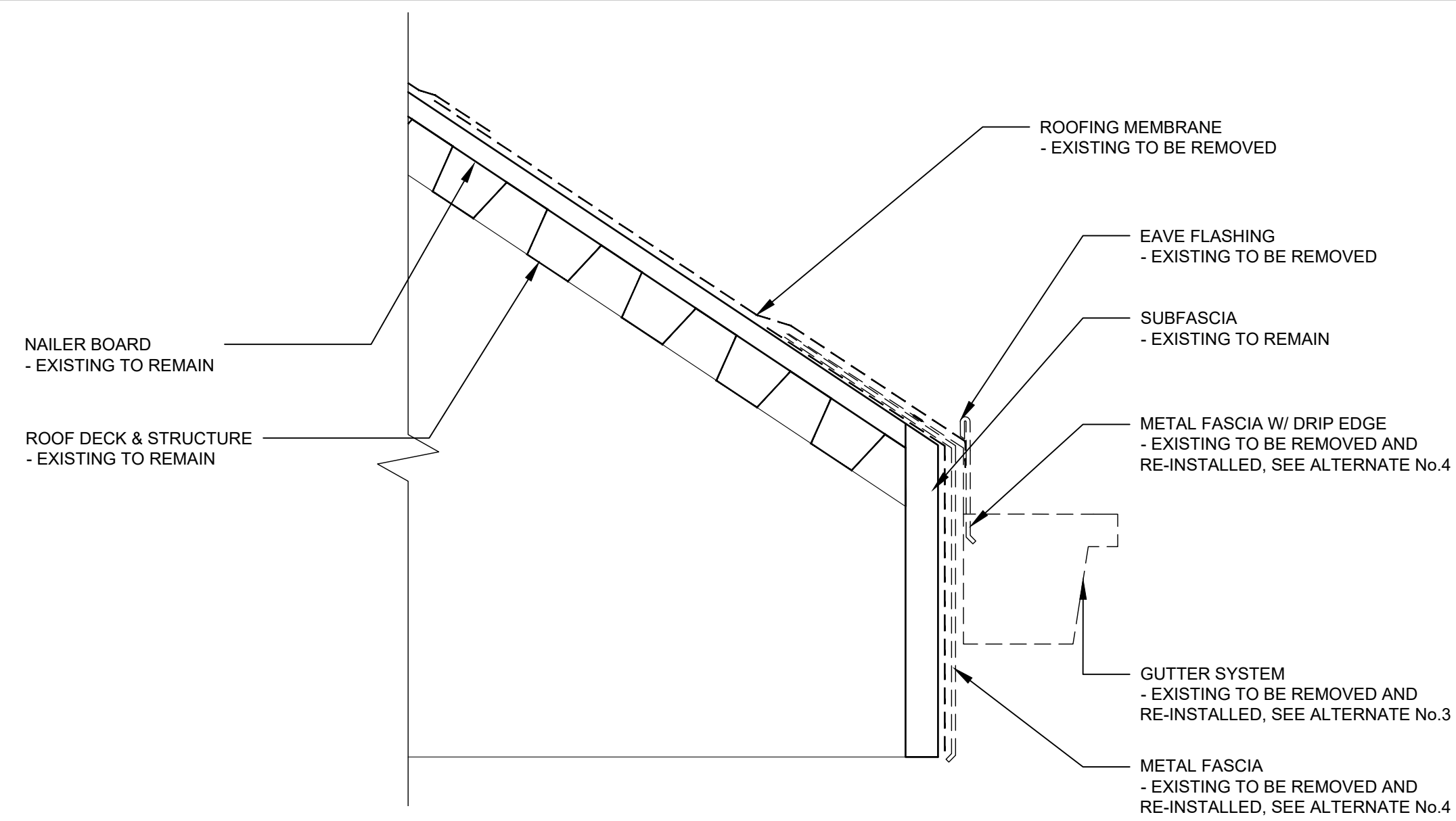
REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

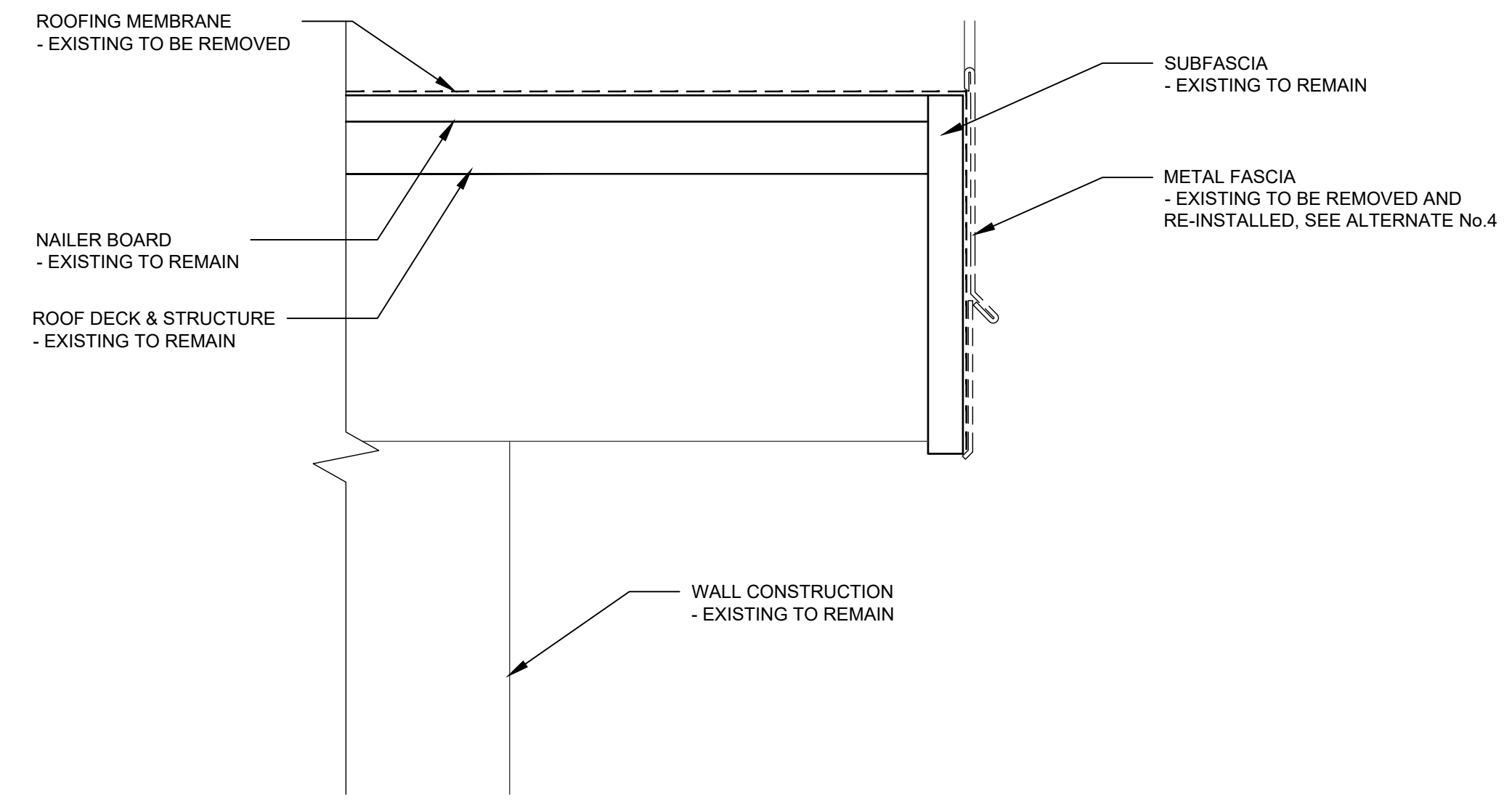
SHEET TITLE

EXISTING & DEMOLITION ROOF DETAILS

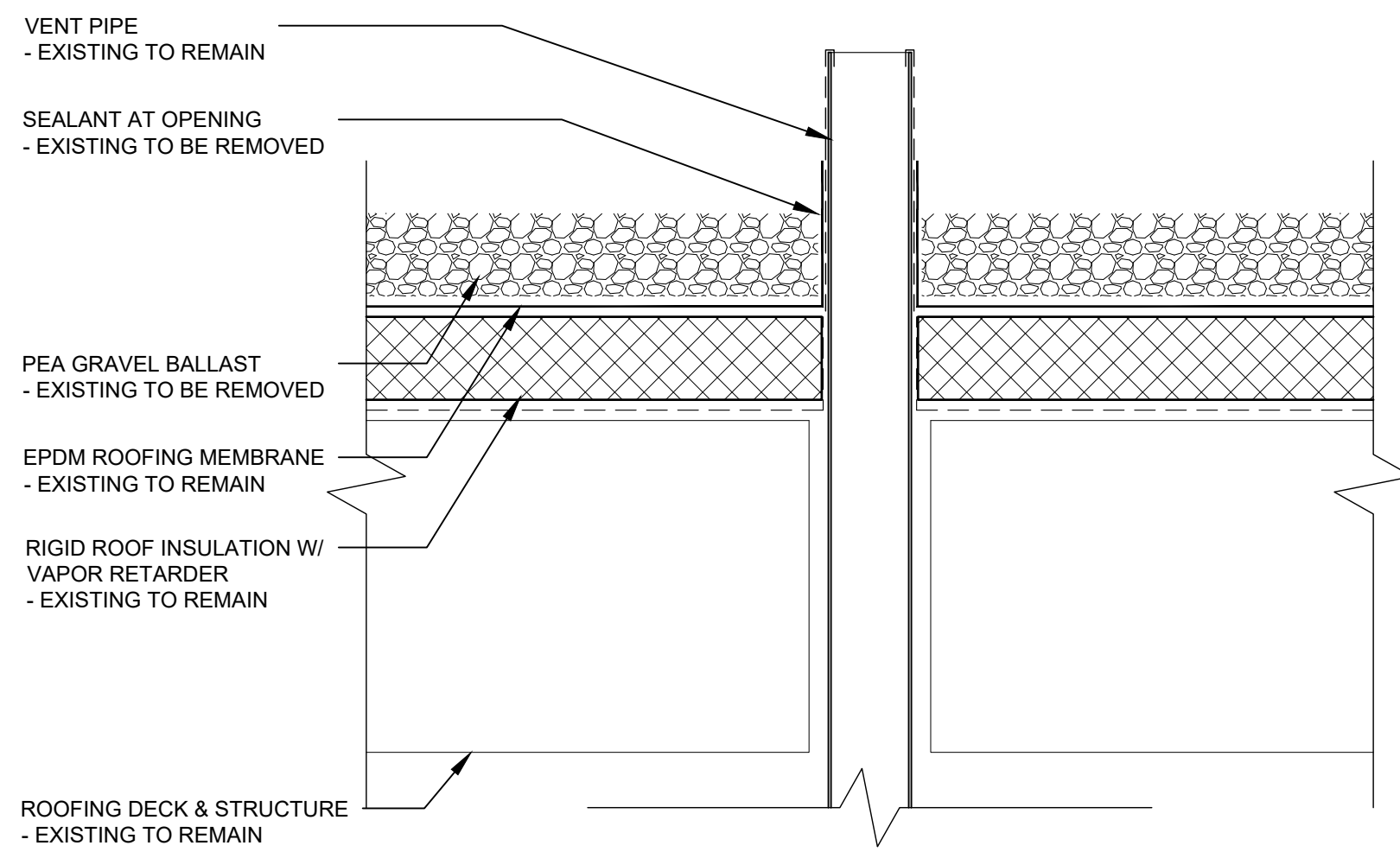
PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	
SHEET NO. A3.1	



