

SITE NOTES:

- THE SITE CONTAINS: 9,389 SF / 0.216 ACRES
TOTAL DISTURBED AREA: 1,330 SF / 0.03 ACRES
- SITE ADDRESS: 2496 APPALACHEE DRIVE, BROOKHAVEN GA 30319
TAX PARCEL ID NUMBER: 18 238 13 013
- SURVEY INFORMATION IS TAKEN FROM SURVEY PERFORMED BY SCANLON ENGINEERING SERVICES, INC. DATED 8-31-21.
- THIS SITE IS NOT LOCATED WITHIN A SPECIAL HAZARD FLOOD ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0052K DATED AUGUST 15, 2019 FOR DEKALB COUNTY, GEORGIA.
- THERE ARE NO STATE WATERS WITHIN 200' OF WATER OF THE SUBJECT PROPERTY.
- THERE ARE NO EXISTING EASEMENTS THAT APPLY TO THIS PROPERTY.
- THIS PROJECT IS COMPLIANT WITH GRADE SEPARATION AND POSITIVE DRAINAGE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE R401.3, R403.1.7.3 AND R404.1.6.
- DRIVEWAY APRON TO MEET CITY OF BROOKHAVEN RESIDENTIAL DRIVEWAY STANDARD.
- THE EXISTING WATER METER AND SEWER LATERAL FOR THE SUBJECT PROPERTY IS TO BE USED FOR THE NEW CONSTRUCTION. EXACT LOCATION OF THE UTILITIES IS TO BE DETERMINED IN THE FIELD (NOT SHOWN ON SURVEY)
- WHERE EXISTING RUNOFF LEAVES SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL ALSO LEAVE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS THAT EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

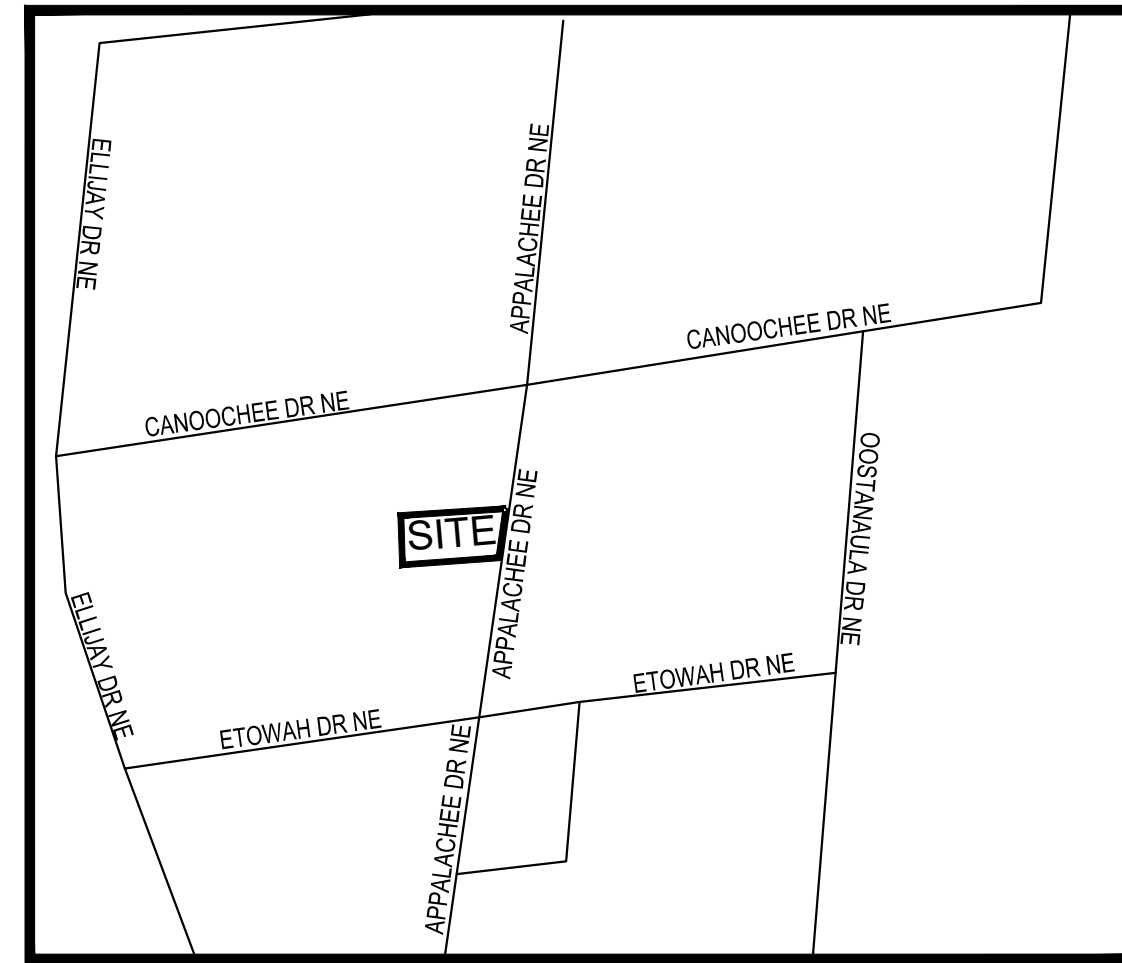
BROOKHAVEN CITY NOTES:

- GRADE TO DRAIN AWAY FROM FOUNDATION.
- ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
- ALL CONSTRUCTION MUST CONFORM TO CITY OF BROOKHAVEN STANDARDS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVED AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

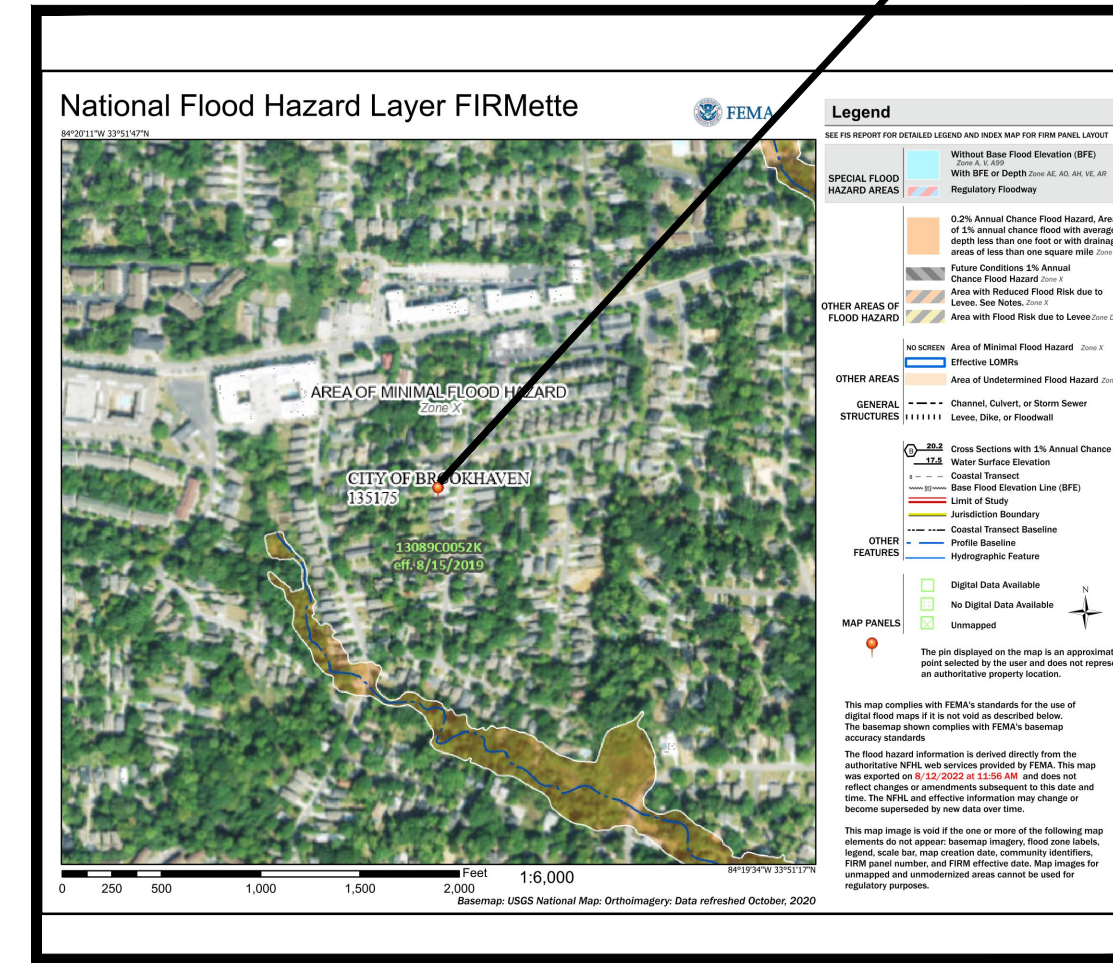
24 HOUR EMERGENCY CONTACT: SHANE AITHINSON 917-476-2522

CITY OF BROOKHAVEN SINGLE FAMILY ADDITION CONSTRUCTION DOCUMENTS FOR:

2496 APPALACHEE DRIVE LAND LOT 238 DISTRICT 18 CITY OF BROOKHAVEN, DEKALB COUNTY, GEORGIA



LOCATION MAP
N.T.S.



FEMA MAP
N.T.S.

ADDRESSING:

2496 APPALACHEE DRIVE
BROOKHAVEN, GA, 30319

ENGINEERS:

CRESCENT VIEW ENGINEERING, LLC
211 FRASIER ST. S.E.
MARIETTA, GEORGIA 30060
678-324-8410

CONSTRUCTION NARRATIVE:

THE PROPOSED PLANS CALL FOR THE CONSTRUCTION OF A POOL AND POOL DECK AT AN EXISTING HOUSE CONFORMING TO RS-75 ZONING. ALL PHASED EROSION CONTROL BMPS ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

ZONING CONFORMANCE:

SITE ZONING: RS-75 - DETACHED HOUSE
MINIMUM LOT SIZE: 10,000 SF
MINIMUM PRINCIPAL BUILDING SETBACKS
FRONT STREET SETBACK: 30 FEET
SIDE STREET SETBACK: 20 FEET
INTERIOR SIDE: 7.5 FEET
REAR SETBACK: 40 FEET
LOT FRONTAGE: 75 FEET
LOT COVERAGE: SHALL NOT EXCEED 35%
MINIMUM PARKING: 1 SPACE PER DWELLING
BUILDING HEIGHT: NO MORE THAN 40 FEET
MINIMUM ACCESSORY BUILDING & STRUCTURE SETBACKS
FRONT STREET SETBACK: PERMITTED IN REAR ONLY
SIDE STREET SETBACK: 20 FEET
INTERIOR SIDE: 10 FEET
REAR SETBACK: 10 FEET
ACCESSORY BUILDING HEIGHT: NO MORE THAN 20 FEET

"I CERTIFY UNDER THE PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION"

CERTIFIED BY

10-10-22
DATE

APPROVED VARIANCE AVR23-00001:

February 7, 2023

Shane Aitchinson
2496 Appalachee Drive
Brookhaven, GA 30319

VIA EMAIL: Shane Aitchinson shaneaithinson@gmail.com

AVR23-00001 Administrative Variances from Section 27.67(a) to reconfigure existing impervious coverage from 39.55% to 39.12% and Section 27.67(b) to reduce the accessory structure side setback from 10-feet to 5-feet for construction of a swimming pool and decking.

Dear Shane,

Please accept this letter as confirmation that the Community Development Department has reviewed your submittal for an administrative variance and that proper notice of the request was posted on the property for 15 days.

Your requests from Section 27.67(a) to reconfigure existing impervious coverage from 39.55% to 39.12% and Section 27.67(b) to reduce the accessory structure side setback from 10-feet to 5-feet has been approved subject to the following conditions:

- Development of the subject property shall occur in accordance with site plan stamped dated January 11, 2023 submitted to the Community Development Department.
- Owner/Developer shall install stormwater runoff reduction and water quality measures to account for the 387 square feet of post-construction impervious coverage in excess of 35.00%.

Should you have any questions or concerns, please do not hesitate to contact me at 404-637-0500 or Aronda.smith@BrookhavenGA.Gov.

