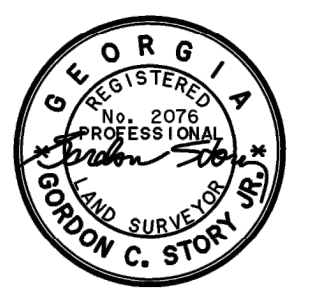
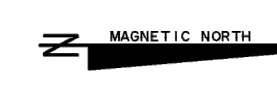
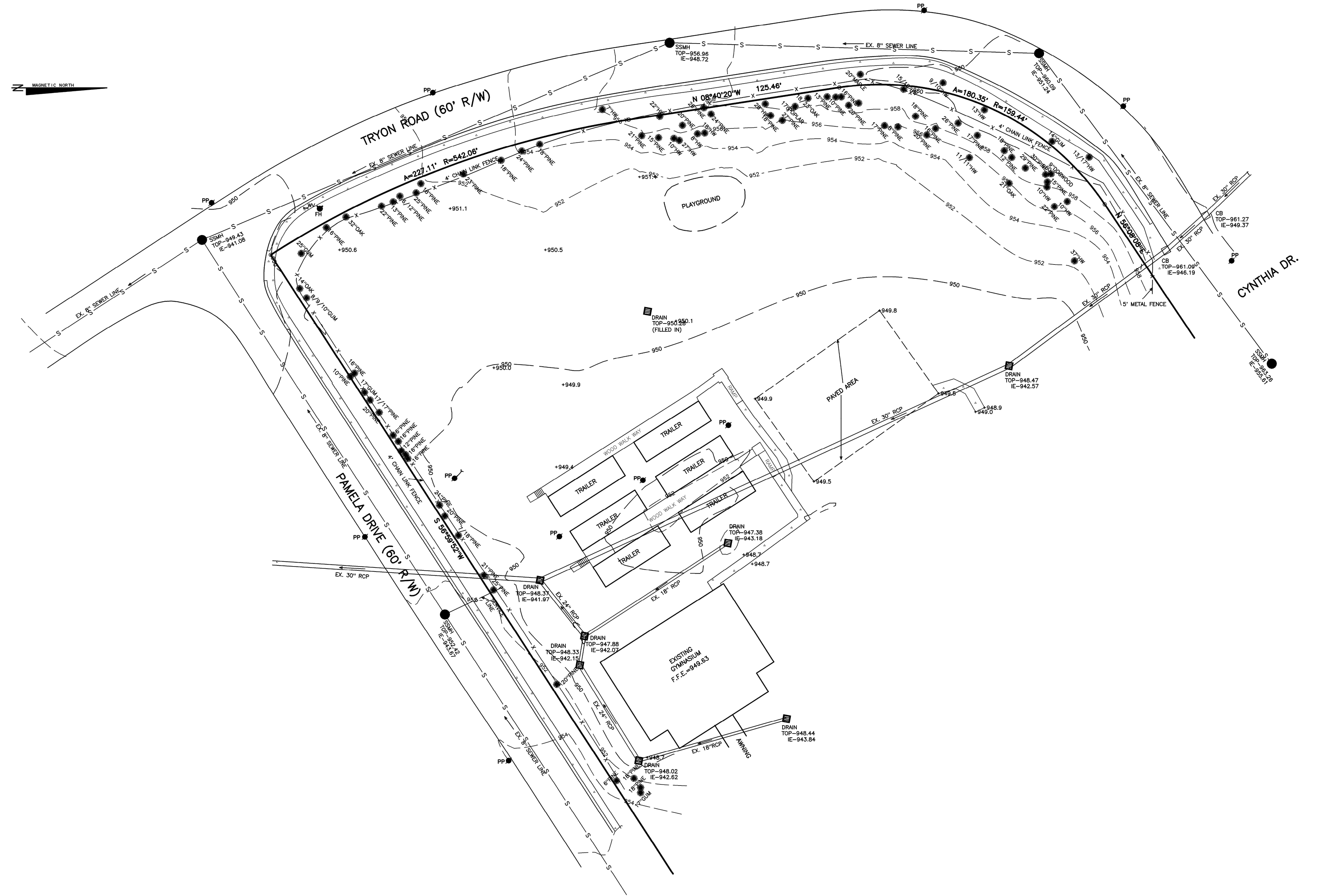


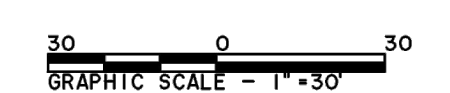
The field data upon which this plot is based has a closure precision of one foot in 15,000+ feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plot has been calculated for closure and is found to be accurate within one foot in 100,000+ feet.

Equipment used: Topcon GTS-213 Total Station.

- LEGEND**
- 1/2" REBAR FOUND
 - 1/2" REBAR PIN SET
 - LAND LOT
 - LAND LOT LINE
 - PROPERTY LINE
 - CENTERLINE
 - BUILDING LINE
 - RIGHT-OF-WAY
 - SANITARY SEWER EASEMENT
 - DRAINAGE EASEMENT
 - MANHOLE
 - CATCH BASIN
 - JUNCTION BOX
 - HEADWALL
 - DROP INLET
 - POWER/UTILITY POLE
 - FIRE HYDRANT
 - INVERT ELEVATION
 - FINISHED FLOOR ELEVATION
 - FINISHED FLOOR BASEMENT
 - FINISHED FLOOR GARAGE
 - BACK OF CURB
 - EDGE OF PAVEMENT
 - NOW OR FORMERLY
 - POINT OF BEGINNING
 - SANITARY SEWER LINE/PIPE
 - FENCE LINE
 - FLOOD HAZARD ZONE LINE
 - STORM SEWER LINE/PIPE
 - WATER LINE
 - GAS LINE
 - CONCRETE MONUMENT
 - CONSTRUCTION EASEMENT
 - CURB AND GUTTER
 - LIGHT STANDARD
 - OPEN TOP PIPE FOUND
 - CRIMP TOP PIPE FOUND
 - WOOD DECK
 - CLEAN OUT



THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 19-6-67



ALPHA LAND SERVICES P.O. BOX 1651 LOGANVILLE, GA 30052 ENGINEERING & LAND SURVEYING 877.772.8966 / 7024 DALLAS ROAD / LOGANVILLE, GA 30052		SURVEY FOR: ASHFORD PARK ELEMENTARY	
REVISION: 03/12/18	LAND LOT: 272	LOT: BLOCK:	
	DISTRICT: 18TH	SUB: SUB:	
	DEALB COUNTY	GEORGIA COUNTY	
	FIELD DATE: 03/29/17	AREA: N/A	
REF. PLAT: PB	P	PLAT DATE: 03/30/17	JOB NO. 17-03-111

NOTE:
LOSE DESIGN, ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION AS PROVIDED. CONTRACTOR IS TO VERIFY ALL SURVEY INFORMATION AS NECESSARY AND TO ADVISE THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY LAYOUT WORK.



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**TURF FIELD CONVERSION
ASHFORD PARK ELEMENTARY SCHOOL**

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT
BROOKHAVEN, GEORGIA

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

ISSUED FOR BID

SHEET TITLE
EXISTING CONDITIONS

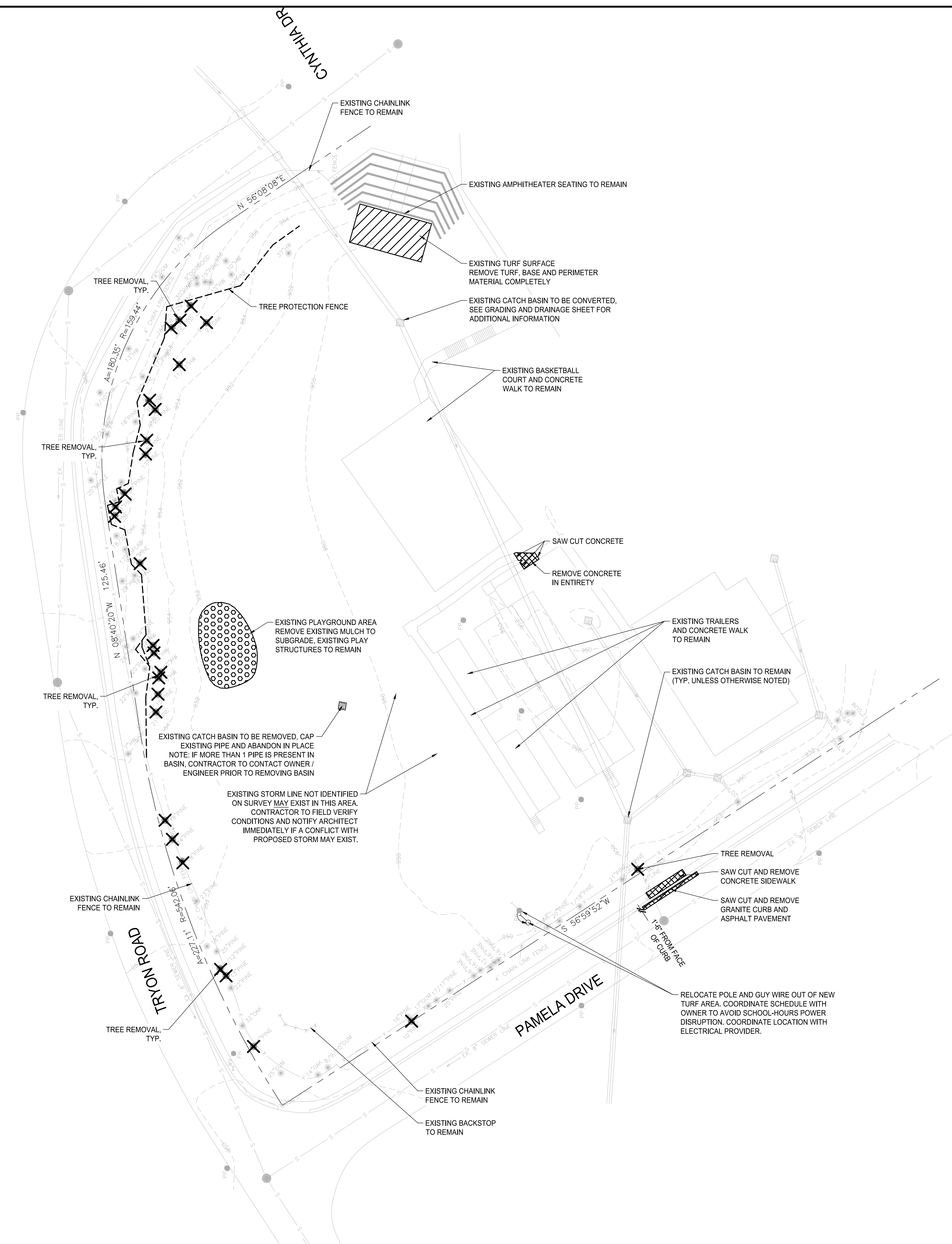
PROJECT NO. 18081-1	DATE 08/13/2018
DRAWN BY LC	SCALE N/A
CHECKED BY MB	
SHEET NO. C0.02	