1 EXISTING ROOF DETAIL
A3.2 SCALE: 3" = 1'-0" PITCHED MEMBRANE ROOF



2 EXISTING ROOF DETAIL
A3.2 SCALE: 3" = 1'-0" PITCHED MEMBRANE ROOF



3 EXISTING LOWER ROOF PLAN
A3.2 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF

GUTTERS & DOWNSPOUTS

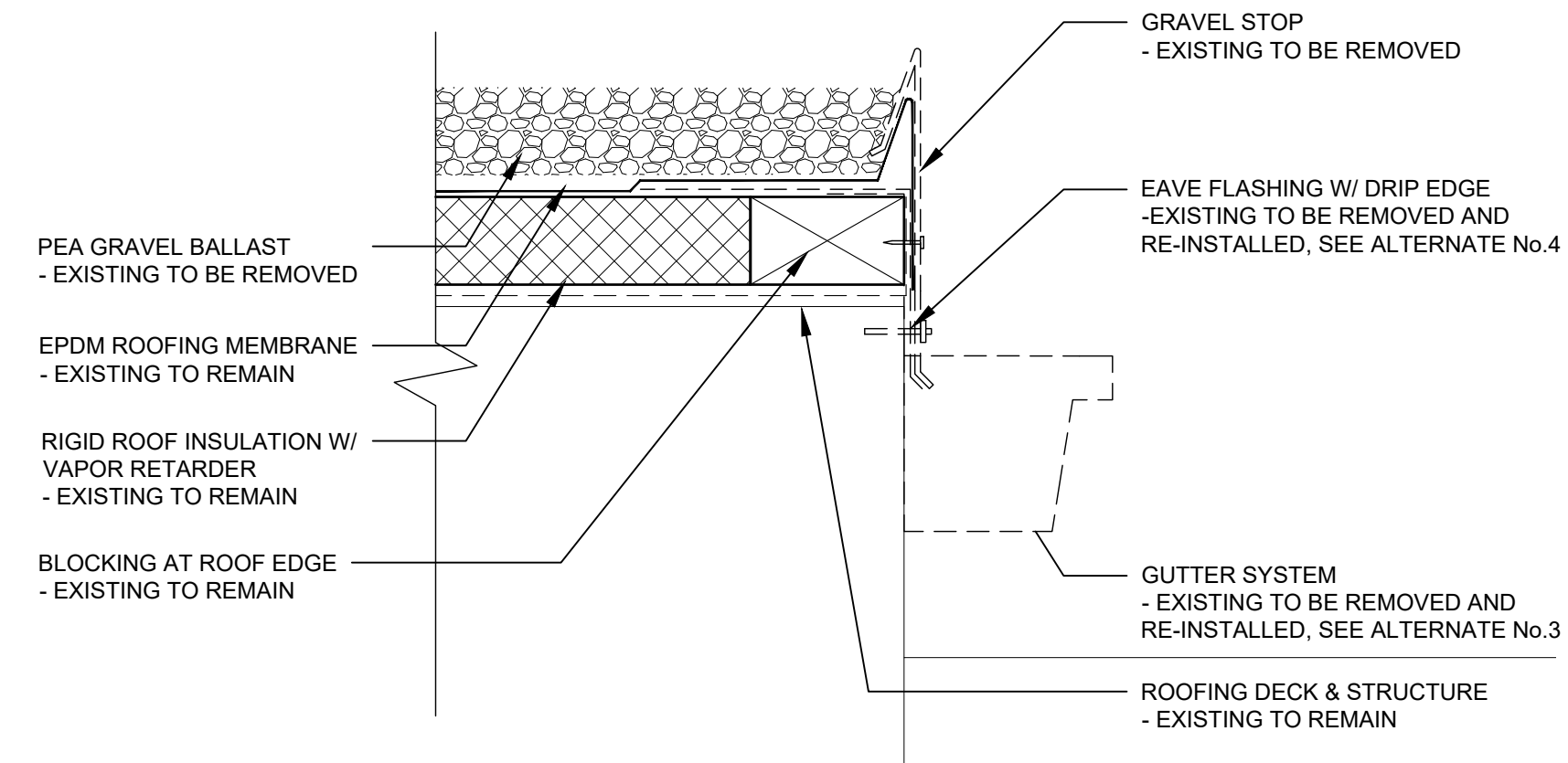
BASE BID:
ALL GUTTERS AND DOWNSPOUTS TO BE REMOVED FOR NEW ROOF INSTALLATION. STORE ALL ITEMS PROPERLY FOR RE-INSTALLATION WITH NEW ROOF.

ALTERNATE No.3:
ALL EXISTING GUTTERS AND DOWNSPOUTS SHALL BE REMOVED AND DISCARDED PER THE DEMOLITION GUIDELINES.

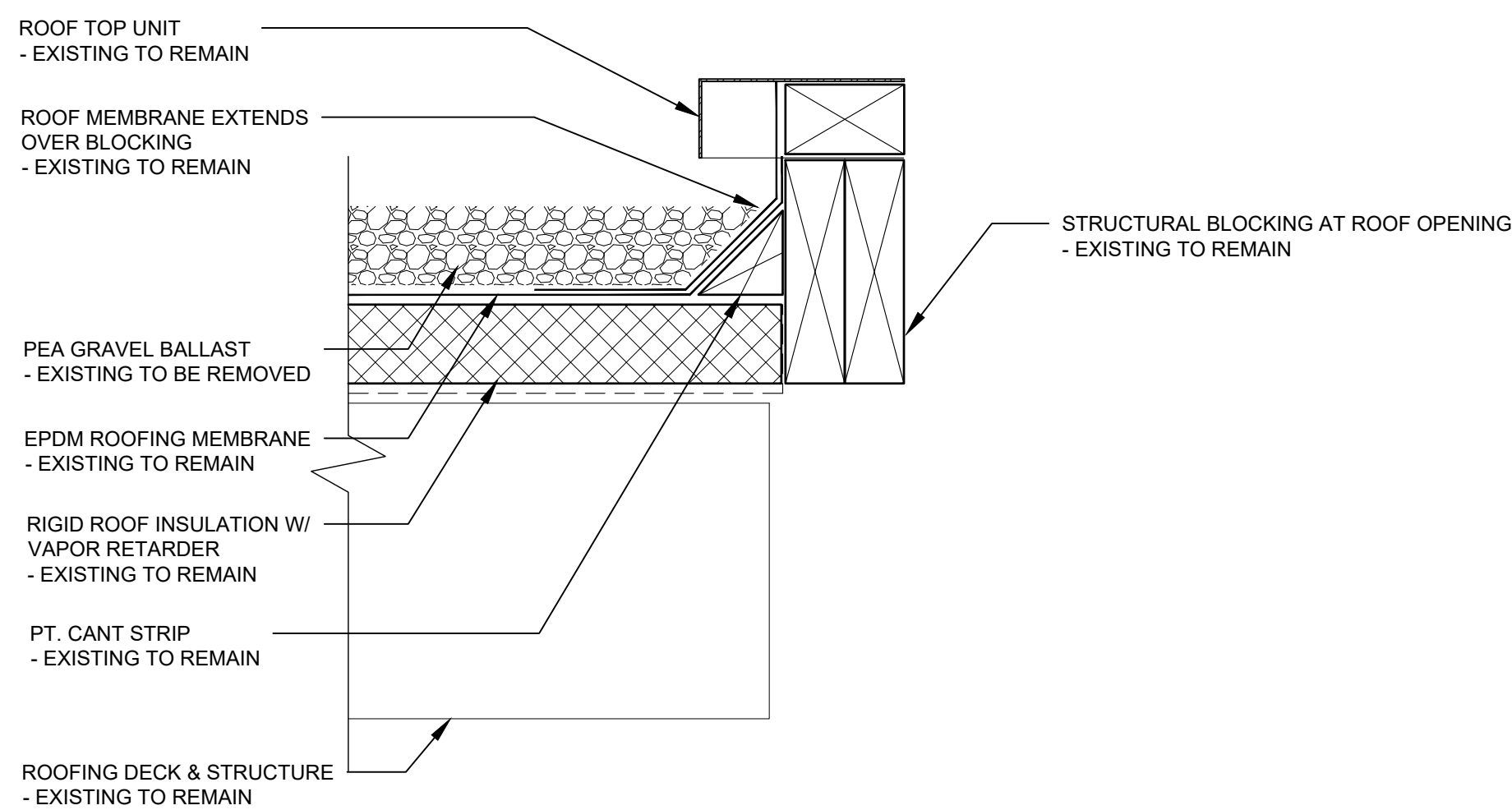
ROOF COPING & FLASHING

BASE BID:
ALL FLASHING & COPING TO BE REMOVED FOR NEW ROOF INSTALLATION. STORE ALL ITEMS PROPERLY FOR RE-INSTALLATION WITH NEW ROOF.