Sincerely,

Aronda Smith
Planning and Zoning Manager

CITY OF BROOKHAVEN TREE PRESERVATION & REPLACEMENT PLAN NOTES:

THE DENSITY REQUIREMENTS SHOWN ON THE TREE PRESERVATION AND/OR REPLACEMENT PLAN(S) MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTACT THE CITY OF BROOKHAVEN AT (404) 637-0576 FOR A SITE INSPECTION

REQUIRED TREE CANOPY COVER LOST OVER TIME DUE TO NATURAL CAUSES, DISEASE, OR PESTS SHALL BE REPLACED DURING THE FIRST PLANTING SEASON AFTER THE LOSS OCCURS WITH THE SAME MATURE CANOPY SIZE POTENTIAL 2.5 INCH CALIPER TREE.

CANOPY COVER PRESERVED OR PLANTED TO MEET THE REQUIREMENTS OF TREE DENSITY SHALL BE CONSERVED ON THE SITE FOR THE FOLLOWING TIME PERIOD:
A. COMMERCIAL PROPERTIES IN PERPETUITY
B. RESIDENTIAL PROPERTIES FOR 5 YEARS THEN SHALL COMPLY WITH SECTION 14-39 (E) (1)

ALL TREE PROTECTION DEVICES INCLUDING A 2" LAYER OF MULCH AND AN APPLICATION OF A MYCORRHIZAL PRODUCT ON ALL SAVED TREES MUST BE INSTALLED AND INSPECTED PRIOR TO START OF ANY LAND DISTURBING ACTIVITY AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED AND CERTIFICATE OF OCCUPANCY IS ISSUED. CONTACT THE CITY OF BROOKHAVEN AT (404) 637-0576 FOR AN INSPECTION.

THE SITE CONTRACTOR SHALL COORDINATE SERVICES ROUTING ALL GAS, TELEPHONE AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.

FOR ANY BOUNDARY TREE THAT HAS ITS CRITICAL ROOT ZONE IMPACTED AND/OR ENCRoACHED MORE THAN 20% WITHOUT A PREVIOUSLY APPROVED CERTIFIED ARBORIST PRESCRIPTION, THE PERMITTEE SHALL EITHER DEPOSIT INTO AN ESCROW ACCOUNT, OR CAUSE TO BE ISSUED IN FAVOR OF THE CITY OF BROOKHAVEN, AN IRREVOCABLE LETTER OF CREDIT, IN AN AMOUNT TOTALING THE ESTIMATED COST OF REMOVAL OF THE BOUNDARY TREE PLUS THE COST TO REPLACE THE BOUNDARY TREE WITH A MINIMUM 3 INCH CALIPER TREE.

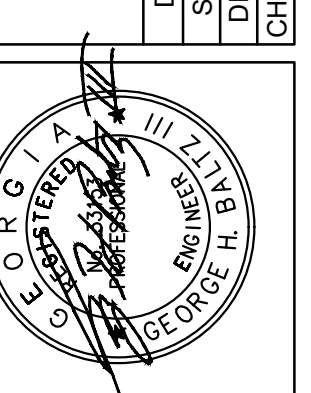
TREES WHICH PLANTED SHALL BE MAINTAINED FOR TWO (2) GROWING SEASONS AFTER THE DATE OF THE FINAL INSPECTION. THE PROPERTY OWNER SHALL MAINTAIN REQUIRED TREE DENSITY. THE PERMITTEE WILL BE RESPONSIBLE FOR IDENTIFYING NEWLY PLANTED TREES TO THE HOMEBUYER AND INFORM THE HOMEBUYER AS THEIR PROPER MAINTENANCE

SHEET NO.	SHEET TITLE
CV	COVER
S-1	SURVEY
D-1	DEMOLITION PLAN
C-1	SITE PLAN
C-2	STORMWATER MANAGEMENT PLAN
C-3	ES&PC PLAN
C-4	TREE PLAN
C-5	CONSTRUCTION DETAILS

Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Frasier Street
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

PREPARED FOR:
SHANE AITCHINSON
2496 APPALACHEE DRIVE
BROOKHAVEN, GA, 30319
917-476-2522
SHANEAITCHINSON@GMAIL.COM

COVER SHEET



CONSTRUCTION PLANS FOR:
2496 APPALACHEE DRIVE
LAND LOT 238, 18 DISTRICT
CITY OF BROOKHAVEN, DEKALB COUNTY, GA

CVE PI # 22-517

SHEET NO.
CV



The term "Certification" as used in Rule 180-6-.09(2) and (3) and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2(6) and (11), shall mean a signed statement based upon facts and knowledge known to the registrant and is not a guarantee or warranty, either expressed or implied.

This survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA) 15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.

THE UTILITIES SHOWN ON THIS PLAT WERE TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF THE SURVEY AND MAY OR MAY NOT BE ACCURATE AS TO THE EXTENT AND OR LOCATION OF SAID UTILITIES.

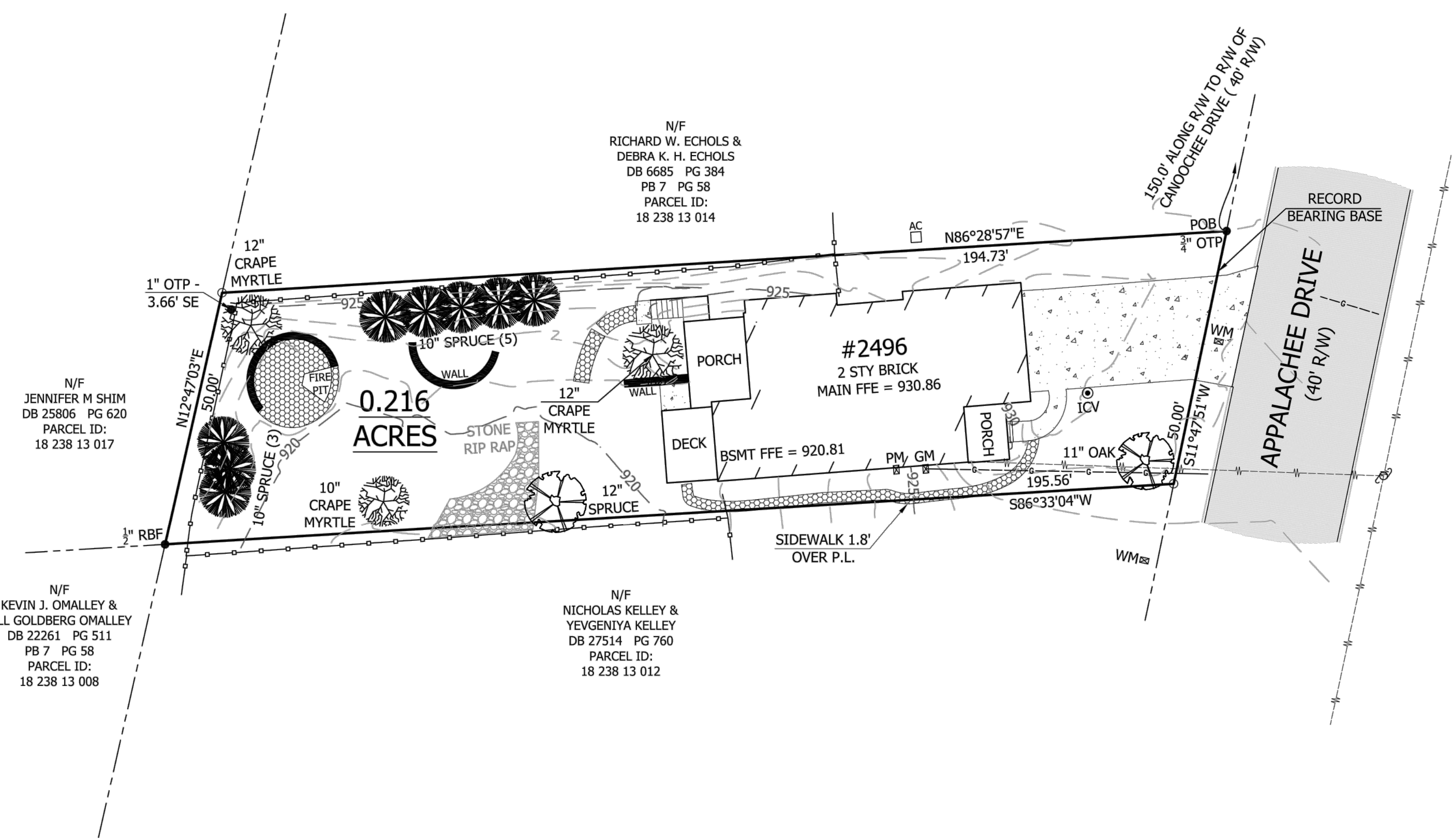
THIS SURVEYOR DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THIS PROPERTY ARE SHOWN.

SES

**ENGINEERING
PLANNING
SURVEYING**

"THIS DRAWING IS THE PROPERTY OF SCANLON ENGINEERING SERVICES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN, AND IS NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT, OR REPRODUCED IN WHOLE OR IN PART, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION."

SYMBOL LEGEND	
●	IRON PIN FOUND
○	1/2" REBAR SET
⊕	UTILITY POLE
☆	LIGHT POLE
⊕	FIRE HYDRANT
—x—x—	WIRE FENCE LINE
—o—o—	WOOD FENCE LINE
—ctv—	UNDERGROUND CABLE LINE
—w—w—	WATER LINE
—g—g—	GAS LINE
—d—d—	DITCH LINE
—o—o—	OVERHEAD POWER LINE
—	PROPERTY LINE
—	ADJACENT LOT LINE
—	LAND LOT LINE
▒	ASPHALT AREA
▒	CONCRETE AREA
▒	RIP RAP AREA
▒	STONE AREA



REFERENCES & NOTES

CURRENT OWNER:
BRIAN & ALLISON PEKLANSKY

DEEDS:
DB 25574 PG 231

PLATS:
PB 7 PG 58

PARCEL ID: 18 238 13 013

TOTAL IMPERVIOUS AREA: 3,330 S.F.

PLAT CERTIFICATION:

The field data, completed on 8/25/21, upon which this plat is based has a closure precision of one foot in 25,866 feet and an angular error of 03" per angle point and was unadjusted. This plat has been calculated for closure and is found to be accurate within one foot in 336,671 feet. The linear and angular measurements shown on this plat were obtained using a Geomax Robotic total station.



This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. section 15-6-67.

Mark A. Buckner 9/8/21
Mark A. Buckner GA RLS 2422 Date

BOUNDARY / AS-BUILT / TOPOGRAPHIC SURVEY FOR
SAMANTHA AITCHISON
LOCATED IN LAND LOT 238 OF THE 18th DISTRICT,
CITY OF BROOKHAVEN, DEKALB COUNTY, GEORGIA

Rev.	Description	Date
1		
2		
3		

Drawn by: JWS
Reviewed by: MAB
Date: 8/31/2021

Project #: S210421380
AutoCAD: S210421380
Appalachee Drive.dwg
Date: 8/31/2021



SHEET DESCRIPTION
BOUNDARY / AS-BUILT
/ TOPOGRAPHIC
SURVEY
SHEET NUMBER
678C
SHEET 1 OF 1

Z:\SES Projects\Misc-Surveying_042\2496 Appalachee Drive - Dekalb Co., S210421380\AutoCAD_S210421380\survey\2496-Appalachee Drive.dwg\Wednesday, September 8, 2021 9:48:39 AM

GENERAL DEMOLITION SCOPE:

BE ADVISED THIS IS NOT AN EXHAUSTIVE LIST OF DEMOLITION ITEMS. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND THE COMPLETE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. ANY QUESTIONS, CONCERNS, OR IDEAS CONCERNING THE INTENT OR EXECUTION OF THE DESIGN DOCUMENTS MUST BE BROUGHT TO THE OWNER BEFORE PERFORMING ANY CONSTRUCTION ACTIVITY.

- 1 REMOVE EXISTING STONE WALKWAYS
- 2 LOCATE AND PROTECT ALL EXISTING UTILITIES
- 3 EXISTING FIRE PIT TO REMAIN DURING DEMOLITION, BUT BE REMOVED DURING CONSTRUCTION TO PROTECT THE CRAPE MYRTLE TREE
- 4 EXISTING RIP RAP TO REMAIN DURING DEMOLITION, BUT BE REMOVED DURING CONSTRUCTION TO PROTECT THE SPRUCE TREE.