DEMO NOTES

1. SEE SHEET C0.01 FOR ADDITIONAL DEMOLITION NOTES.
2. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS IMMEDIATELY UPON DISCOVERY.
3. CONTRACTOR TO COORDINATE WITH OWNER FOR STORAGE LOCATIONS FOR CONSTRUCTION MATERIALS TO BE SALVAGED.
4. PRIOR TO BEGINNING DEMOLITION, ENSURE EROSION AND INLET PROTECTION ARE IN PLACE.
5. DISPOSE OF DEMOLISHED MATERIALS LEGALLY OFF SITE.
6. ANY DAMAGES TO EXISTING ITEMS TO REMAIN SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
7. SITE BOUNDARY SHALL BE FENCED WITH STANDARD STAKED ORANGE CONSTRUCTION FENCING.
8. ALL LIGHTING AND LIGHTING EQUIPMENT SHALL BE PROTECTED IN PLACE WITH TREE PROTECTION FENCING PRIOR TO DEMOLITION.
9. A SUBSURFACE EXPLORATION HAS NOT BEEN CONDUCTED FOR THIS PROJECT, AND A GEOTECHNICAL EXPLORATION REPORT IS NOT AVAILABLE.

LEGEND:

- TURF SURFACE REMOVAL
- PAVEMENT REMOVAL (SEE PLAN FOR PAVEMENT TYPE)
- MULCH REMOVAL
- LOD — LIMITS OF DISTURBANCE
- TREE REMOVAL
- TREE PROTECTION FENCE
- 952- EXISTING CONTOUR LINE



TURF FIELD CONVERSION
ASHFORD PARK ELEMENTARY SCHOOL

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT
BROOKHAVEN, GEORGIA

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

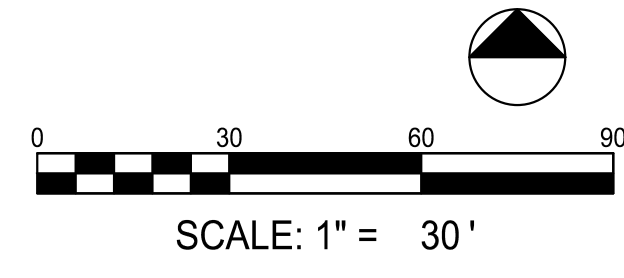
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SHEET TITLE

DEMOLITION PLAN

PROJECT NO. 18081-1	DATE 08/13/2018
DRAWN BY LC	SCALE 1"=30'
CHECKED BY MB	
SHEET NO.	

C0.10



City of Brookhaven Parks and Recreation Department, 3000 Peachtree Road, Brookhaven, GA 30319, 404.487.2800, www.brookhaven.org



TURF FIELD CONVERSION
ASHFORD PARK ELEMENTARY SCHOOL

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT
BROOKHAVEN, GEORGIA

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION

ISSUED FOR BID

SHEET TITLE

LAYOUT PLAN

PROJECT NO. 18081-1	DATE 08/13/2018
DRAWN BY LC	SCALE 1"=30'
CHECKED BY MB	
SHEET NO.	

C1.00

LAYOUT NOTES:

- SEE SHEET C0.01 FOR GENERAL NOTES.
- INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE.
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH GOOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.

LAYOUT LEGEND:

	ASPHALT (LIGHT-DUTY)	
	CONCRETE PAVEMENT	
	SYNTHETIC TURF	
	MULCH PLAYGROUND SURFACING	

JOINT

EXPANSION JOINT (EJ)
CONTROL JOINT (CJ)