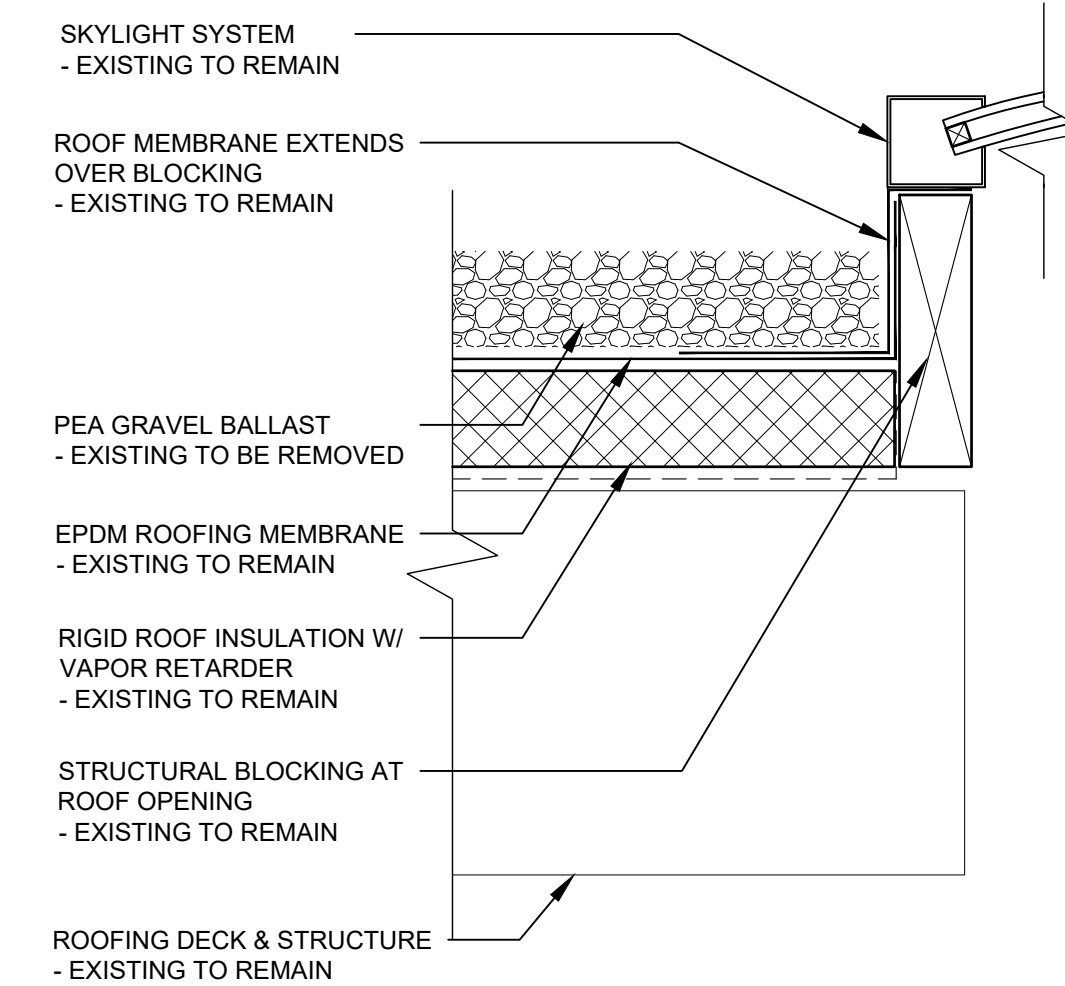
ALTERNATE No.4:
ALL EXISTING FLASHING & COPING SHALL BE REMOVED AND DISCARDED PER THE DEMOLITION GUIDELINES.



4 EXISTING LOWER ROOF PLAN
A3.2 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF



5 EXISTING ROOF DETAIL
A3.2 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF



6 EXISTING ROOF DETAIL
A3.2 SCALE: 3" = 1'-0" BALASTED MEMBRANE ROOF

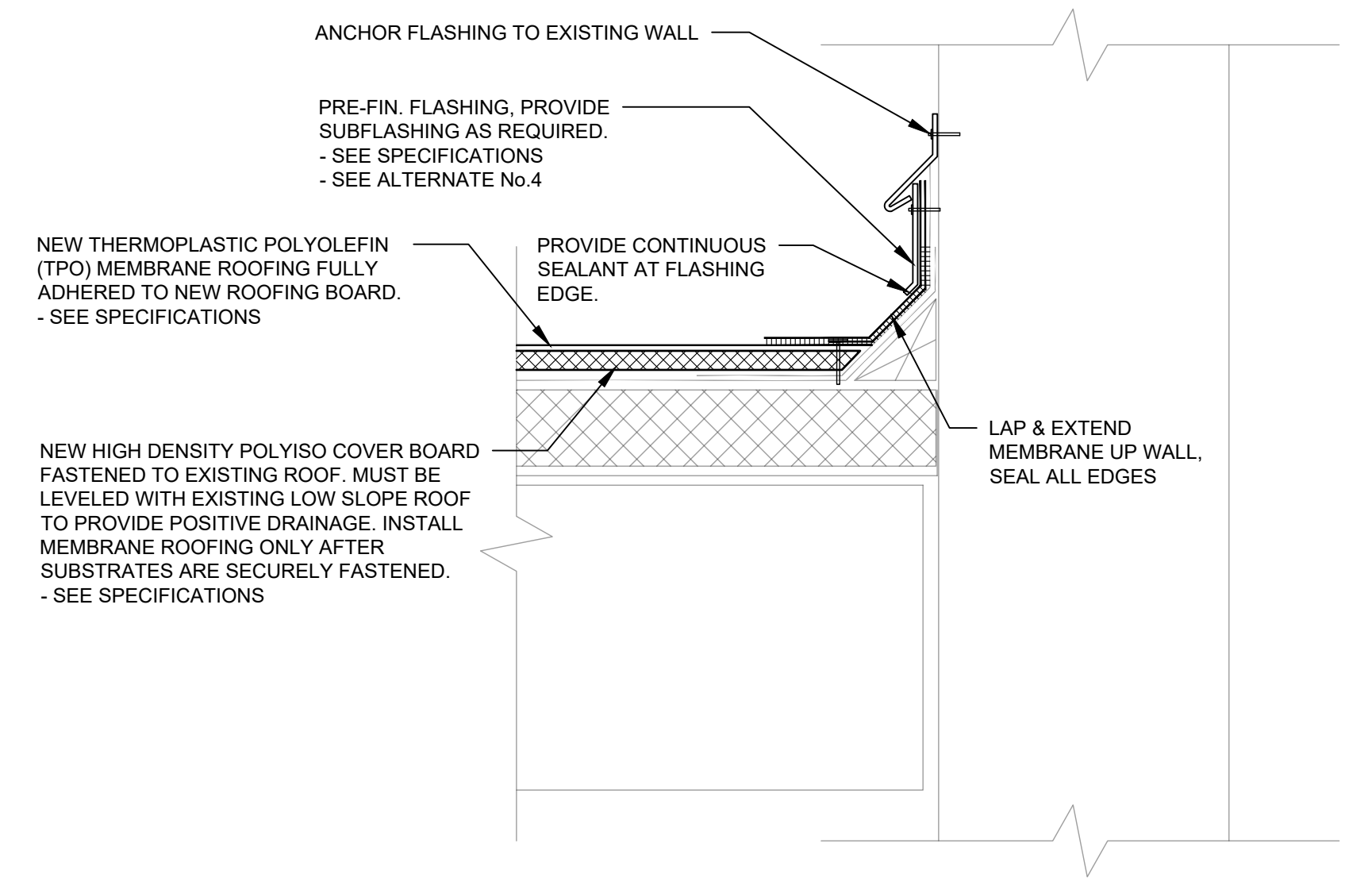
REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