ALL ITEMS LOCATED WITHIN THE CRITICAL ROOT ZONE OF A TREE MUST BE REMOVED BY HAND, TO PROTECT THE ROOTS OF THE TREE.

DEMOLITION NOTES:

1. ALL LAND DISTURBANCE TO BE STABILIZED UPON COMPLETION OF DEMOLITION
2. ALL TREES SHOWN AS TO REMAIN TO HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE
3. ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
4. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
5. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
6. CALL FOR FINAL INSPECTION AT 404-637-0500
7. THERE ARE NO EXISTING EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS OR FLOODPLAIN BUFFER THAT APPLY TO THIS PROPERTY PER THE SURVEY.

PRE-CONSTRUCTION IMPERVIOUS AREA:

PRE-CONSTRUCTION IMPERVIOUS AREA	SF
HOUSE	1798
FRONT PORCH	86
REAR DECK	137
CONCRETE PADS	41
REAR PORCH	189
STAIRS	46
STONE WALKWAY	52
WALLS	50
STONE RIP RAP	186
FIRE PIT	258
FRONT WALKWAY	50
DRIVEWAY	690
SIDE WALKWAY	130
TOTAL EXISTING IMPERVIOUS AREA	3713
LOT COVERAGE %	39.55%

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3. THE SITE CONTRACTOR SHALL COORDINATE SERVICES ROUTING OF ALL GAS, TELEPHONE AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITIES STANDARDS AND SPECIFICATION AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.
4. TREE PROTECTION AND REPLACEMENT SHALL BE ENFORCED ACCORDING TO THE CITY OF BROOKHAVEN STANDARDS. ANY FIELD ADJUSTMENTS TO TREE PROTECTION DEVICE TYPES OR LOCATIONS OR SUBSTITUTIONS OF PLANT MATERIALS SHOWN ON THE APPROVED PLANS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY ARBORIST.
5. LABEL AT LEAST ONE REPLACEMENT TREE OF EACH VARIETY WITH A SECURELY ATTACHED, WATER-PROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

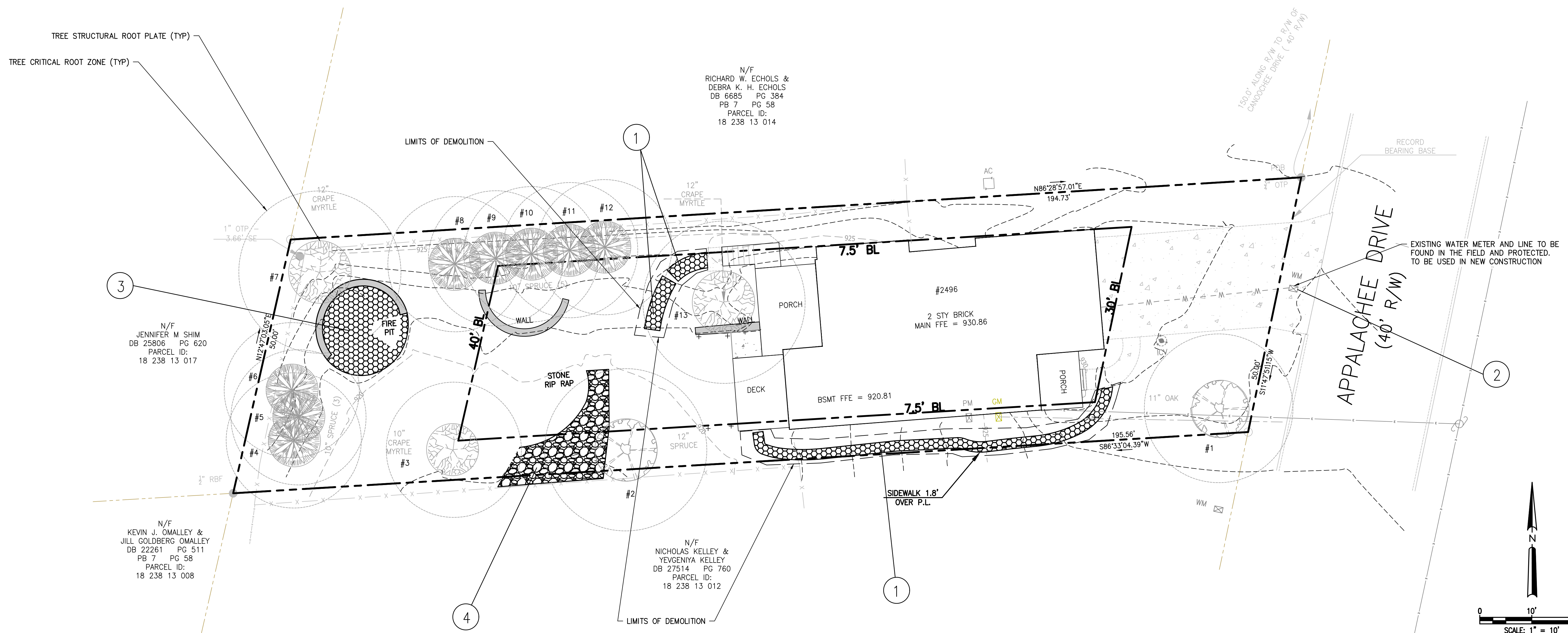
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SHANEAITCHINSON@GMAIL.COM

**NO TREES REMOVED OR DESTROYED AS
PART OF DEMOLITION**



DEMOLITION PLAN

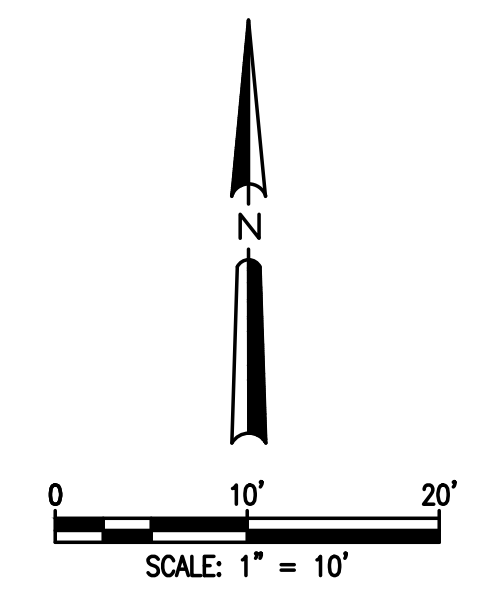
DATE	SCALE	DRAWN	CHECKED	REVISIONS
10-10-22	AS SHOWN	EF	GHB	12-21-22 / ARCH REVISIONS
				02-16-23 / APPROVED VARIANCE
				09-14-23 / UPDATED POOL LOCATION



CONSTRUCTION PLANS FOR:
2496 APPALACHEE DRIVE
LAND LOT 238, 18 DISTRICT
CITY OF BROOKHAVEN, DEKALB COUNTY, GA

CVE PI # 22-517

SHEET NO.
D-1



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- THERE ARE NO EXISTING EASEMENTS THAT APPLY TO THIS PROPERTY.
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- DRIVEWAY APRON TO MEET CITY OF BROOKHAVEN RESIDENTIAL DRIVEWAY STANDARD.
- THE EXISTING WATER METER AND SEWER LATERAL FOR THE SUBJECT PROPERTY IS TO BE USED FOR THE NEW CONSTRUCTION. EXACT LOCATION OF THE UTILITIES IS TO BE DETERMINED IN THE FIELD (NOT SHOWN ON SURVEY)
- WHERE EXISTING RUNOFF LEAVES SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL ALSO LEAVE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS THAT EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

POST-CONSTRUCTION LOT COVERAGE:

EXISTING IMPERVIOUS AREA TO REMAIN	SF
HOUSE	1798
FRONT PORCH	86
REAR DECK	137
CONCRETE PADS	41
REAR PORCH	189
STAIRS	46
WALLS	50
FRONT WALKWAY	50
DRIVEWAY	690
TOTAL REMAINING IMPERVIOUS AREA	3087
PROPOSED NEW IMPERVIOUS AREA	SF
PROPOSED POOL DECK	130
PROPOSED POOL	460
PROPOSED POOL EQUIPMENT	16
TOTAL NEW IMPERVIOUS AREA	606
TOTAL POST-CONSTRUCTION IMPERVIOUS AREA	3693
LOT COVERAGE %	39.33%

EXISTING LOT COVERAGE = 39.55%
PROPOSED LOT COVERAGE = 39.33%

THE PROPOSED LOT COVERAGE IS GREATER THAN THE MAXIMUM ALLOWED LOT COVERAGE IN RS-75 ZONING. SEE THE VARIANCE ON SHEET CV

ZONING CONFORMANCE:

SITE ZONING: RS-75 - DETACHED HOUSE

MINIMUM LOT SIZE: 10,000 SF

MINIMUM PRINCIPAL BUILDING SETBACKS

FRONT STREET SETBACK: 30 FEET

SIDE STREET SETBACK: 20 FEET

INTERIOR SIDE: 7.5 FEET

REAR SETBACK: 40 FEET

LOT FRONTAGE: 75 FEET

LOT COVERAGE: SHALL NOT EXCEED 35%

MINIMUM PARKING: 1 SPACE PER DWELLING

BUILDING HEIGHT: NO MORE THAN 40 FEET

MINIMUM ACCESSORY BUILDING & STRUCTURE SETBACKS

FRONT STREET SETBACK: PERMITTED IN REAR ONLY

SIDE STREET SETBACK: 20 FEET

INTERIOR SIDE: 10 FEET

REAR SETBACK: 10 FEET

ACCESSORY BUILDING HEIGHT: NO MORE THAN 20 FEET

BROOKHAVEN CITY NOTES:

- GRADE TO DRAIN AWAY FROM FOUNDATION.
- ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
- ALL CONSTRUCTION MUST CONFORM TO CITY OF BROOKHAVEN STANDARDS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS, THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

THIS PROJECT MEETS ALL REQUIREMENTS OF THE STORMWATER MANAGEMENT SECTION IN CHAPTER 14 (ARTICLE IV) OF THE BROOKHAVEN CODE OF ORDINANCES. SEE SHEET C-2 FOR STORMWATER PLAN.

**24 HOUR EMERGENCY CONTACT:
SHANE AITCHISON 917-476-2522**



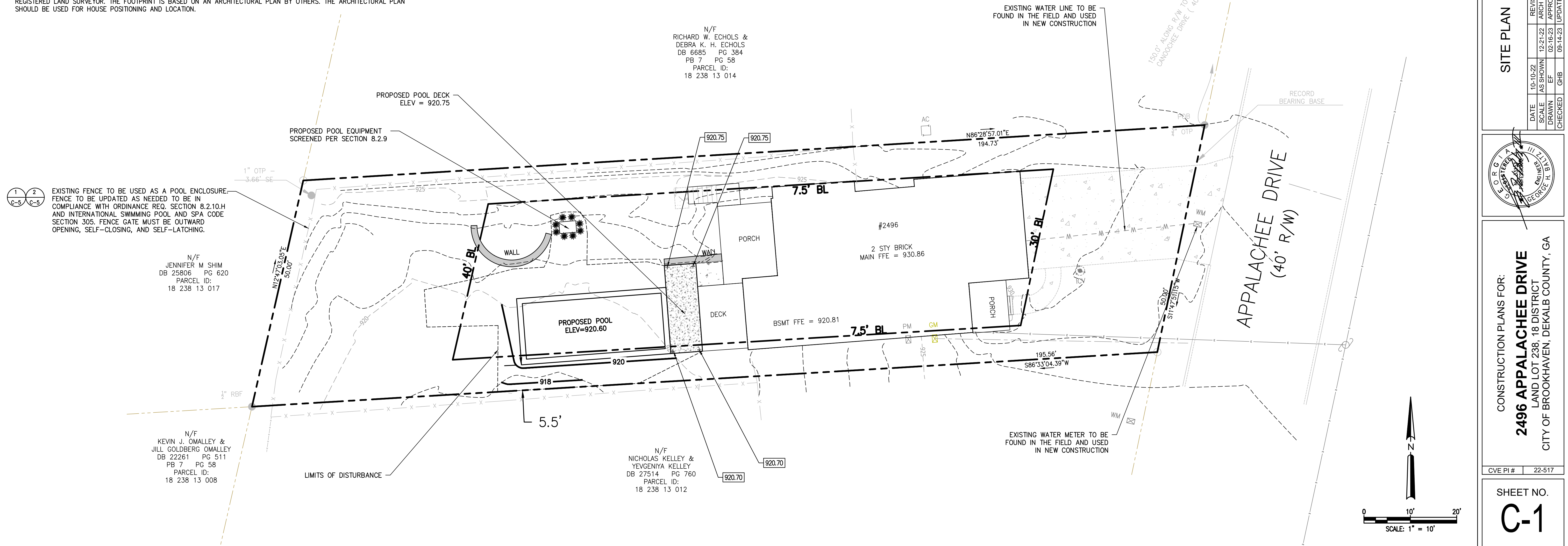
Know what's below.
Call before you dig.