TITLE CLARIFIER

A = DETAIL #
B = SHEET #

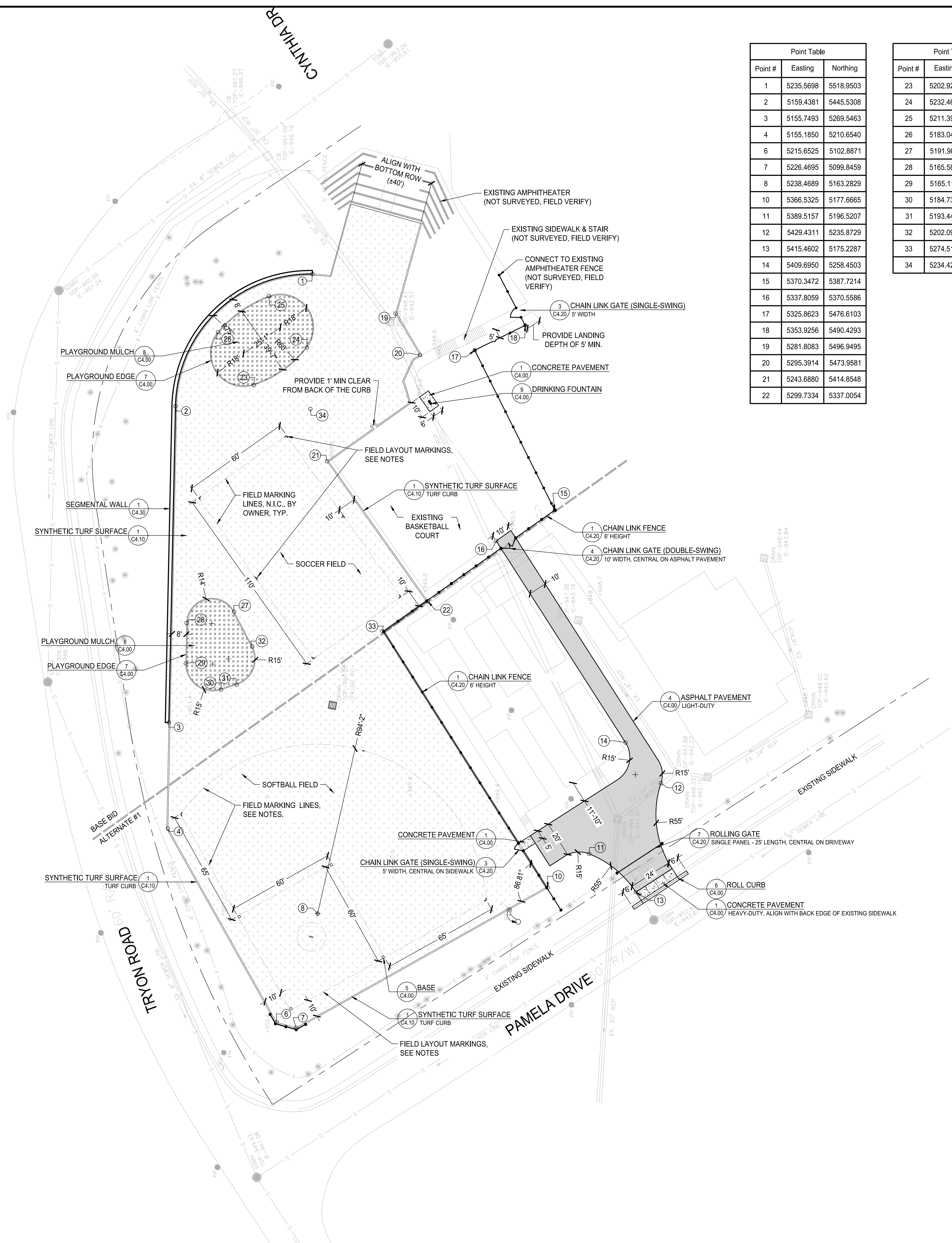
COORDINATE POINT.
SEE LAYOUT DATA FOR ADDITIONAL INFORMATION

FIELD LAYOUT MARKINGS NOTES:

- TYPICAL SOCCER AND SOFTBALL FIELD. 1FT LONG TICK MARKS TO BE 4" WIDE, WHITE FIBER, STITCHED INTO TURF FABRIC. PROVIDE TICK MARKS AT ALL FIELD CORNERS AND AS SHOWN.
- QTY. SOCCER - 6
- QTY. SOFTBALL - 3 + 5 BASE LOCATIONS
- SEE PLANS FOR LOCATIONS.

Point #	Easting	Northing
1	5235.5698	5518.9503
2	5159.4381	5445.5308
3	5155.7493	5269.5463
4	5155.1850	5210.6540
6	5215.6525	5102.8871
7	5226.4695	5099.8459
8	5238.4689	5163.2829
10	5366.5325	5177.6665
11	5389.5157	5196.5207
12	5429.4311	5235.6729
13	5415.4602	5175.2287
14	5409.6950	5258.4503
15	5370.3472	5387.7214
16	5337.8059	5370.5586
17	5325.8623	5476.6103
18	5353.9256	5490.4293
19	5281.8083	5496.9495
20	5295.3914	5473.9581
21	5243.6880	5414.8548
22	5299.7334	5337.0054

Point #	Easting	Northing
23	5202.9265	5457.2530
24	5232.4632	5478.0888
25	5211.3963	5506.6974
26	5183.0426	5486.6961
27	5191.9801	5331.1902
28	5165.5832	5324.9842
29	5165.1101	5302.4113
30	5184.7383	5287.8299
31	5193.4438	5290.6560
32	5202.0979	5311.8867
33	5274.5143	5320.3376
34	5234.4216	5443.9591



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SUBMITTALS / REVISIONS	
NO.	DESCRIPTION