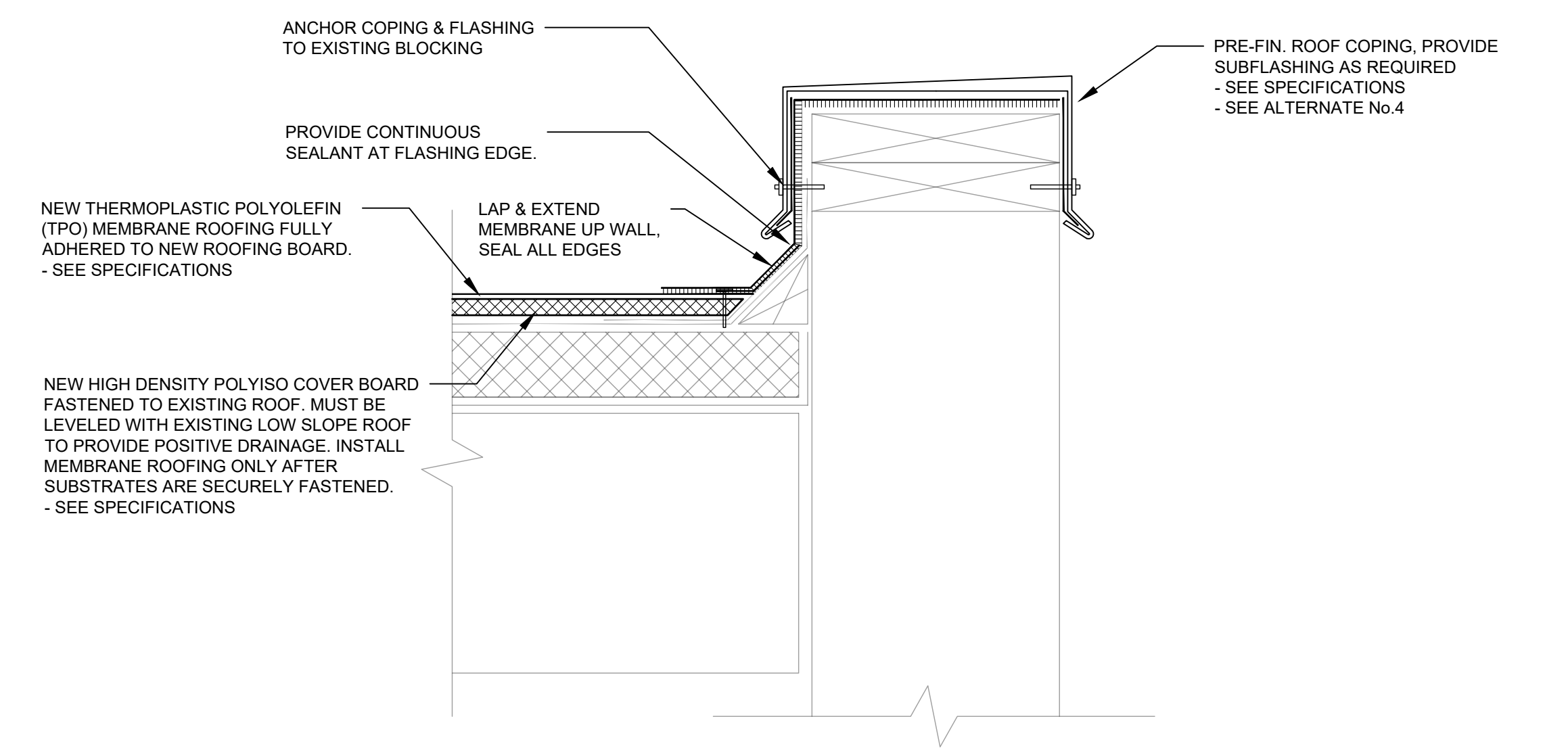
SHEET TITLE

EXISTING & DEMOLITION ROOF DETAILS

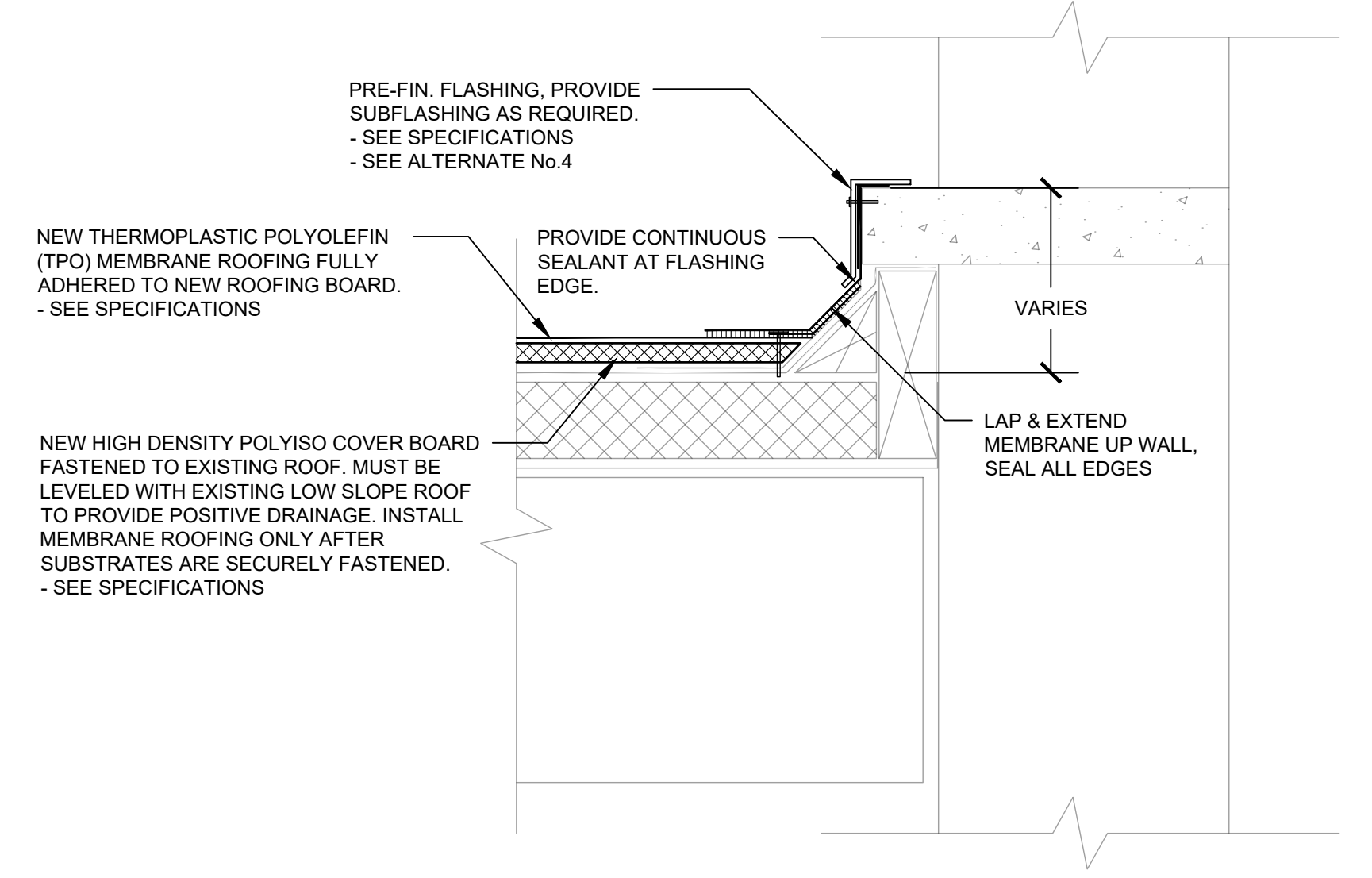
PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	
SHEET NO.	



1 NEW ROOF CONSTRUCTION
A4.1 SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



2 NEW ROOF CONSTRUCTION
A4.1 SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



3 NEW ROOF CONSTRUCTION
A4.1 SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF

GUTTERS & DOWNSPOUTS

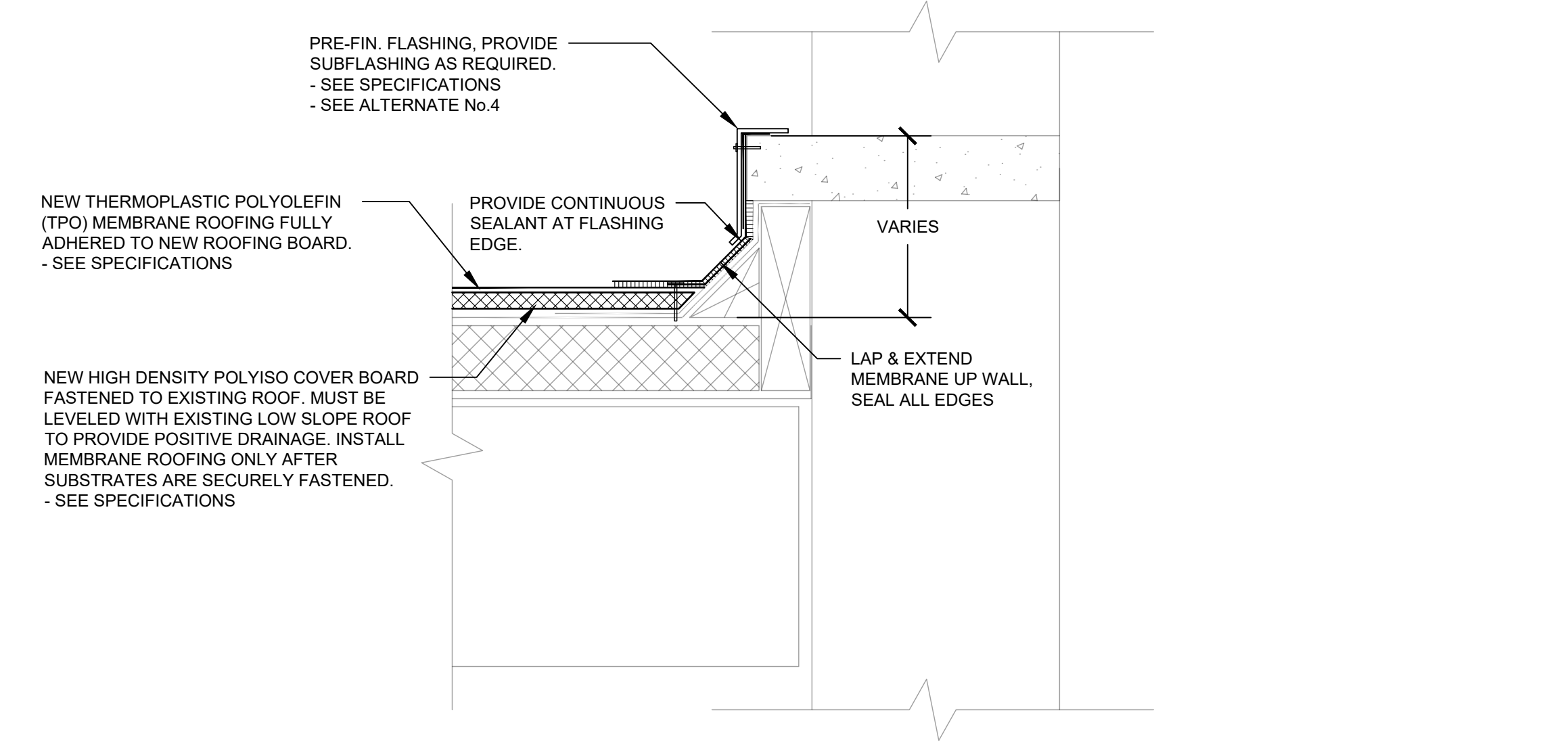
BASE BID:
RE-INSTALL ALL GUTTERS AND DOWNSPOUTS WHICH WERE REMOVED DURING DEMOLITION.

ALTERNATE No.3:
INSTALL ALL NEW GUTTERS AND DOWNSPOUTS. COLOR MATCH TO EXISTING GUTTERS.