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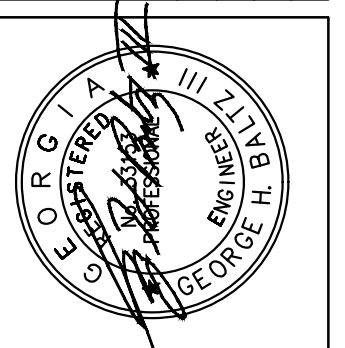
SEE APPROVED VARIANCE AVR23-00001 ON THE COVER SHEET

P&Z 03-27-24



SITE PLAN

DATE	SCALE	DRAWN	CHECKED	REVISIONS
10-10-22	AS SHOWN	EF	GHB	12-21-22 / ARCH REVISIONS
				02-16-23 / APPROVED VARIANCE
				09-14-23 / UPDATED POOL LOCATION



CONSTRUCTION PLANS FOR:
2496 APPALACHEE DRIVE
LAND LOT 238, 18 DISTRICT
CITY OF BROOKHAVEN, DEKALB COUNTY, GA

CVE PI # 22-517

SHEET NO.
C-1

WATER QUALITY CALCULATIONS:

IMPERVIOUS AREA CALCULATIONS			
Site Location	Square Footage (Sq. Ft.)	Not/Treated	BMP
EX HOUSE	1798	NOT TREATED	N/A
EX FRONT PORCH	86	NOT TREATED	N/A
EX REAR DECK	137	NOT TREATED	N/A
EX CONCRETE PADS	41	NOT TREATED	N/A
EX REAR PORCH	189	NOT TREATED	N/A
EX STAIRS	46	NOT TREATED	N/A
EX WALLS	50	NOT TREATED	N/A
EX FRONT WALKWAY	50	NOT TREATED	N/A
EX DRIVEWAY	690	NOT TREATED	N/A
PROPOSED POOL DECK	130	TREATED	MFD
PROPOSED POOL	460	TREATED	MFD
PROPOSED POOL EQUIPEMENT	16	TREATED	MFD
Total Proposed Impervious Area	3,693	SF	
Total Treated Impervious Area	606	SF	

Water Quality Calculations Per GSWMM

Water Quality Volume

Drainage Basin = 0.22 Acres
 Impervious Area = 0.01 Acres
 I = % impervious = 7 %

$R_v = 0.05 + I \cdot (0.009)$
 $R_v = 0.113$

$WQ_v = R_v \cdot (DA \cdot 43560) / 12$
 $WQ_v = 88 \text{ cu. ft.}$

Stone Storage Trench with Pipe Calculations

Treated Impervious Area = 606 SF
 Required Water Quality Volume = 88.4 CF

Pipe Volume

Length of Pipe = 10.0 FT
 Diameter of Pipe = 1.5 FT
 Volume of Pipe = 17.7 CF

All Volume to be provided in Underground Stone Storage Trench with 40% void ratio

Gravel Volume

Length of Trench = 10.0 FT
 Width of Trench = 5.0 FT
 Depth of Trench = 5.0 FT
 Volume of Gravel = ((L x W x D) - Pipe Vol) x 0.4 = 92.9 CF

Provided Volume = Gravel Vol + Pipe Vol = 110.6 CF OF STORAGE
 Required Volume = 88.4 CF OF STORAGE
 Percent of volume provided over required = 125%

Provided Volume is Greater than Required Volume

STORMWATER DESCRIPTION:

TOTAL IMPERVIOUS AREA FOR THE SITE IS 3,693 SQUARE FEET. WATER QUALITY IS PROVIDED FOR THE NEW IMPERVIOUS AREA OF 606 SF, WHICH INCLUDES THE PROPOSED POOL AND POOL DECK. SEE LOT COVERAGE CHART FOR DETAILS.

THE STONE STORAGE TRENCH WITH A 1.5 FT PIPE WILL DETAIN FOR A TOTAL OF 606 SF OF IMPERVIOUS AREA, AS MENTIONED ABOVE. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO). THE TOTAL REQUIRED VOLUME OF THE TRENCH IS 88.4 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE TRENCH IS 110.6 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM THE STRUCTURES AND PROPERTY LINES. THE BOTTOM OF THE TRENCH IS 5 FT DEEP.

THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE WQ STORAGE REQUIREMENTS.

WATER QUALITY NOTES :

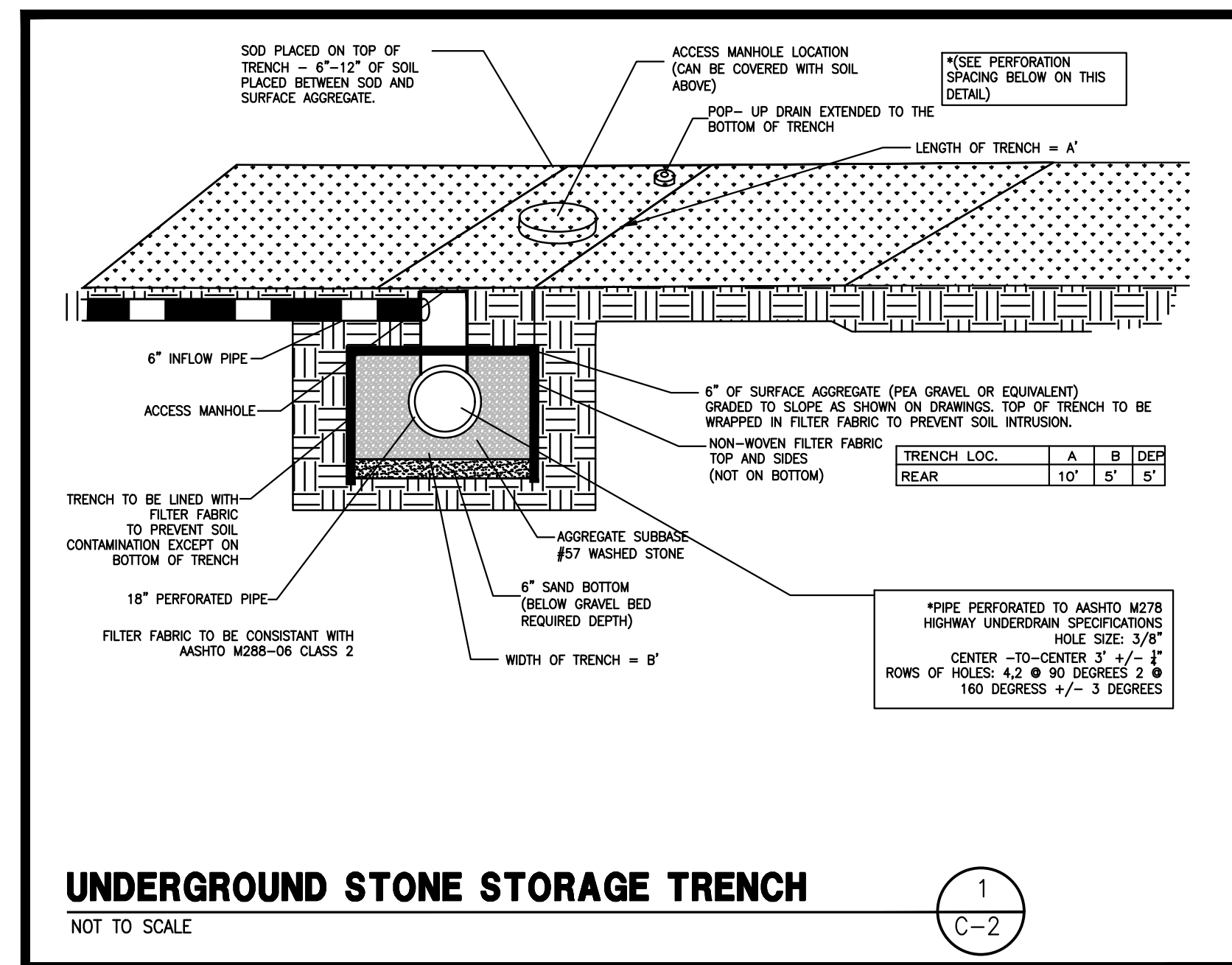
VEGETATION
 THE TRENCH IS NORMALLY COVERED WITH TOPSOIL AND MANAGED TURF OR OTHER HERBACEOUS VEGETATION. AS AN ALTERNATIVE, THE AREA ABOVE THE SURFACE OF A TRENCH MAY BE COVERED WITH PEA GRAVEL (OR LARGER DEPENDING ON THE INFLOW RATES) TO ALLOW FOR INCIDENTAL LATERAL INFLOW ALONG THE EDGE OF GROUND LEVEL IMPERVIOUS SURFACES. THE DOWNSTREAM END OF THE PIPE MUST BE STABILIZED AND CAN BE LANDSCAPED FOR AESTHETICS.

MAINTENANCE

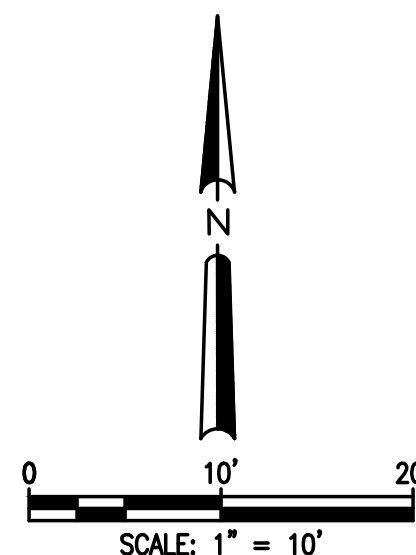
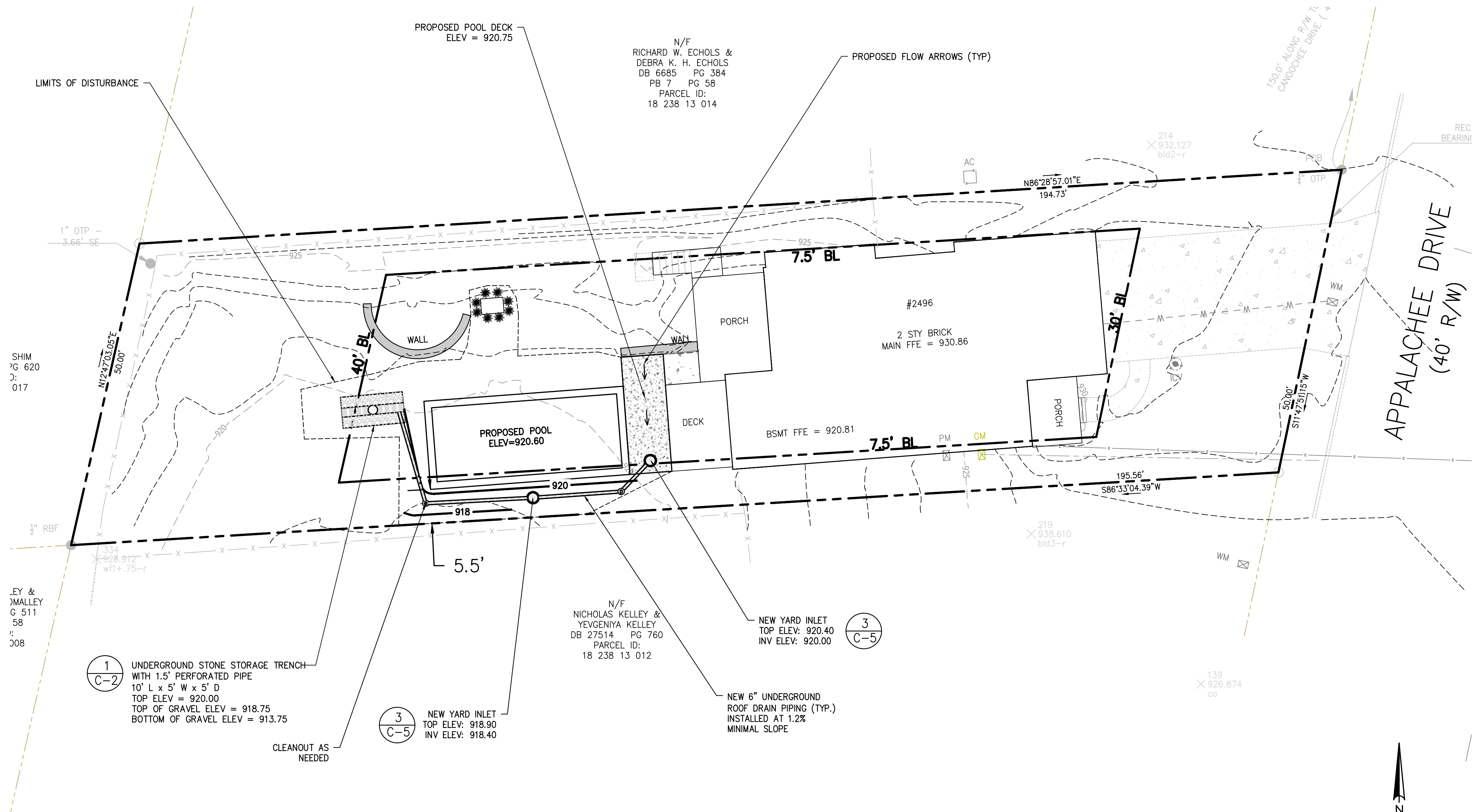
- INSPECT GUTTERS AND DOWNSPOUTS REMOVING ACCUMULATED LEAVES AND DEBRIS, CLEANING LEAF REMOVAL SYSTEM(S).
- IF APPLICABLE, INSPECT PRETREATMENT DEVICES FOR SEDIMENT ACCUMULATION.
- INSPECT TRENCH FOLLOWING A LARGE RAINFALL EVENT TO INSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING PROBLEMS.