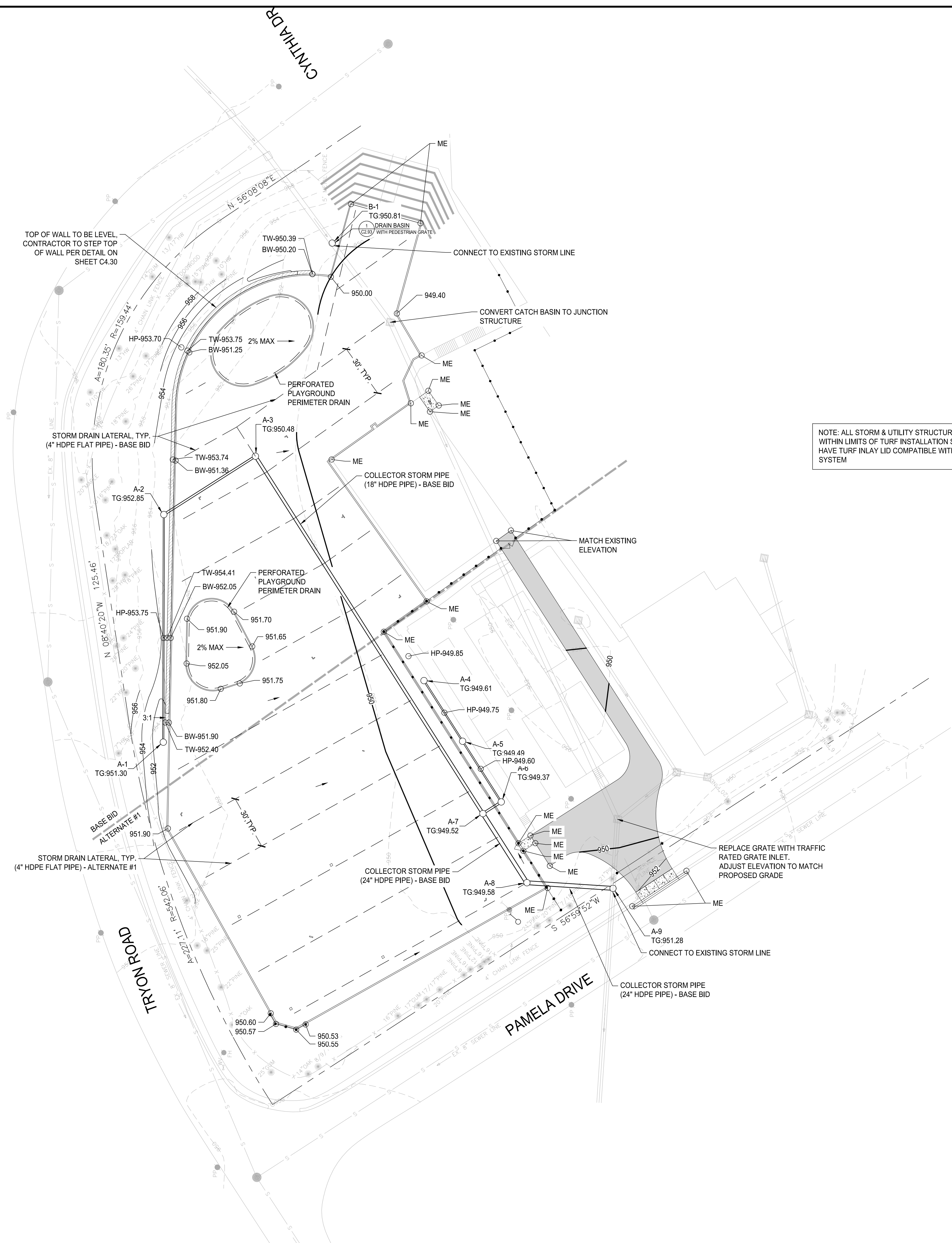
ISSUED FOR BID

SHEET TITLE

GRADING & DRAINAGE PLAN

PROJECT NO.	DATE
18081-1	08/13/2018
DRAWN BY	SCALE
LC	1"=30'
CHECKED BY	
MB	
SHEET NO.	

C2.00



NOTE: ALL STORM & UTILITY STRUCTURES WITHIN LIMITS OF TURF INSTALLATION SHALL HAVE TURF INLAY LID COMPATIBLE WITH TURF SYSTEM

- GRADING NOTES:**
- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL.
 - UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NONSTRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEED.
 - FILL AREAS SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RECOMPACTION OF THESE SOILS, TO THE DENSITY SPECIFIED IN THE PROJECT SPECIFICATIONS, WILL BE ALLOWED UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER.
 - CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUB GRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12" AND RECOMPACTED TO THE DENSITY SPECIFIED IN THE PROJECT SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
 - THE FOLLOWING SOIL COMPACTION RATES WILL BE REQUIRED:
 - 95% MAXIMUM DRY DENSITY FOR OPEN AREAS AND GENERAL EMBANKMENTS, SLABS, & FOUNDATIONS.
 - 98% MAXIMUM DRY DENSITY UNDER ROADS, PARKING, TRAILS, SIDEWALKS, BLDG.
 - ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 6 INCHES.
 - ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
 - ALL AREAS WILL BE GRADED TO PROVIDED PROPER DRAINAGE AND PREVENT STANDING WATER.
 - GRADING SHOWN IS TO FINISH GRADE.
 - CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 - THE SUITABILITY OF SOILS SHALL BE DETERMINED BY A QUALIFIED SOILS ENGINEER EMPLOYED BY THE OWNER. ALL DECISIONS RENDERED BY THE SOILS ENGINEER, RELATED TO SOIL SUITABILITY, SHALL BE FINAL.
 - AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.

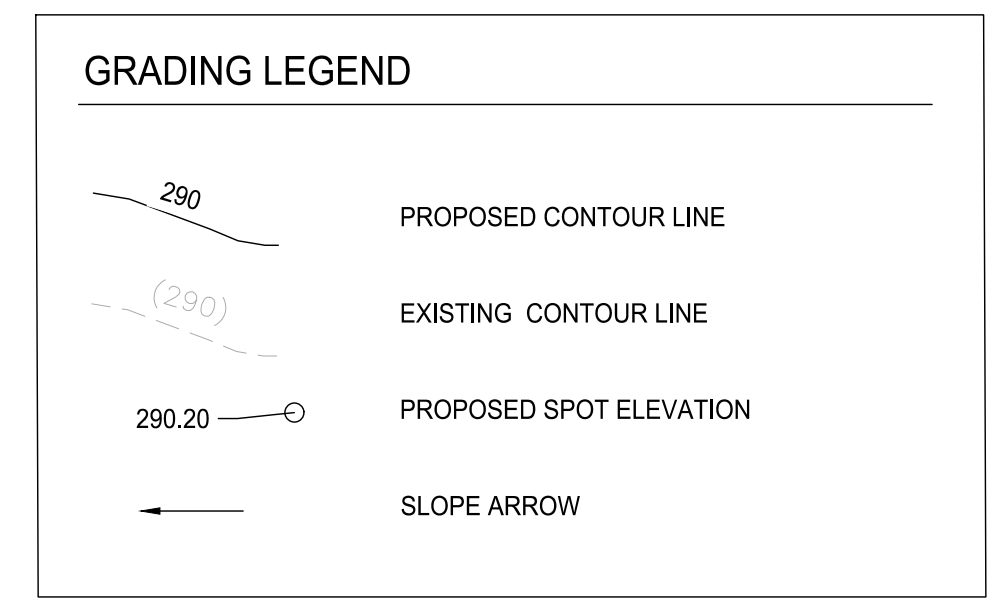
- UTILITY NOTES:**
- UNDERGROUND UTILITIES:
 - UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL SPOSSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

WETLANDS CERTIFICATION
 THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS HEREIN CERTIFIES THE FOLLOWING: (1) THE NATIONAL WETLANDS INVENTORY MAP HAS BEEN CONSULTED, (2) THE APPROPRIATE PLAN SHEET

DOES DOES NOT

INDICATE WETLANDS AS SHOWN ON THE MAP; AND (3) IF WETLAND ARE INDICATED THE LANDOWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE SECTION 404 PERMIT OR LETTER OF PERMISSION HAS BEEN OBTAINED.