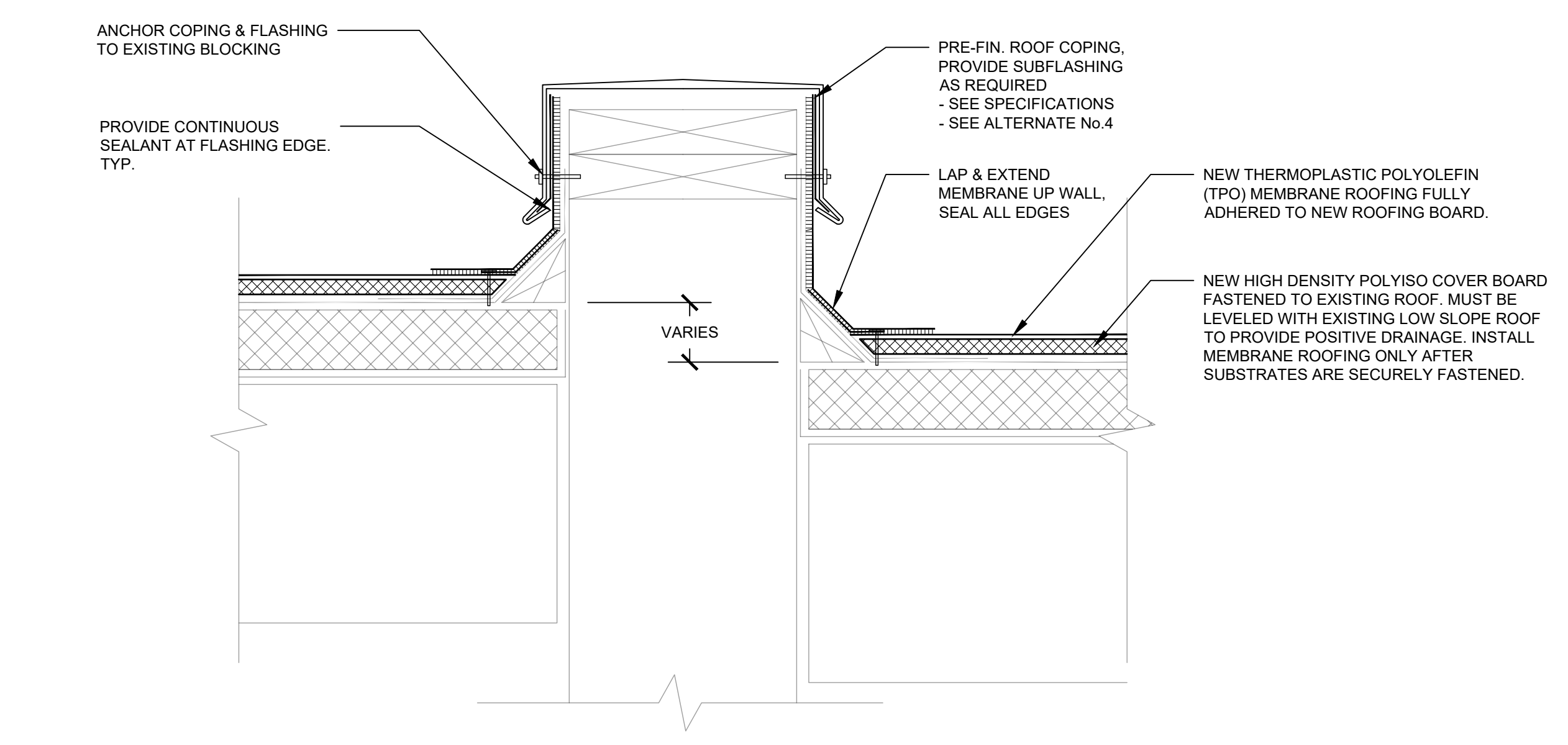
ROOF COPING & FLASHING

BASE BID:
RE-INSTALL ALL FLASHING AND COPING WHICH WERE REMOVED DURING DEMOLITION

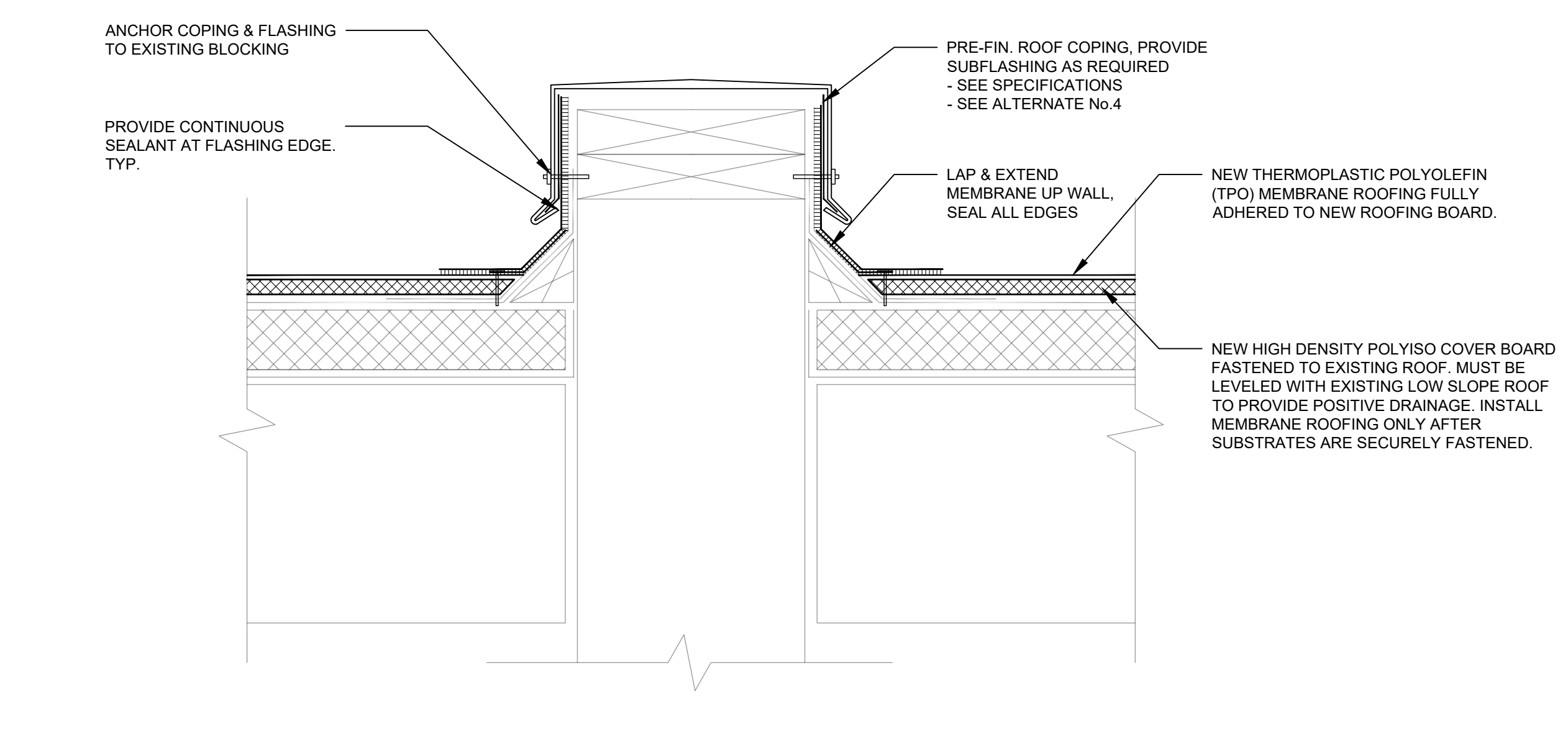
ALTERNATE No.4:
INSTALL ALL NEW FLASHING AND COPING. COLOR MATCH TO EXISTING COPING.



4 NEW ROOF CONSTRUCTION
A4.1 SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



5 NEW ROOF CONSTRUCTION
A4.1 SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



6 NEW ROOF CONSTRUCTION
A4.1 SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF

REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

SHEET TITLE

NEW CONSTRUCTION ROOF DETAILS

PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	
SHEET NO.	

A4.1

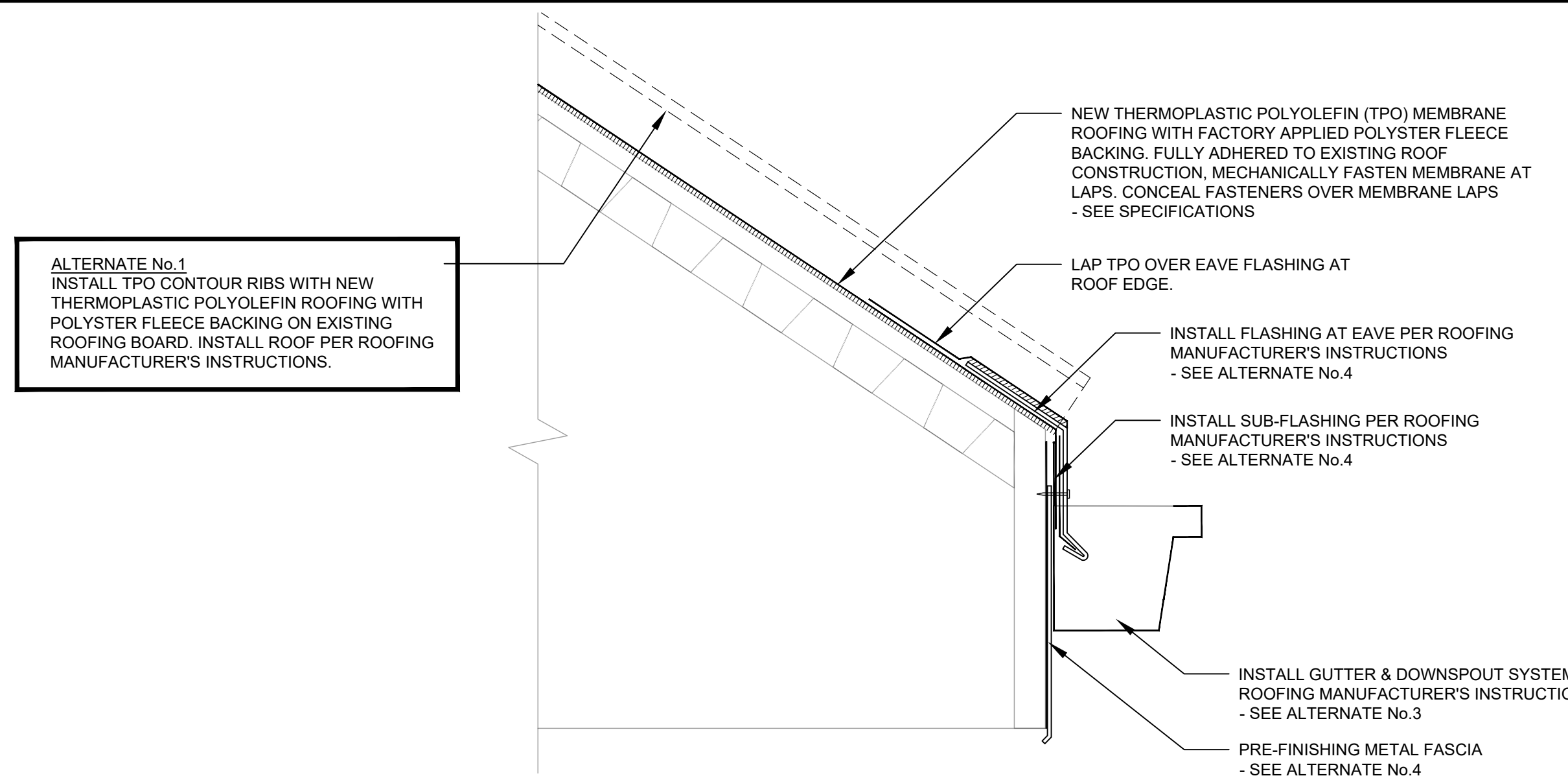
REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