CONSTRUCTION STEPS

- REVIEW POTENTIAL TRENCH AREAS AND LAYOUT. TRENCH SHOULD SLOPE BETWEEN 0.5% AND 6% AWAY FROM THE STRUCTURE AND SHOULD NOT BE LOCATED: (1.) BENEATH AN IMPERVIOUS (PAVED) SURFACE; (2.) ABOVE AN AREA WITH A WATER TABLE OR BEDROCK LESS THAN TWO FEET BELOW THE TRENCH BOTTOM; (3.) OVER OTHER UTILITY LINES; OR (4.) ABOVE A SEPTIC FIELD. INSURE OUTLET DAYLIGHTS AT LEAST TEN FEET FROM PROPERTY LINE.
- IF SOIL IS A CONCERN PERFORM INFILTRATION TEST. IF THE RATE IS LESS THAN 0.25 IN/HR THIS METHOD CANNOT BE USED. IF THE RATE IS MORE THAN 0.50 IN/HR THE LENGTH OF THE DITCH MAY BE DECREASED 10% FOR EVERY 0.50 IN/HR INFILTRATION RATE INCREASE ABOVE 0.50 IN/HR.
- MEASURE ELEVATIONS AND LAY OUT THE TRENCH TO THE REQUIRED DIMENSIONS MARKING THE ROUTE AND REQUIRED EXCAVATION DEPTHS. OFTEN A LEVEL LINE (TORPEDO LEVEL) IS USED.
- PLACE AND TAMP GRAVEL IN DITCH TO PLANNED DEPTH PLACING THE PIPE THREE INCHES DEEP IN THE UPPER PORTION OF THE GRAVEL, THEN PLACE AND GENTLY TAMP GRAVEL UNTIL IT COVERS THE PIPE.
- PLACE DRAINAGE FABRIC OVER TOP OF PIPE AND STONE.
- PLACE TOPSOIL AND SOD OR PEA GRAVEL.
- CUT AND ROUTE DOWNSPOUTS OR OTHER RAINWATER DELIVERY COMPONENTS. ADD STRAP AND SUPPORT AS NEEDED.
- CREATE A SAFE OVERFLOW AT LEAST 10 FEET FROM YOUR PROPERTY EDGE AND INSURE IT IS PROTECTED FROM EROSION.



P&Z 03-27-24



**24 HOUR EMERGENCY CONTACT:
 SHANE AITCHISON 917-476-2522**

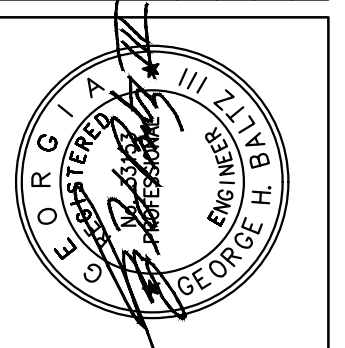
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STORMWATER PLAN

DATE	REVISIONS
10-10-22	AS SHOWN
12-21-22	ARCH REVISIONS
02-16-23	APPROVED VARIANCE
09-14-23	UPDATED POOL LOCATION

CHECKED: GHB
 DATE: 09-14-23



CONSTRUCTION PLANS FOR:
2496 APPALACHEE DRIVE
 LAND LOT 238, 18 DISTRICT
 CITY OF BROOKHAVEN, DEKALB COUNTY, GA

CVE PI # 22-517
 SHEET NO.
C-2

TREE LIST:

ON SITE	
TREE LIST - ONSITE-PRIOR TO CONSTRUCTION	
TOTAL TREES	13
TOTAL INCHES	137
TOTAL UNITS	41.60
LOST TREES - (NON SPECIMEN TREES)	
Size(Inches)	Type
12	SPRUCE
TOTAL TREES	1
TOTAL INCHES	12
TOTAL UNITS	3.20
TREES SAVED WITH LESS THAN 20% IMPACT	
Size(Inches)	Type
10	CRAPE MYRTLE
12	CRAPE MYRTLE
10	SPRUCE
10	SPRUCE
TOTAL TREES	4
TOTAL INCHES	42
TOTAL UNITS	12.80
TREES SAVED WITH NO IMPACT	
Size(Inches)	Type
11	OAK
12	CRAPE MYRTLE
10	SPRUCE
10	SPRUCE
10	SPRUCE
10	SPRUCE
10	SPRUCE
10	SPRUCE
TOTAL TREES	8
TOTAL INCHES	83
TOTAL UNITS	25.60
SPECIMEN TREES IMPACTED(>20%)	
Size(Inches)	Type
N/A	N/A
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0.00
BOUNDARY TREES LOST/DESTROYED	
SPECIMEN TREES IMPACTED - BOUNDARY	
Size (Inches)	Type
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0
LOST/DESTROYED TREES - BOUNDARY	
Size (Inches)	Type
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0
ONSITE TREE REQUIREMENT CALCULATIONS	
SITE DENSITY REQUIRED = 130' X 0.216 ACRES = 20.8'	
137" - 12" = 125" (DBH TO REMAIN) > 20.8" (REQUIRED)	
MINIMUM TREE DENSITY REQUIREMENT MET WITH EXISTING TREES TO REMAIN	

FRONT YARD TREES:

PER SEC 14-51(6)a, THERE SHALL BE AT LEAST TWO FRONT YARD TREES ON A SINGLE FAMILY RESIDENTIAL PROPERTY WHERE THE LOT FRONTAGE WIDTH IS BETWEEN 40 AND 70 FEET.

THIS PROPERTY HAS A FRONTAGE WIDTH OF 50 FT, THEREFORE, TWO (2) FRONT YARD TREES ARE REQUIRED. THERE IS ONE EXISTING FRONT YARD TREE, SO ONE FRONT YARD TREE IS PROPOSED TO BE PLANTED TO MEET THE REQUIREMENT.

FRONT YARD TREE REPLACEMENT LEGEND:

 3" SOUTHERN SUGAR MAPLE - 1 QTY

NO MACHINE TRENCHING THROUGH CRITICAL ROOT ZONE. HAND-DIG WHERE SILTS FENCE (SD-1) CROSSES THE CRITICAL ROOT ZONE OF ANY TREE. ROOT PRUNE AS NEEDED ACCORDING TO ISA/ANSI PROFESSIONAL STANDARDS

CITY OF BROOKHAVEN TREE PRESERVATION & REPLACEMENT PLAN NOTES:

THE DENSITY REQUIREMENTS SHOWN ON THE TREE PRESERVATION AND/OR REPLACEMENT PLAN(S) MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. CONTACT THE CITY OF BROOKHAVEN AT (404) 637-0576 FOR A SITE INSPECTION

REQUIRED TREE CANOPY COVER LOST OVER TIME DUE TO NATURAL CAUSES, DISEASE, OR PESTS SHALL BE REPLACED DURING THE FIRST PLANTING SEASON AFTER THE LOSS OCCURS WITH THE SAME MATURE CANOPY SIZE POTENTIAL 2.5 INCH CALIPER TREE.