- ADDITIONAL NOTES**
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL OR TREAT THE SEDIMENT SOURCE.
 - ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
 - FEMA FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 13089C0014J, DATED 05/16/2013, SHOWS ZONE AE FLOODPLAIN AND FLOODWAY LIMITS.
 - REFER TO C0.01 FOR ABBREVIATIONS.

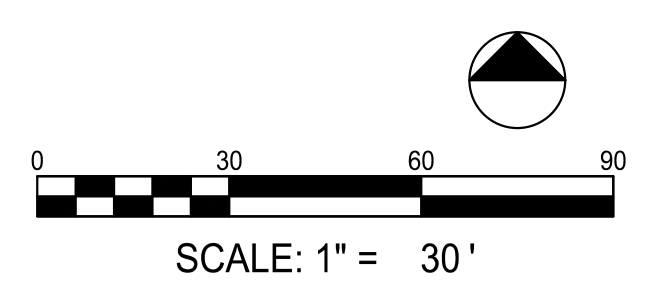


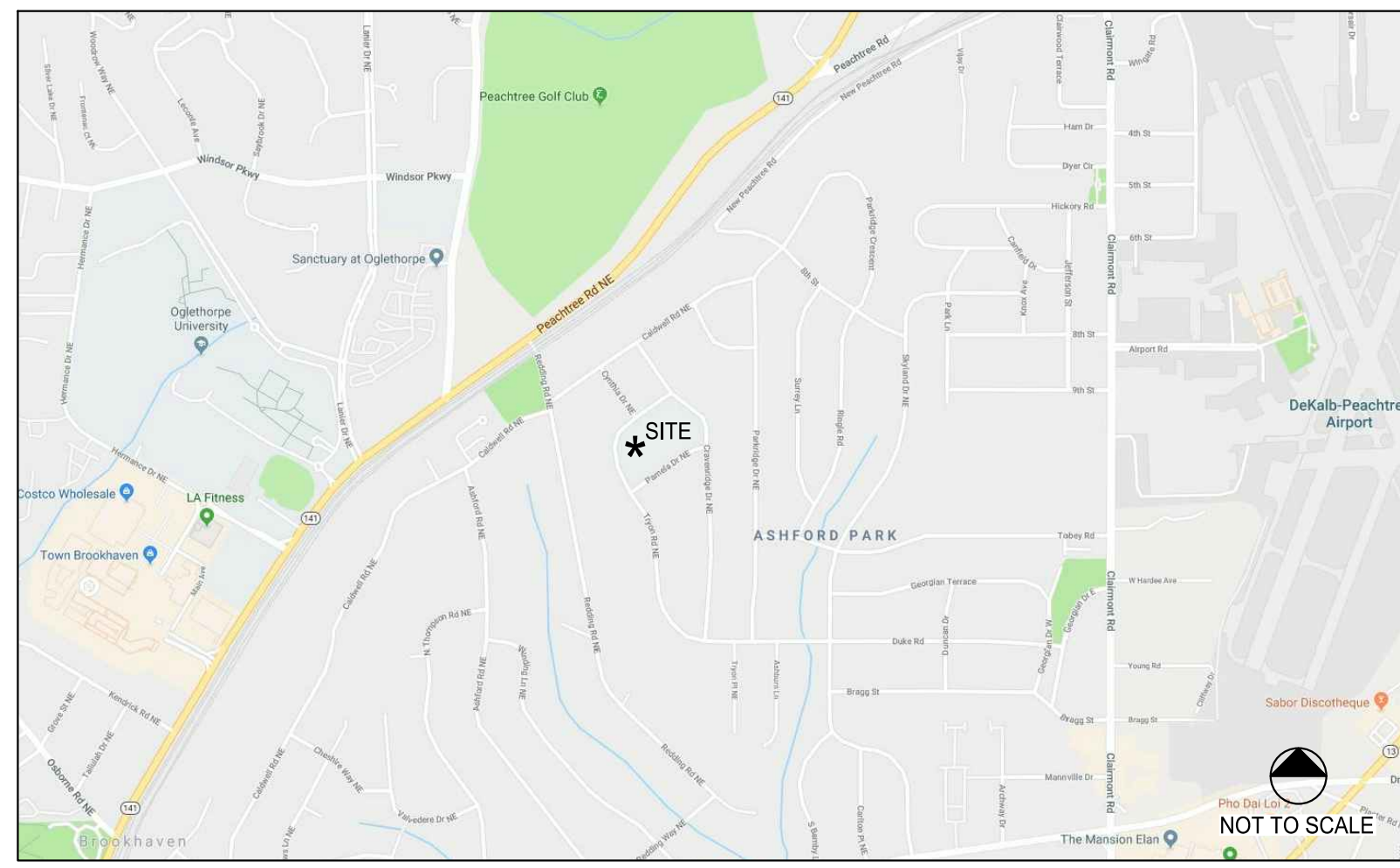
EXPORT SOIL MATERIAL:

- EXCESS CUT MATERIAL TO BE WASTED AT AREA DESIGNATED BY OWNER. PROPOSED LOCATION WILL BE AT BROOKHAVEN PUBLIC WORKS COMPOUND.

TURF GRADING NOTES:

- FINISH GRADE OF SYNTHETIC TURF SURFACE TO HAVE 0.5% MIN SLOPE AND 2.0% MAX SLOP.