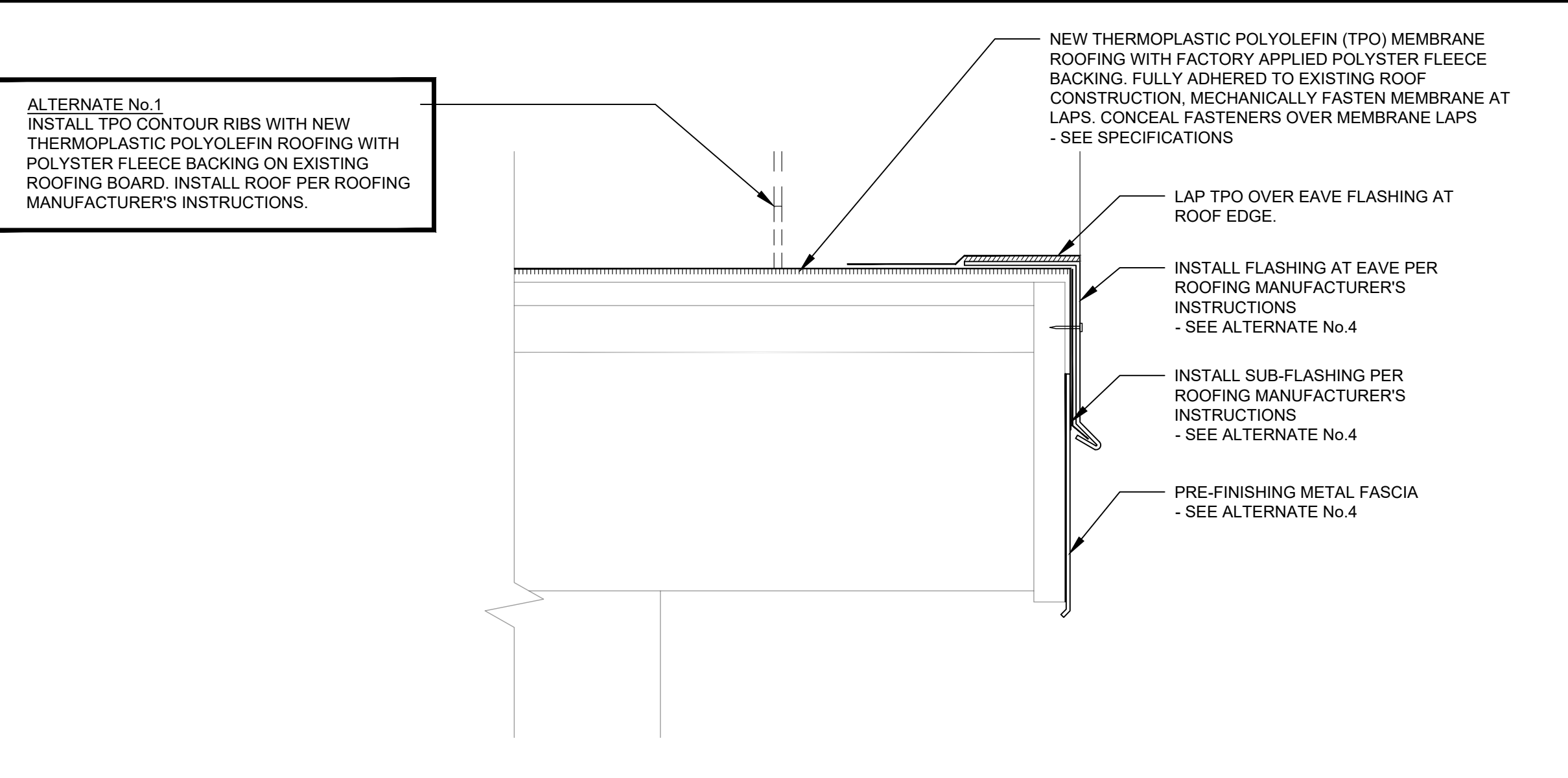
SHEET TITLE
NEW CONSTRUCTION ROOF DETAILS

PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	
SHEET NO.	