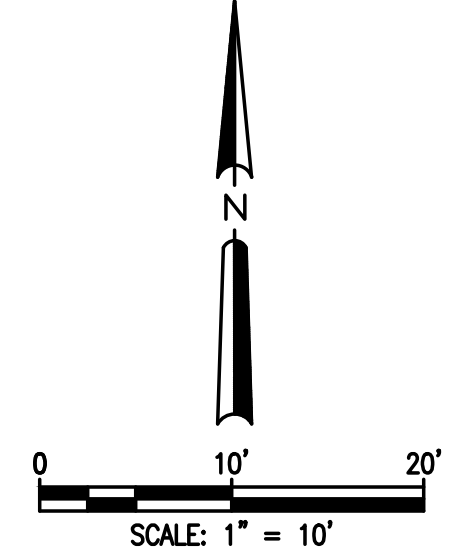
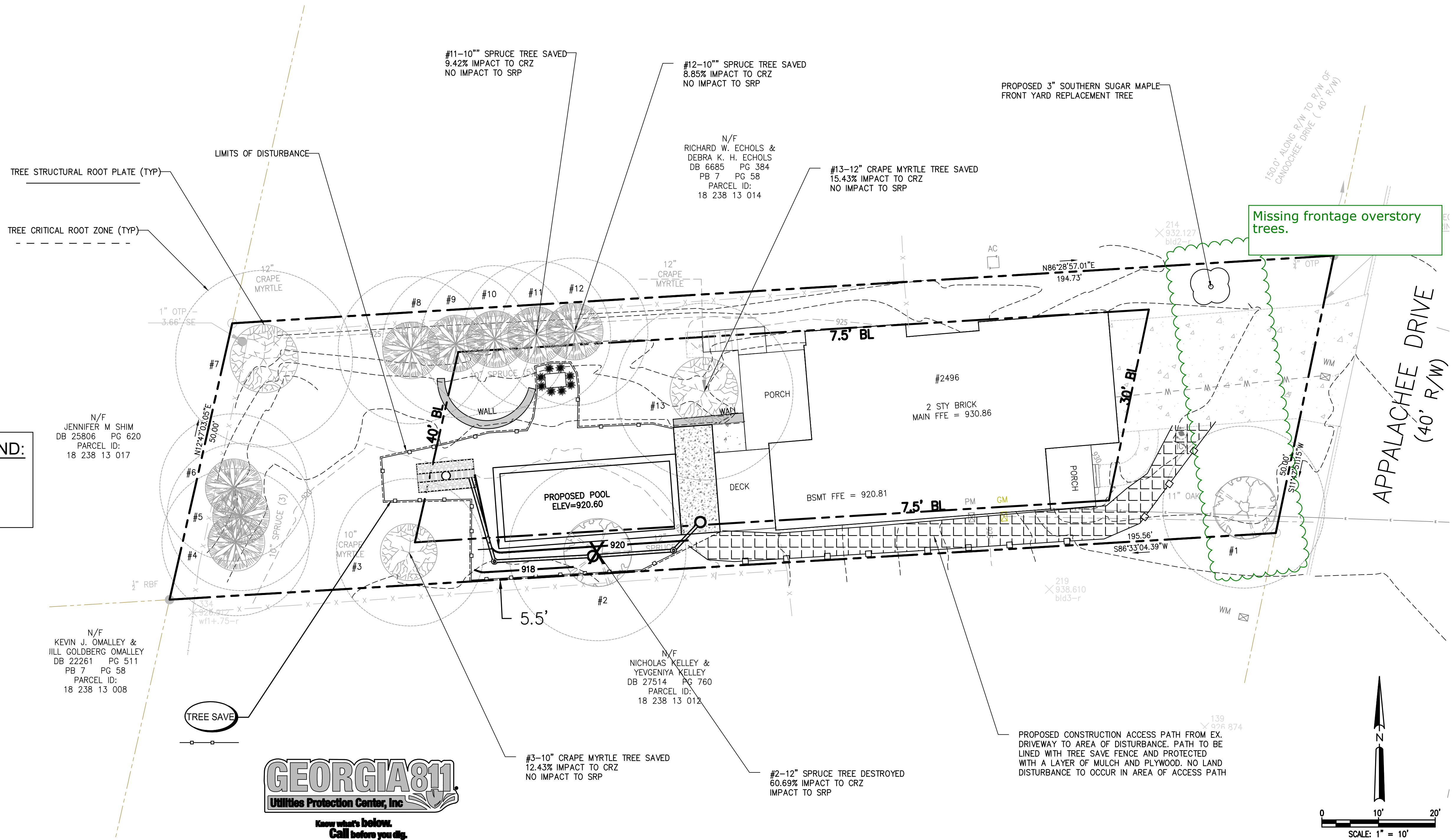
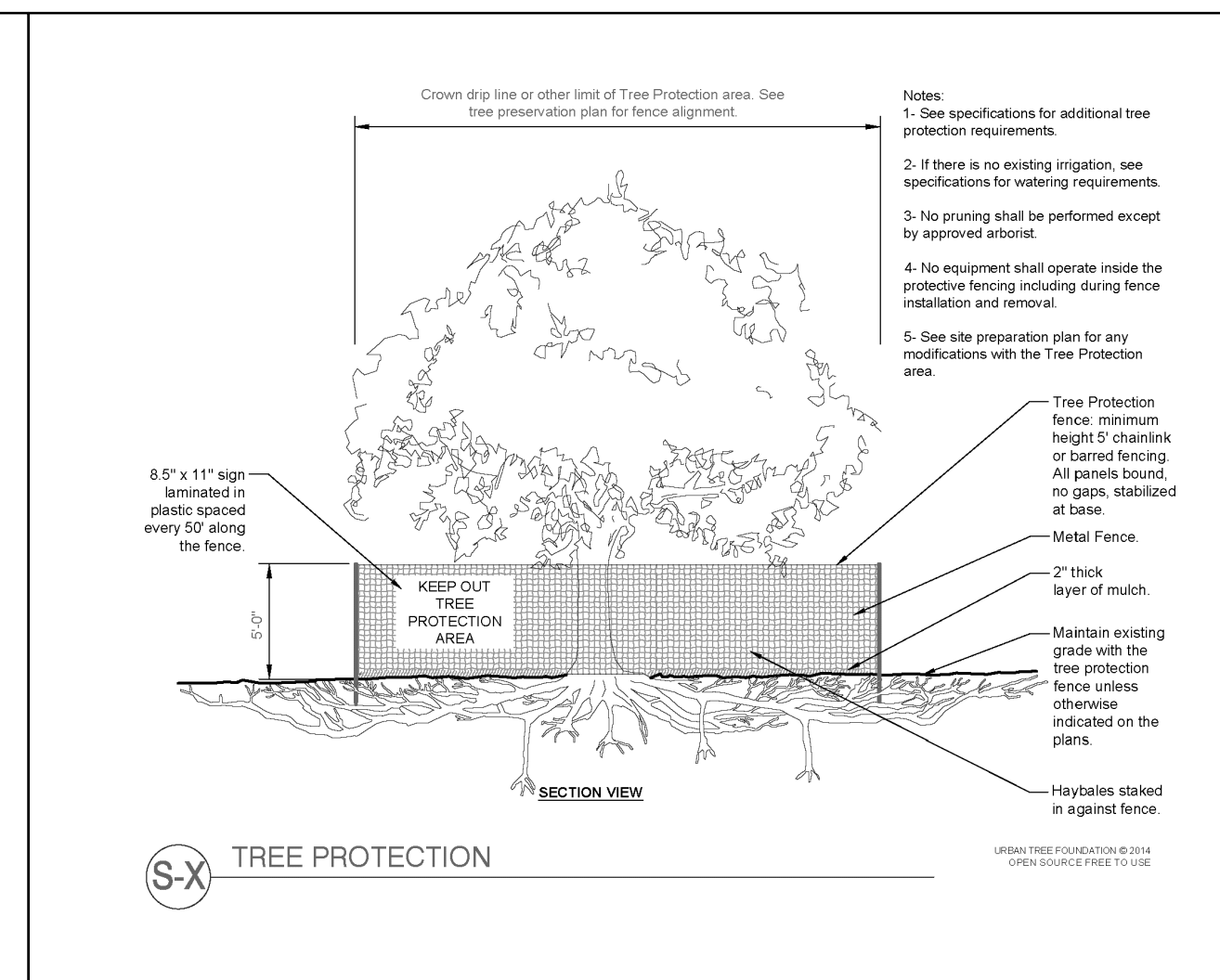
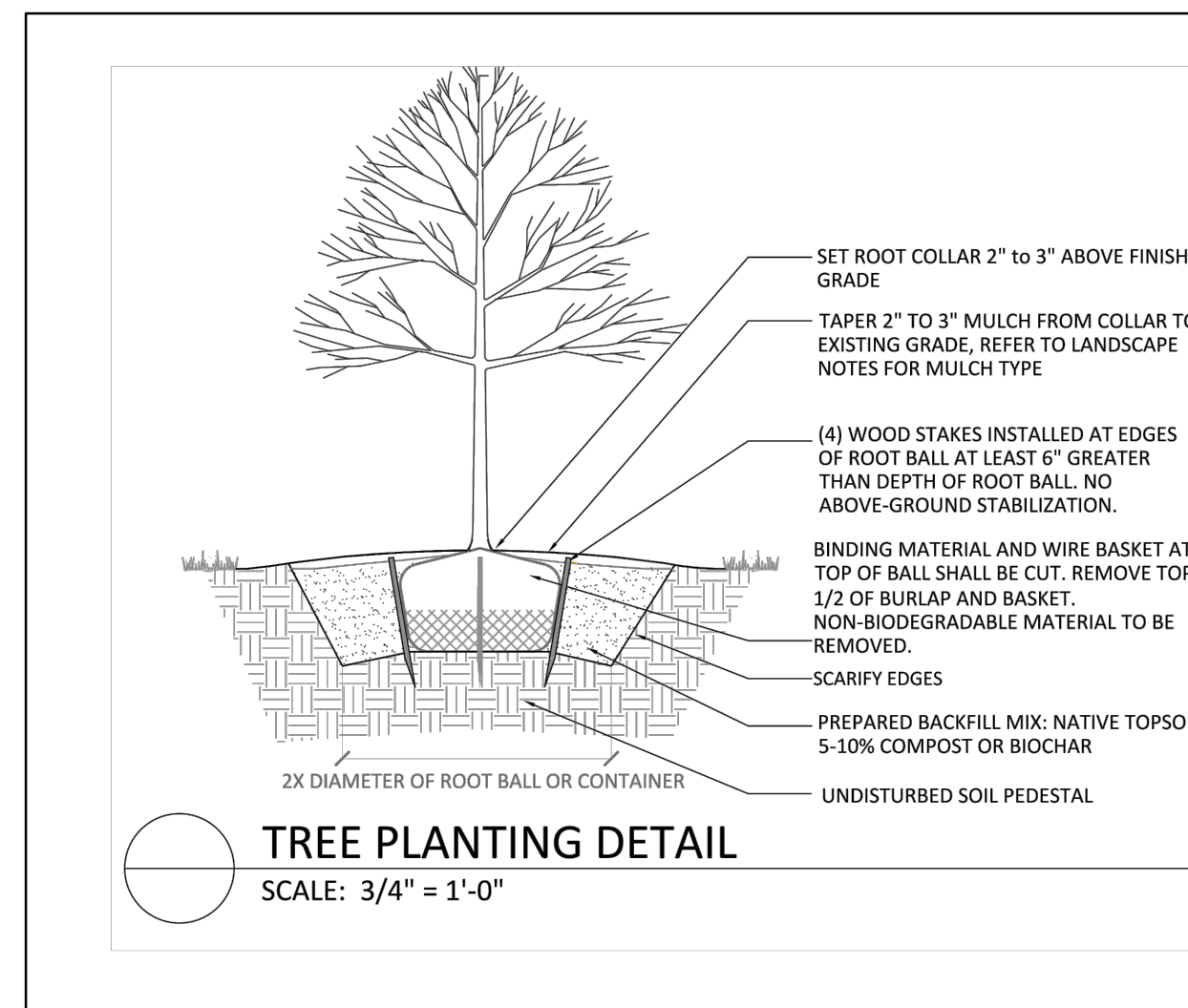
CANOPY COVER PRESERVED OR PLANTED TO MEET THE REQUIREMENTS OF TREE DENSITY SHALL BE CONSERVED ON THE SITE FOR THE FOLLOWING TIME PERIOD:
A. COMMERCIAL PROPERTIES IN PERPETUITY
B. RESIDENTIAL PROPERTIES FOR 5 YEARS THEN SHALL COMPLY WITH SECTION 14-39 (E) (1)

ALL TREE PROTECTION DEVICES INCLUDING A 2" LAYER OF MULCH AND AN APPLICATION OF A MYCORRHIZAL PRODUCT ON ALL SAVED TREES MUST BE INSTALLED AND INSPECTED PRIOR TO START OF ANY LAND DISTURBING ACTIVITY AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED AND CERTIFICATE OF OCCUPANCY IS ISSUED. CONTACT THE CITY OF BROOKHAVEN AT (404) 637-0576 FOR AN INSPECTION.

THE SITE CONTRACTOR SHALL COORDINATE SERVICES ROUTING ALL GAS, TELEPHONE AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.

FOR ANY BOUNDARY TREE THAT HAS ITS CRITICAL ROOT ZONE IMPACTED AND/OR ENCRoACHED MORE THAN 20% WITHOUT A PREVIOUSLY APPROVED CERTIFIED ARBORIST PRESCRIPTION, THE PERMITEE SHALL EITHER DEPOSIT INTO AN ESCROW ACCOUNT, OR CAUSE TO BE ISSUED IN FAVOR OF THE CITY OF BROOKHAVEN, AN IRREVOCABLE LETTER OF CREDIT, IN AN AMOUNT TOTALING THE ESTIMATED COST OF REMOVAL OF THE BOUNDARY TREE PLUS THE COST TO REPLACE THE BOUNDARY TREE WITH A MINIMUM 3 INCH CALIPER TREE.

TREES WHICH PLANTED SHALL BE MAINTAINED FOR TWO (2) GROWING SEASONS AFTER THE DATE OF THE FINAL INSPECTION. THE PROPERTY OWNER SHALL MAINTAIN REQUIRED TREE DENSITY. THE PERMITEE WILL BE RESPONSIBLE FOR IDENTIFYING NEWLY PLANTED TREES TO THE HOMEBUYER AND INFORM THE HOMEBUYER AS THEIR PROPER MAINTENANCE



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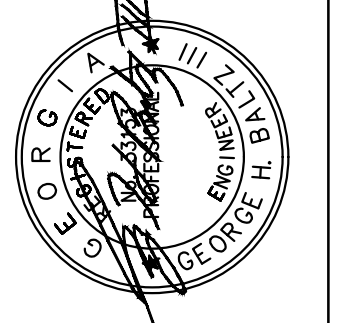
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TREE PLAN

DATE	REVISIONS
10-10-22	AS SHOWN
12-21-22	ARCH REVISIONS
02-16-23	APPROVED VARIANCE
09-14-23	UPDATED POOL LOCATION

CHECKED: GHB



CONSTRUCTION PLANS FOR:
2496 APPALACHEE DRIVE
LAND LOT 238, 18 DISTRICT
CITY OF BROOKHAVEN, DEKALB COUNTY, GA

CVE PI # 22-517

SHEET NO.
C-4

APPLICATION OF MULCH

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SANDUST APPLIED TO DEPTH OF 2 - 3 INCHES

Ds1

DUST CONTROL ON DISTURBED AREAS

SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS.
CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED
TEMPORARY METHODS: D1-MULCHING, D2-TRUCKERS AND DRIVERS, D3-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION
PERMANENT METHODS: D4-PERMANENT VEGETATION, D5-SODDING

Du

24 HOUR EMERGENCY CONTACT:
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CONSTRUCTION DETAILS

DATE	10-10-22	REVISIONS	
SCALE	AS SHOWN	ARCH REVISIONS	
DRAWN	EF	APPROVED VARIANCE	
CHECKED	GHB	UPDATED POOL LOCATION	

CONSTRUCTION PLANS FOR:
2496 APPALACHEE DRIVE
LAND LOT 238, 18 DISTRICT
CITY OF BROOKHAVEN, DEKALB COUNTY, GA

CVE PI # 22-517

SHEET NO.