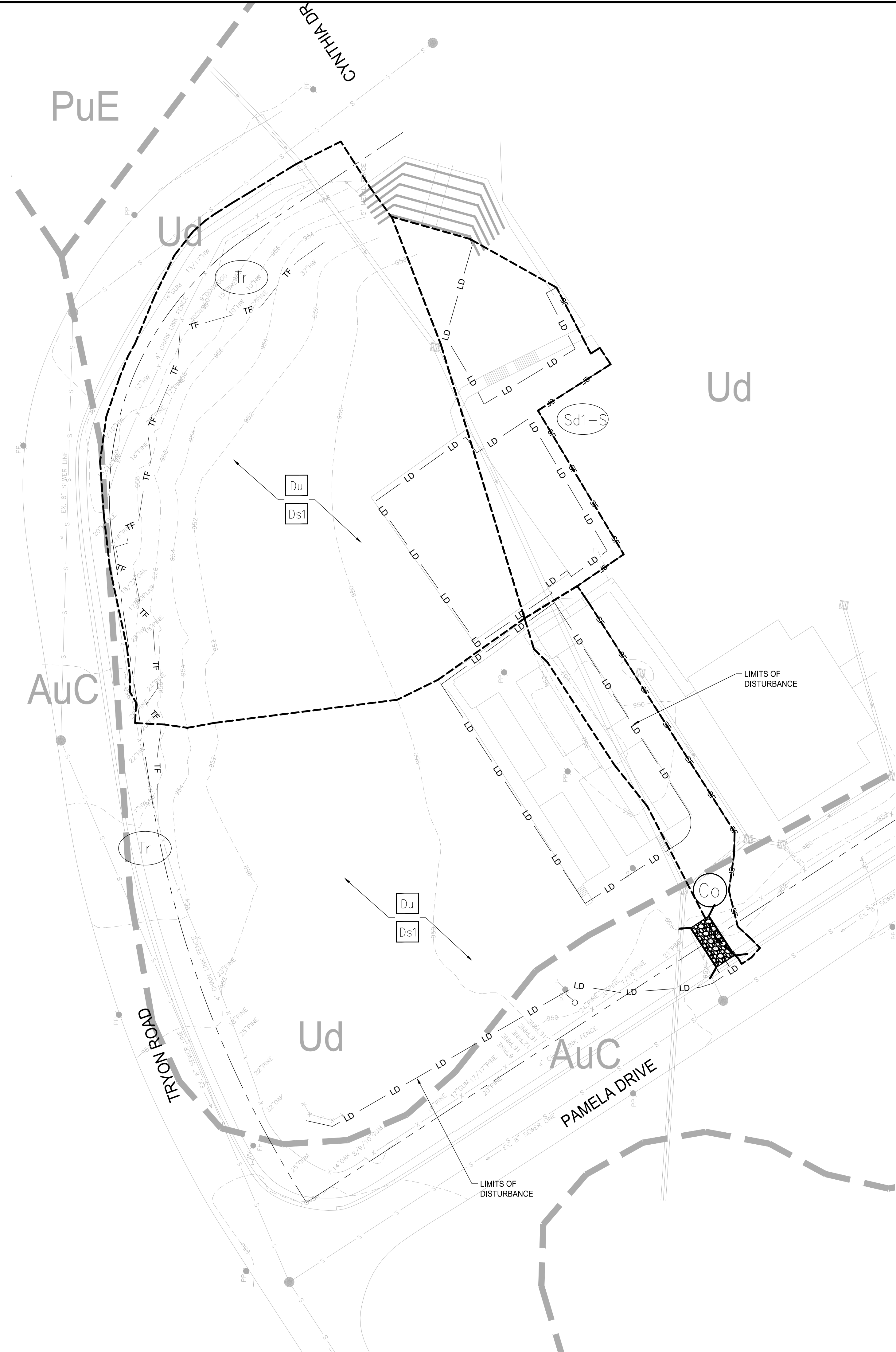
VICINITY MAP

SEDIMENT STORAGE WRITTEN RATIONALE: FOR SHEETFLOW LOCATIONS 1 AND 2, A TEMPORARY SEDIMENT BASIN IS NOT PROVIDED BECAUSE THE REQUIRED SEDIMENT STORAGE VOLUME FOR THE TOTAL DRAINAGE AREA IS PROVIDED (SUBSTANTIALLY EXCEEDED) BY THE TYPE C SILT FENCE AND CHECK DAMS. THE LOCATION OF THE TRAIL HAS BEEN SELECTED TO MINIMIZE THE ADDITIONAL DRAINAGE AREA FROM OFFSITE (UPSTREAM) FLOWS. THE TERRAIN DOES NOT PROVIDE A LOCATION TO OBTAIN MAXIMUM STORAGE BENEFIT AND EASE OF CLEAN-OUT OF ANY TRAPPED SEDIMENT. THERE ARE NO STORM PIPE DRAINAGE SYSTEMS TO DISCHARGE DIRECTLY INTO A SEDIMENT BASIN AS ALL THE RUNOFF IS TREATED THROUGH SHEET FLOW.

UNIFORM CODING SYSTEM FOR SOIL EROSION & SEDIMENT CONTROL PRACTICES

NOTE: 1. ALL PHASE 1 PRACTICES TO BE COMPLETED PRIOR TO ANY OTHER LAND DISTURBANCE ACTIVITIES. PHASE 2 PRACTICES TO BE IMPLEMENTED AS NEEDED DURING CONSTRUCTION. PHASE 3 PRACTICES TO BE IMPLEMENTED AS SOON AS CONSTRUCTION IS COMPLETE ON DIFFERENT ASPECTS OF THE PROJECT, NOT AT END OF ALL CONSTRUCTION ACTIVITIES FOR ENTIRE SITE. 2. ALL TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED FROM SITE AT COMPLETION OF PROJECT OR WHEN CONTRIBUTING DRAINAGE AREA ACHIEVES FINAL STABILIZATION. STORM DRAIN OUTLET PROTECTION TO REMAIN IN PERMANENT CONDITION. ALL OTHER EROSION CONTROL MEASURES ON THIS SHEET ARE TEMPORARY.