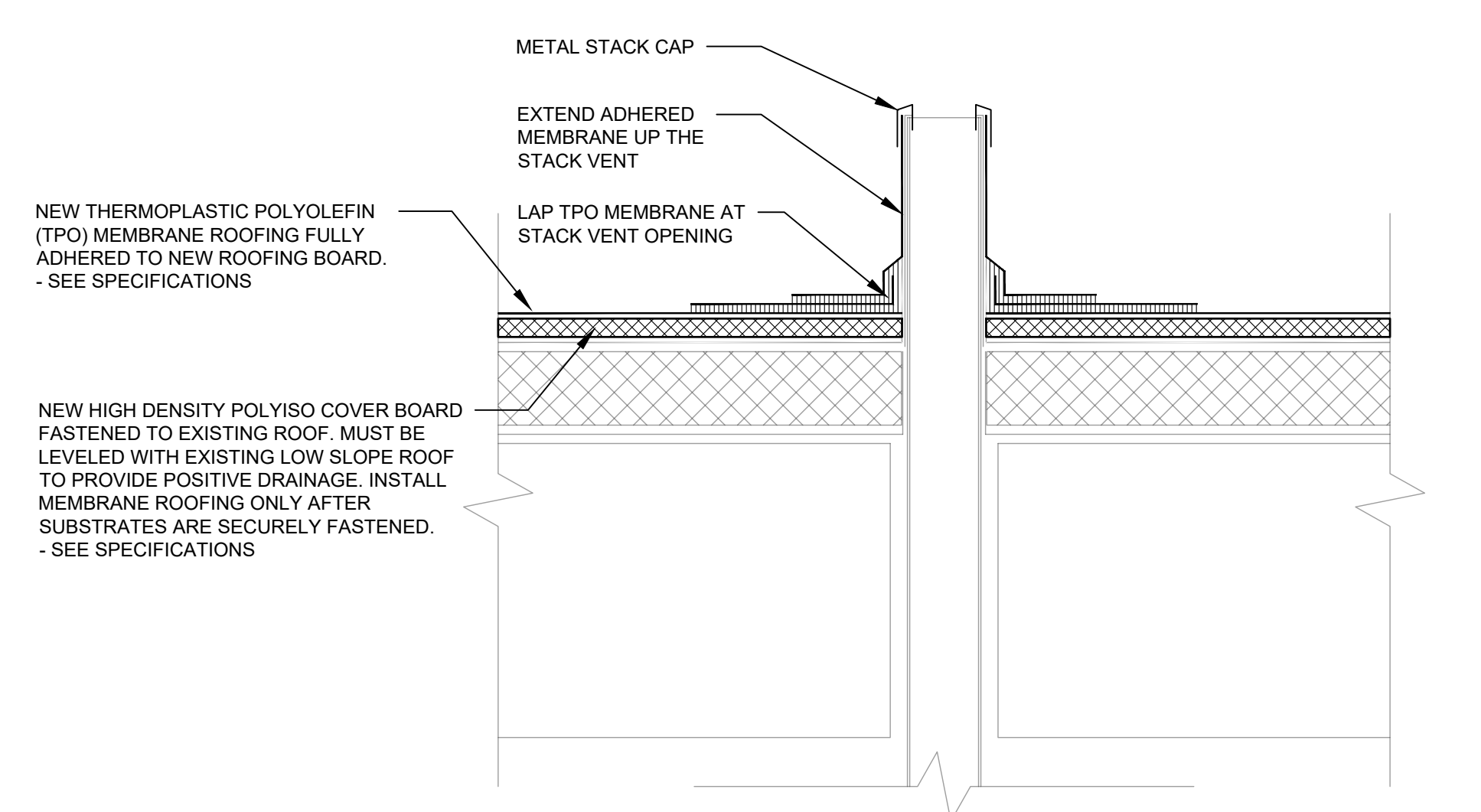
A4.2



1 NEW ROOF CONSTRUCTION
SCALE: 3" = 1'-0" PITCHED MEMBRANE ROOF



2 NEW ROOF CONSTRUCTION
SCALE: 3" = 1'-0" PITCHED MEMBRANE ROOF



3 NEW ROOF CONSTRUCTION
SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF

GUTTERS & DOWNSPOUTS

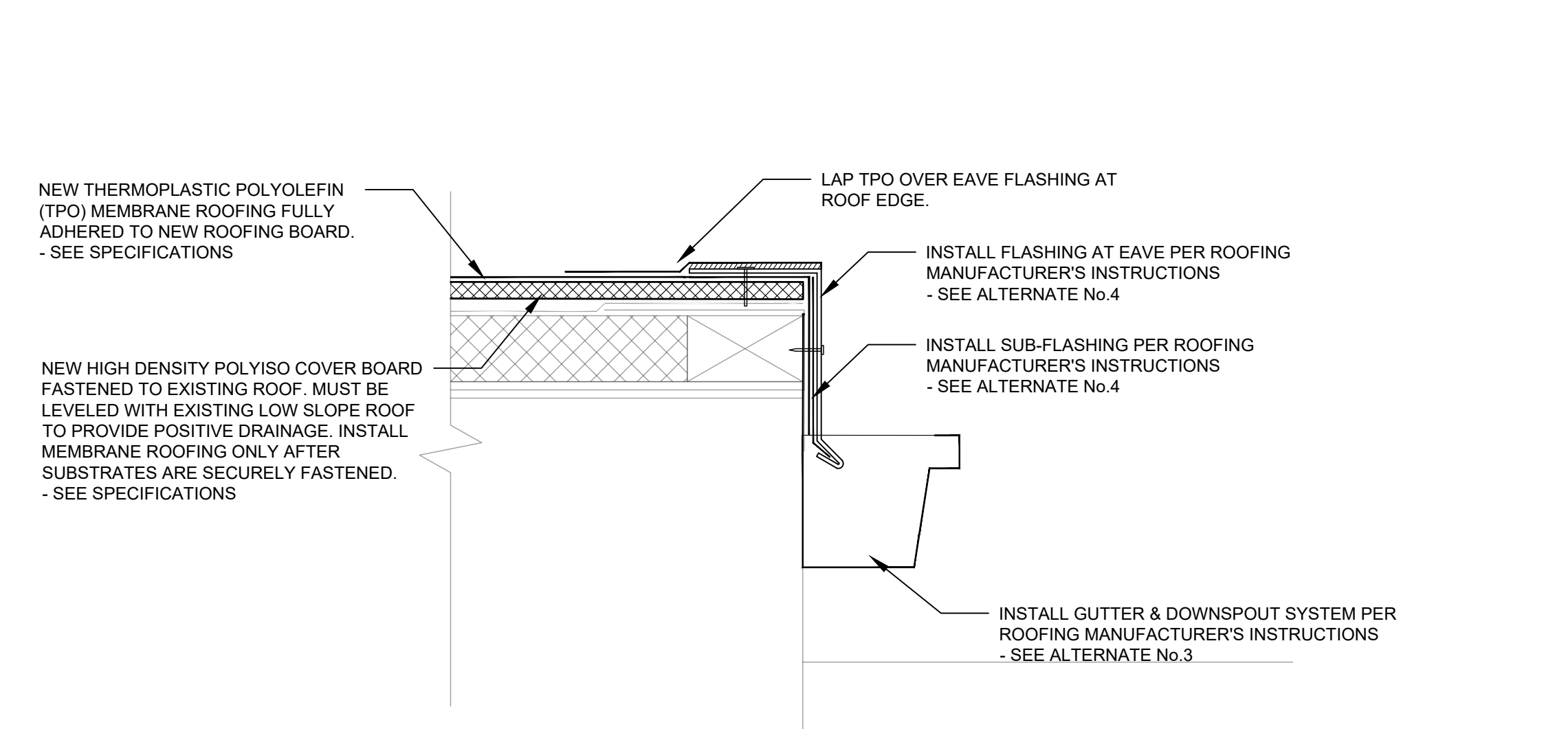
BASE BID:
RE-INSTALL ALL GUTTERS AND DOWNSPOUTS WHICH WERE REMOVED DURING DEMOLITION.

ALTERNATE No.3:
INSTALL ALL NEW GUTTERS AND DOWNSPOUTS. COLOR MATCH TO EXISTING GUTTERS.

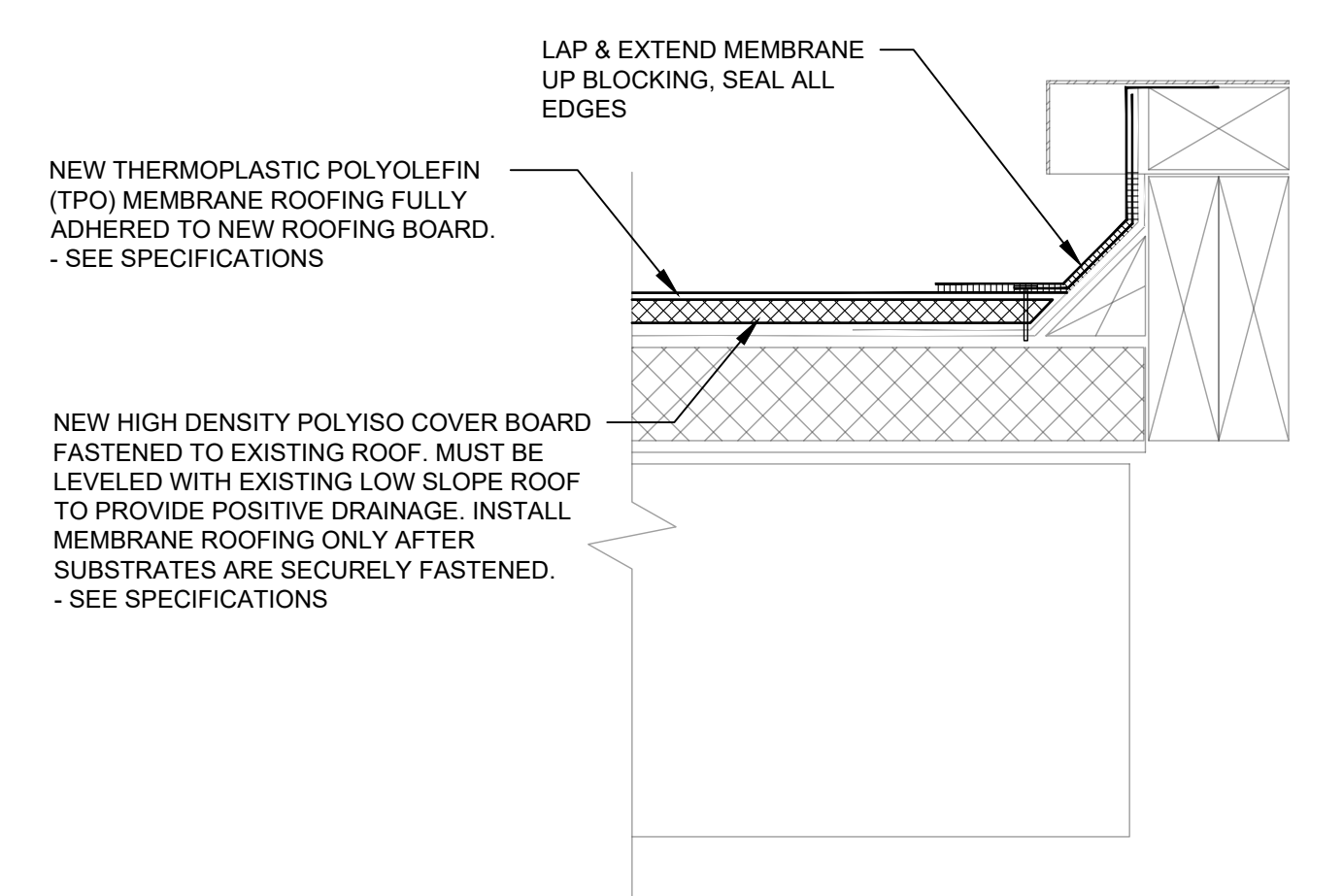
ROOF COPING & FLASHING

BASE BID:
RE-INSTALL ALL FLASHING AND COPING WHICH WERE REMOVED DURING DEMOLITION

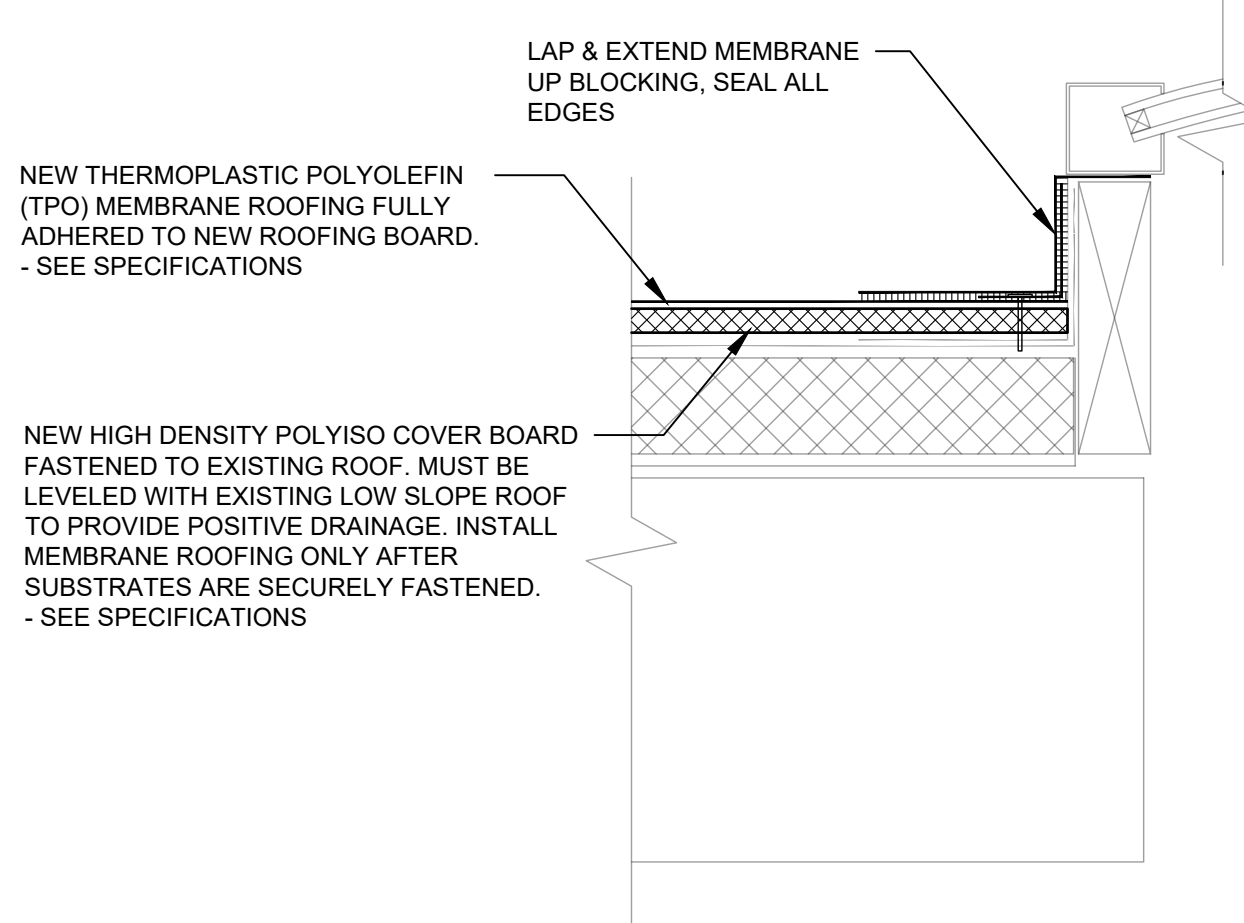
ALTERNATE No.4:
INSTALL ALL NEW FLASHING AND COPING. COLOR MATCH TO EXISTING COPING.