C-5

SPECIES	BROADCAST RATES 1/2-PLS. 2/ PER ACRE	RESOURCE AREA 3/ PER 1000 SQ. FT.	PLANTING DATES BY RESOURCE AREAS												REMARKS	
			F	M	A	M	J	J	A	S	O	N	D			
BARLEY (HORDEUM VULGARE)	3 bu. (144 lb.)	3.3 lb. (24 lbs.)														14,000 SEED PER POUND. WINTERHARDY. USE ON PRODUCTIVE SOILS.
ALONE																
IN MIXTURES																
LESPEDEZA ANNUAL (LESPEDEZA STRATA)	40 lbs. (160 lb.)	0.9 lb. (7.2 lbs.)														200,000 SEED PER POUND. WINTERHARDY. USE FOR SEVERAL YEARS. USE INOCULANT EL.
ALONE																
IN MIXTURES																
LOVEGRASS, WEEPING (ERAGROSTIS CURVULA)	4 lbs. (16 lb.)	0.1 lb. (0.8 lb.)														1,500,000 SEED PER POUND. LAST FOR SEVERAL YEARS. MIX WITH SERICIA LESPEDEZA.
ALONE																
IN MIXTURES																
MILLET, BROWN TOP (Panicum fasciculatum)	40 lbs. (160 lb.)	0.9 lb. (7.2 lbs.)														137,000 SEED PER POUND. QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN MIXTURES. SEED AT HIGH RATES.
ALONE																
IN MIXTURES																

TEMPORARY GRASSING

NOT TO SCALE

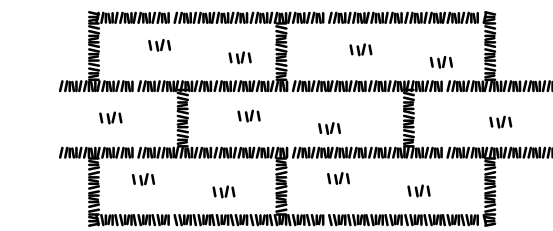
Ds2

PERMANENT GRASSING

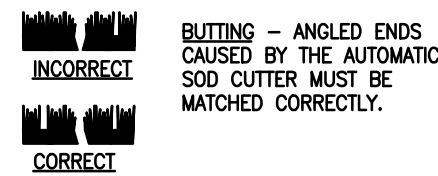
Ds3

FERTILIZERS

NOT TO SCALE

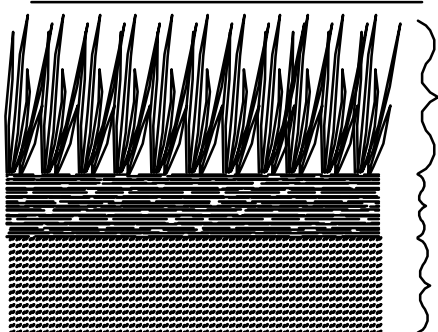


LAY SOD IN A STAGGERED PATTERN, BUT THE STRIPS TIGHTLY AGAINST EACH OTHER, DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PEDES.



1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.
2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAY.
3. MOW WHEN THE SOD IS ESTABLISHED - IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

APPEARANCE OF GOOD SOD



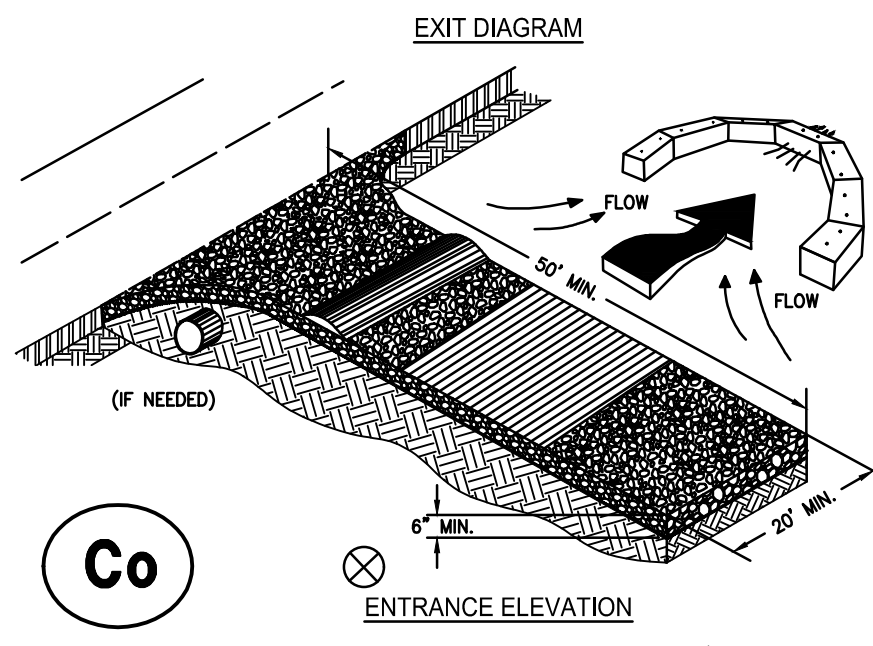
SHADIS OR GRASS BLADES. GRASS SHOULD BE GREEN AND HEALTHY, MOWED AT A 2"-3" CUTTING HEIGHT.
THATCH - GRASS CLIPPINGS AND DEAD LEAVES, UP TO 1/2" THICK.
ROOT ZONE - SOIL AND ROOTS. SHOULD BE 1/2"-3/4" THICK, WITH DENSE ROOT MAT FOR STRENGTH.

SODDING

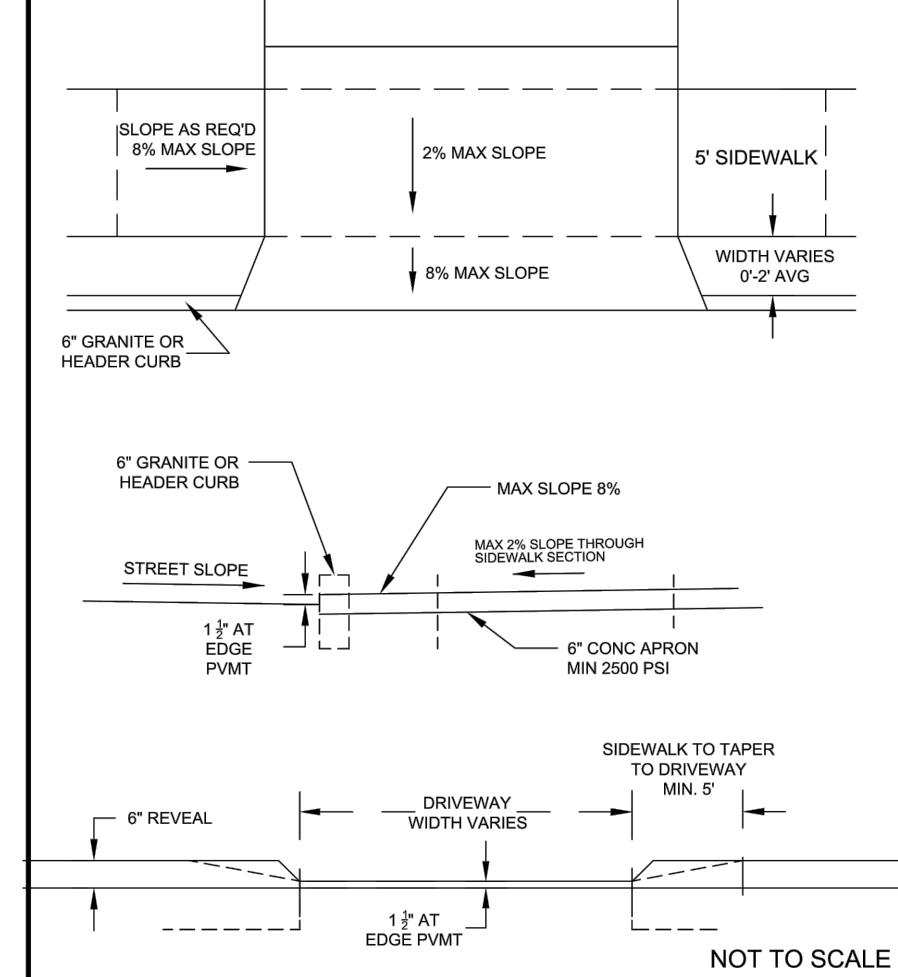
NOT TO SCALE

Ds4

CRUSHED STONE CONSTRUCTION EXIT



NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20".
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (OVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TRUCK WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

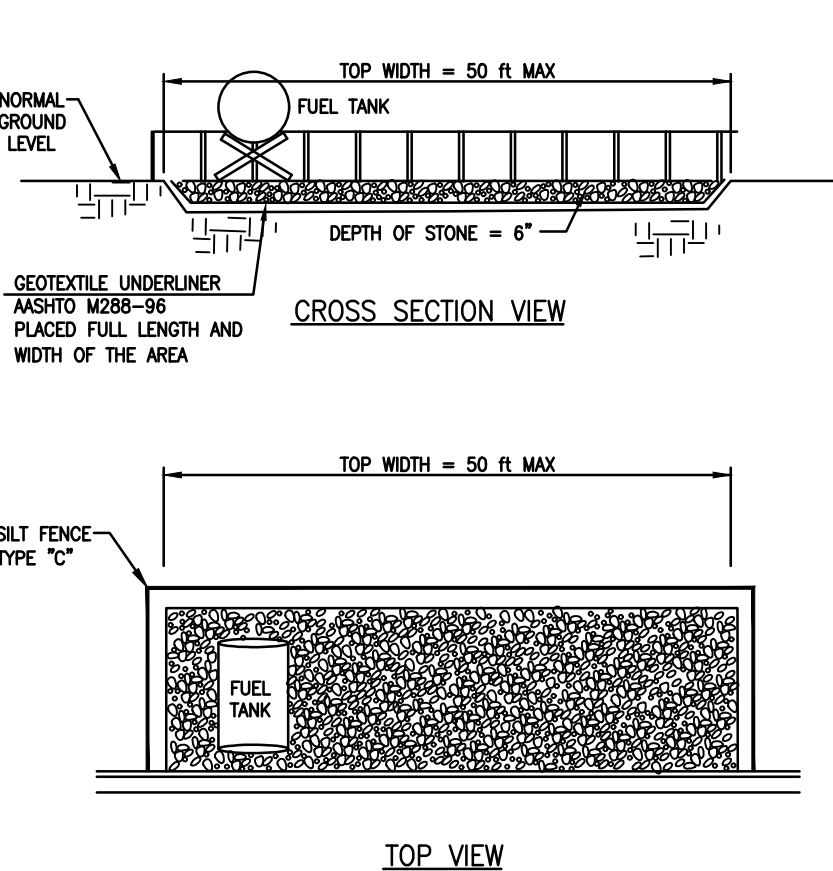


NOTES:
1. ALL PIPE AROUND BUILDING TO BE 8" SDR-35 PVC.
2. GRATE TO BE 1' X 1' MIN AND BE DUCTILE IRON MATERIAL.
3. ALL PVC PIPE SHALL HAVE GRAVEL BEAD INSTALLED BELOW PIPE (1 SF OF GRAVEL PER 1 LF OF PVC PIPE).
CLEANOUTS TO BE INSTALLED EVERY 100 LF OF CONTINUOUS UNDERGROUND PIPE IF NO DOWNSPOUT IS AVAILABLE.