Legend for erosion control practices including symbols for Construction Exit (Co), Sediment Barrier (Sd1-S), Tree Protection Fence (Tr), Limits of Construction/Disturbance (LD), Dust Control (Du), Temporary Disturbed Area Stabilization (Ds1, Ds2, Ds4), Inlet Sediment Trap (Sd2-F), Slope Stabilization (Ss), and their respective codes (e.g., C2.90, C2.91).



EROSION CONTROL NOTES

- 1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. 2. DISTURBED AREAS LEFT IDLE FOR MORE THAN FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (DS2). MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION IMMEDIATELY UPON COMPLETION. 3. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. 4. MULCH WILL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS. 5. A CITY OF BROOKHAVEN LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET. 6. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE. 7. SEDIMENT AND EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE-HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED. 8. EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL AND SHALL COMPLY WITH THE STANDARDS/SPECIFICATIONS IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. 9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. 10. THE USE OF POLYMERS (PAMS) IS ACCEPTED AS A BMP AS RECOMMENDED BY THE STATE SOIL & WATER CONSERVATION COMMISSION BMP "GREEN BOOK". 11. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. 12. NO CLEARING OF THE SITE UNTIL ALL BASINS, DIVERSIONS, AND SEDIMENT CONTROLS ARE INSTALLED, STABILIZED, AND FUNCTIONAL. 13. LAND DISTURBANCE CANNOT BEGIN ON THE SITE UNTIL AFTER THE PRECONSTRUCTION CONFERENCE AND THE EROSION CONTROL INSPECTOR GIVES THE LDA PERMIT TO THE CONTRACTOR. PRESENT FOR THE PRECONSTRUCTION CONFERENCE SHALL BE: GENERAL CONTRACTOR, GRADING CONTRACTOR AND OWNER. THE DESIGN PROFESSIONAL MAY BE PRESENT AT THE DIRECTION OF THE OWNER.

SEEDING NOTE THIS CONTRACT

Ds2 SEED ALL DISTURBED AREAS (BOTH THOSE FROM PREVIOUS GRADING OPERATIONS, AND DISTURBANCES DURING THIS CONTRACT) NOT RECEIVING SPRIGGING OR SODDING (SEE LANDSCAPE PLANS) AS A PART OF THIS CONTRACT. THESE AREAS INCLUDE OPEN AREAS, DETENTION BASINS, AREAS OF FUTURE PAVING, PARKING LOTS, & ROADS. SEED SPECIES DEPEND UPON DATE OF COMPLETION. NOTE: IF AREAS ARE NOT TO BE PLANTED WITH OTHER MATERIAL (SEE LANDSCAPE PLANS) SEED TO BE BERMUDA GRASS @ 75 LBS/AC. IF SEEDING OCCURS OCT. - FEB., USE TEMPORARY SEEDING OF ANNUAL RYEGRASS @ 49 LBS/AC, TO BE FOLLOWED WITH BERMUDA MAR. - SEPT., APPLY STRAW MULCH, LIME, & FERTILIZER AS FOLLOWS. Ds3 UNIFORMLY SPREAD AGRICULTURAL LIME ON THE GROUND AT THE APPROXIMATE RATE DETERMINED BY THE LABORATORY SOIL TEST. UNIFORMLY SPREAD THE FERTILIZER SELECTED OVER THE GROUND AT APPROXIMATELY 1,200 LBS/ACRE (1350 KG/HA). IF USING A HIGHER ANALYSIS FERTILIZER WITH HYDROSEEDING, APPLY IT AT THE SAME RATE PER ACRE (HECTARE) AS THE STANDARD FERTILIZER. EVENLY APPLY STRAW MULCH IMMEDIATELY AFTER SEEDING BETWEEN 3/4 IN AND 1-1/2 IN (20 MM AND 40 MM) DEEP, ACCORDING TO THE TEXTURE AND MOISTURE CONTENT OF THE MULCH MATERIAL. MULCH SHALL ALLOW SUNLIGHT TO PENETRATE AND AIR TO CIRCULATE AS WELL AS SHADE THE GROUND, REDUCE EROSION, AND CONSERVE SOIL MOISTURE.

NRCS SOILS TYPE LEGEND: AuC APPLING-URBAN LAND COMPLEX, 2 TO 10 PERCENT SLOPES; PuE PACOLET-URBAN LAND COMPLEX, 10-25 PERCENT SLOPES; Ud URBAN LAND

TOTAL PROJECT AREA: ±7.02 AC; TOTAL DISTURBED AREA: ±1.66 AC

EXISTING USE: ELEMENTARY SCHOOL; PROPOSED USE: ELEMENTARY SCHOOL

LOSE DESIGN SPACES FOR LIFE.

THIS DRAWING AND THE DESIGN SHOWN BE THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND ANY EMPLOYEES IS SUBJECT TO LEGAL ACTION.



TURF FIELD CONVERSION ASHFORD PARK ELEMENTARY SCHOOL

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT GEORGIA BROOKHAVEN

SUBMITTALS / REVISIONS

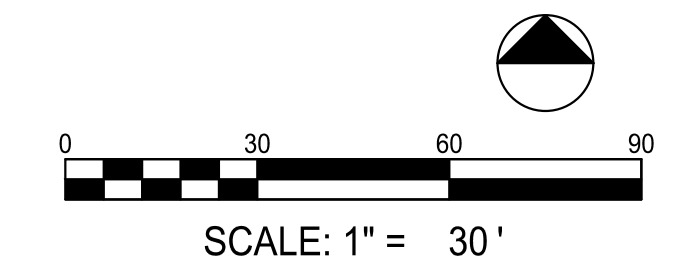
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SHEET TITLE

ESCP PHASE 1

Table with project details: PROJECT NO. 18081-1, DATE 08/13/2018, DRAWN BY LC, SCALE 1"=30', CHECKED BY MB, SHEET NO.

C2.10



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