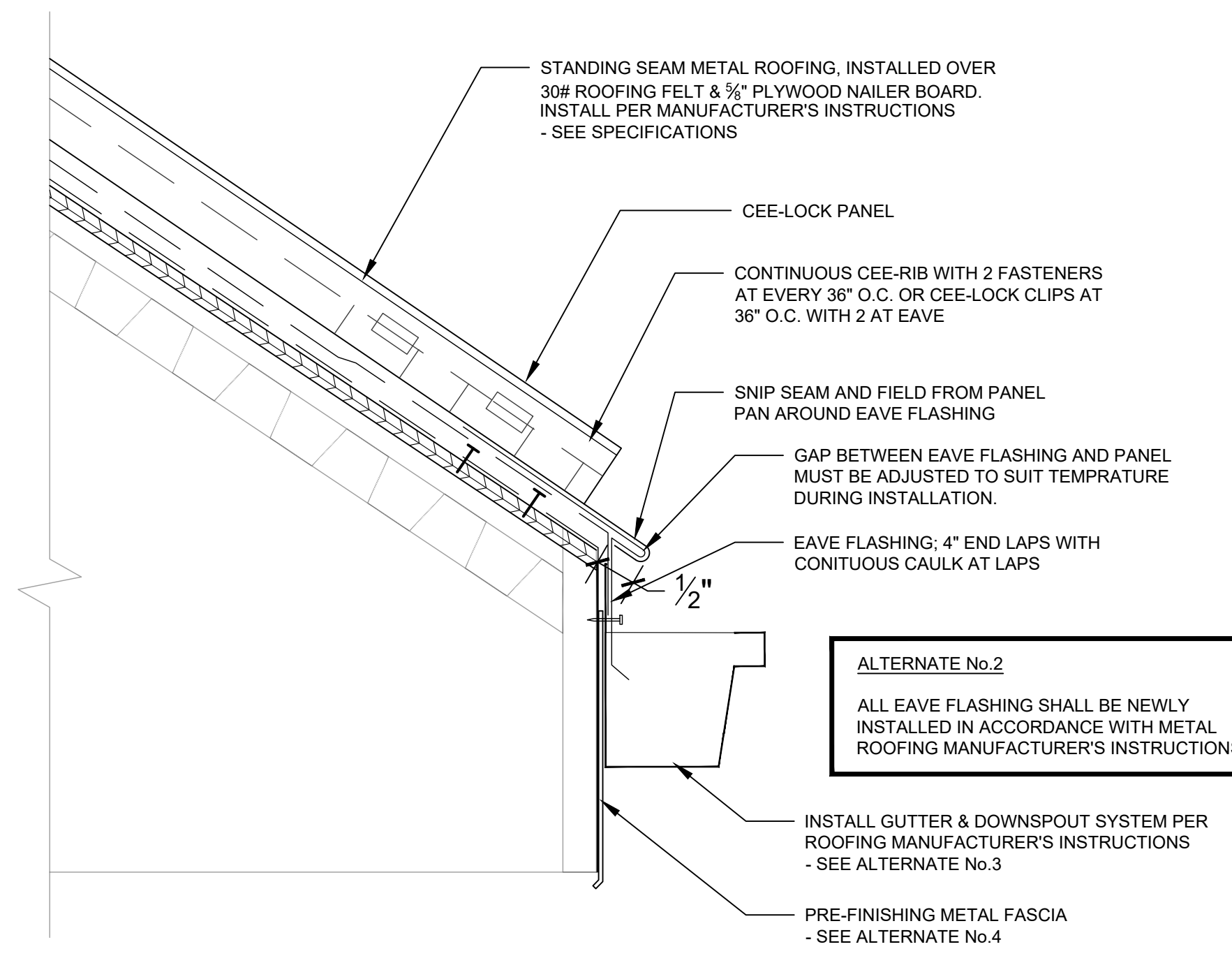
4 NEW ROOF CONSTRUCTION
SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



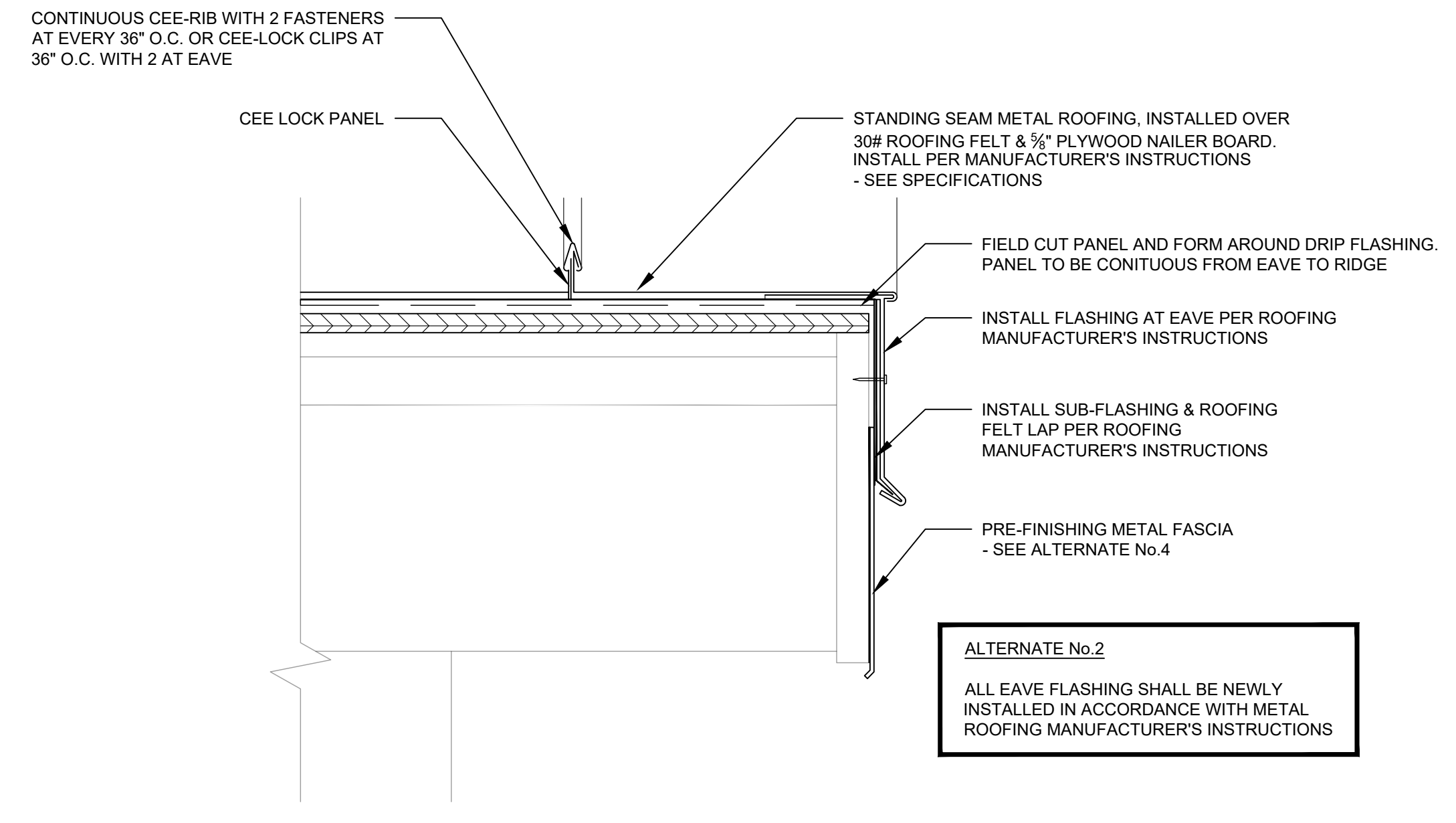
5 NEW ROOF CONSTRUCTION
SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



6 NEW ROOF CONSTRUCTION
SCALE: 3" = 1'-0" LOW-SLOPE MEMBRANE ROOF



1 NEW ROOF CONSTRUCTION
A4.3 SCALE: 3" = 1'-0" METAL ROOFING - ALTERNATE No.2



2 NEW ROOF CONSTRUCTION
A4.3 SCALE: 3" = 1'-0" METAL ROOFING - ALTERNATE No.2

GUTTERS & DOWNSPOUTS

BASE BID:
RE-INSTALL ALL GUTTERS AND DOWNSPOUTS WHICH WERE REMOVED DURING DEMOLITION.

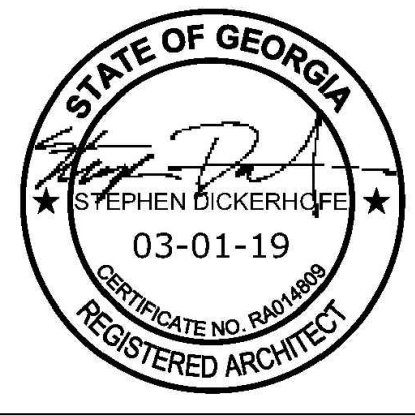
ALTERNATE No.3:
INSTALL ALL NEW GUTTERS AND DOWNSPOUTS. COLOR MATCH TO EXISTING GUTTERS.

ROOF COPING & FLASHING

BASE BID:
RE-INSTALL ALL FLASHING AND COPING WHICH WERE REMOVED DURING DEMOLITION

ALTERNATE No.4:
INSTALL ALL NEW FLASHING AND COPING. COLOR MATCH TO EXISTING COPING.

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. NO PART HEREOF IS TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER BE SUBJECT TO LEGAL ACTION.



LYNWOOD PARK - REROOFING CONSTRUCTION DOCUMENTS
 PREPARED FOR:
 CITY OF BROOKHAVEN
 BROOKHAVEN
 GEORGIA

REVISIONS		
NO.	DATE	COMMENTS

ISSUE FOR BID

SHEET TITLE
**ALTERNATE No.2
NEW CONSTRUCTION
ROOF DETAILS**

PROJECT NO. 19015P	DATE 03-01-2019
DRAWN BY AL	SCALE AS NOTED
CHECKED BY SD	
SHEET NO.	

A4.3