YARD INLET

NOT TO SCALE

3



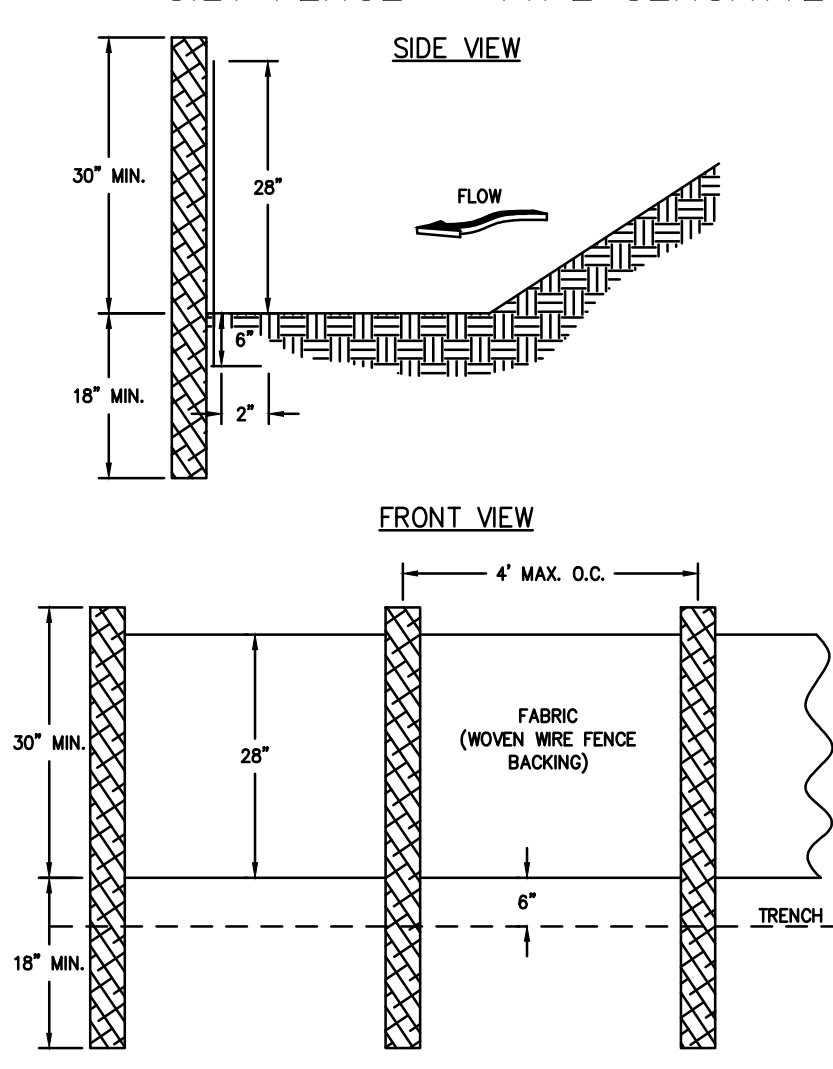
NOTES:
1. AREA DESIGNATED FOR FUEL STORAGE AND CONCRETE TRUCKS TO DUMP EXCESS CONCRETE.

DISPOSAL AREA

NOT TO SCALE

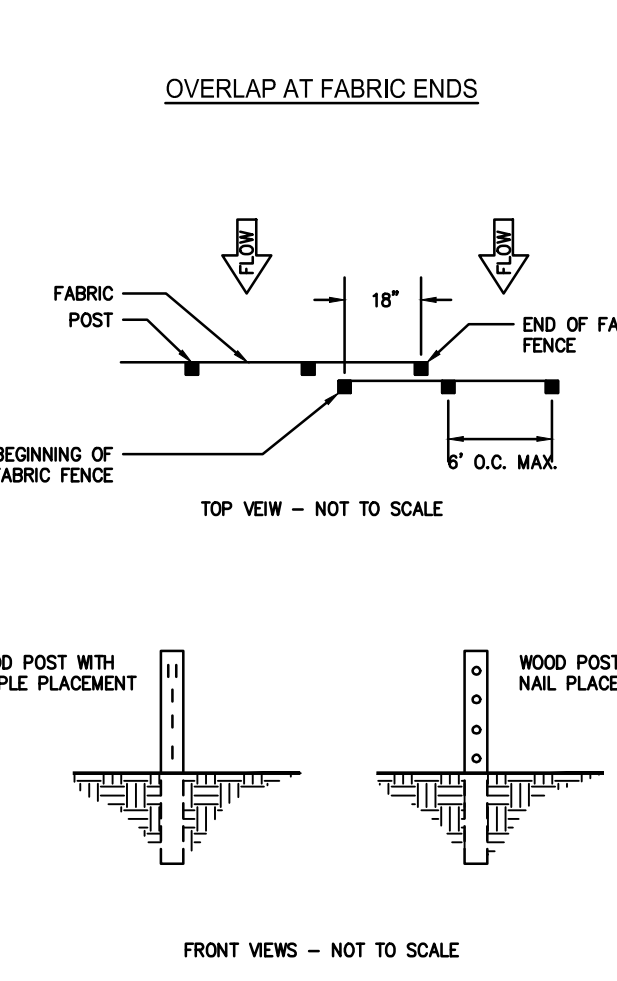
Da

SILT FENCE - TYPE SENSITIVE



NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

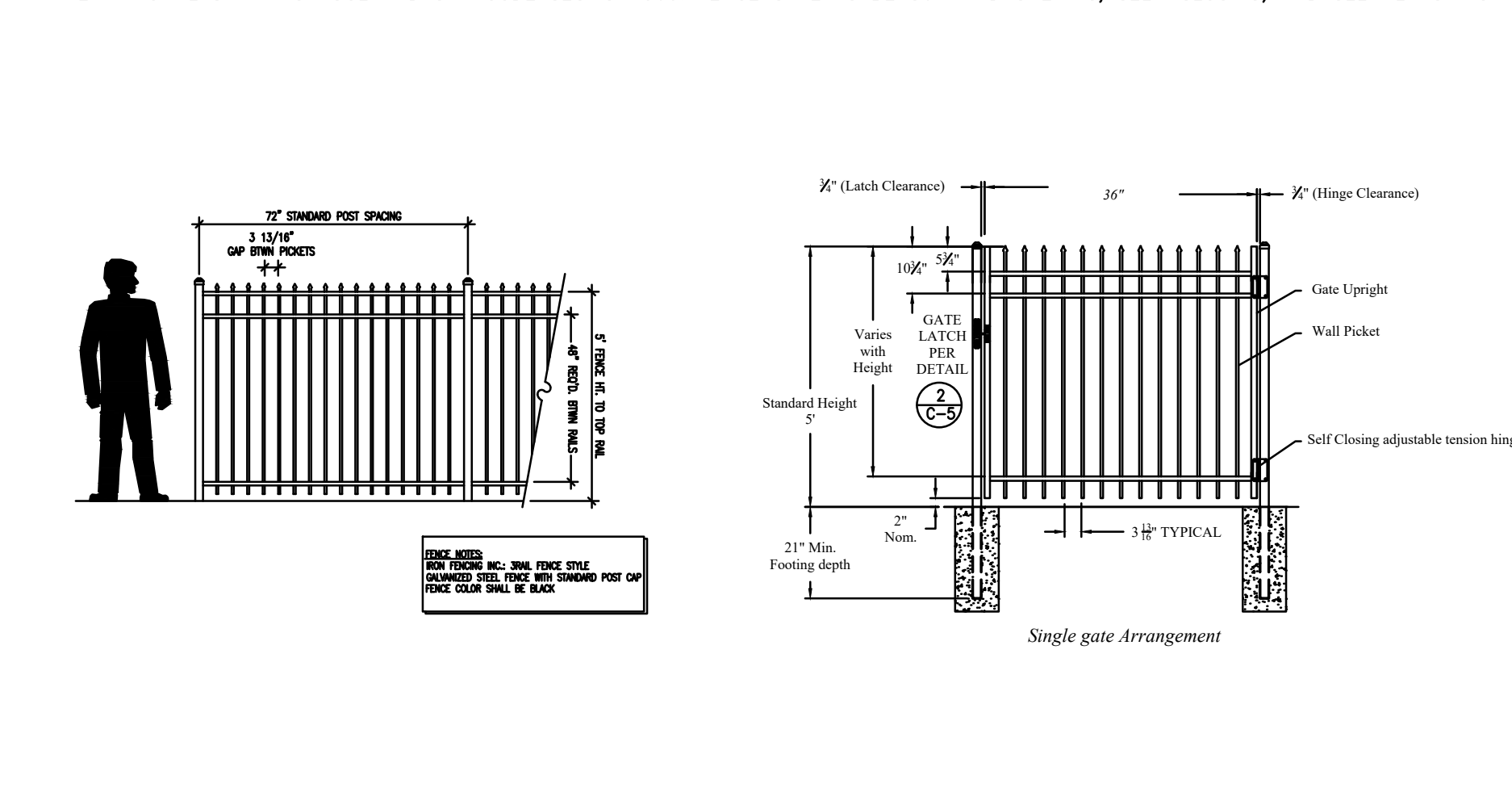
FASTENERS FOR SILT FENCES



NOTES:
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

Sd1-S

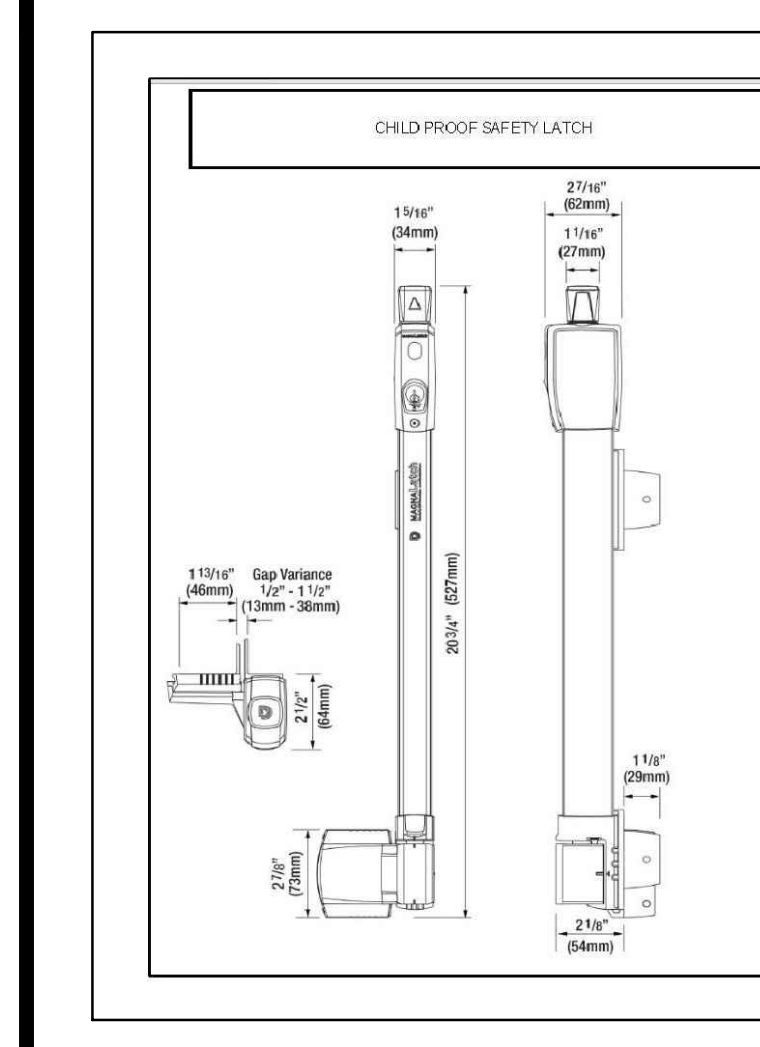
EXISTING FENCE TO BE USED AS THE POOL ENCLOSURE. FENCE MUST BE IN COMPLIANCE WITH ORDINANCE REQ. SECTION 8.2.10.H AND INTERNATIONAL SWIMMING POOL AND SPA CODE SECTION 305. FENCE GATE TO BE OUTWARD OPENING, SELF-CLOSING, AND SELF-LATCHING.



5' HIGH DECORATIVE ALUMINUM FENCE

NOT TO SCALE

1



LATCH DETAIL

NOT TO SCALE

2