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IF YOU DIG GEORGIA...  
CALL US FIRST!  
UTILITIES PROTECTION CENTER  
IT'S THE LAW

TREE PRESCRIPTIONS TO BE PROVIDED FOR ALL EXISTING TREES TO REMAIN WITH CRITICAL ROOT ZONE IMPACTS BETWEEN 20%-33%. (2 TOTAL)

DEVELOPER TO PROVIDE A PAID TREE PRESCRIPTION BY A CERTIFIED ARBORIST AND PRESENT TO THE CITY OF BROOKHAVEN FOR REVIEW AND APPROVAL PRIOR TO RECEIVING A LAND DISTURBANCE PERMIT.

REFER TO SHEET T1.2 FOR REPLACEMENT TREES.

TREE REPLACEMENT CALCULATIONS:

SITE AREA:  
RESIDENTIAL SITE: 0.707 ACRES (AC); LOT 1: .248 AC, LOT 2: .229, LOT 3: .228  
LOT 1: 53" TO REMAIN (32.24" REQUIRED)  
LOT 2 : 60" TO REMAIN (29.77" REQUIRED)  
LOT 3: 48" TO REMAIN (29" REQUIRED)

ZONING: R-75

MINIMUM REQUIRED TREE DENSITY: 130 TREE INCHES REQUIRED PER ACRE. EACH LOT WILL COMPLY WITH TREE DENSITY REQUIREMENTS THROUGH THE EXISTING TREES TO BE SAVED.

- .707 AC X 130 INCHES PER ACRE = 92.3 INCHES REQUIRED IN ADDITION TO THE SPECIMEN TREE REMOVAL RECOMPENSE
- (1) 33 INCH AND (1) 31 INCH SPECIMEN TREE TO BE REMOVED @ 1.5 X INCHES= 96 INCHES TO BE RECOMPENSED FOR TWO SPECIMEN TREES TO BE REMOVED.
- 96 DIVIDED BY 6" = 16 (6" CALIPER) TREES REQUIRED
- 16 (6" CALIPER) TREES TO BE REPLACED ON SITE
  - 5 (6" CALIPER) WILLOW OAK
  - 6 (6" CALIPER) YOSHINO CRYPTOMERIA/SOUTHERN MAGNOLIA
  - 5 (6" CALIPER) EASTERN RED CEDAR

TREE PRESCRIPTIONS TO BE PROVIDED FOR TREES # 9, #10, #15, #16 AND # 24. A CERTIFIED ARBORIST WILL PREPARE THE TREE PRESCRIPTION AND THE OWNER WILL PAY THE PRESCRIPTION IN FULL PRIOR TO OBTAINING A LAND DISTURBANCE PERMIT AS REQUIRED BY THE CITY OF BROOKHAVEN.

LEVEL II TREE ASSESSMENT PREPARED BY CERTIFIED ARBORIST 'SPEAKING FOR THE TREES'. REFER TO SIGNED ARBORIST REPORT FOR DETAILED INFORMATION AND PHOTOS

Tree Id	Common Name	Scientific Name	Condition	Crown Spread	DBH	Notes	Specimen Tree Recomp. = Inches x 1.5	Specimen Inches to be Protected= Inches x 1.5	Non-Specimen Inches to be Protected
1	Southern red oak	Quercus falcata	Poor	16277.76	36	Hollow with torsion crack			
2	White oak	Quercus alba	Poor	24316.16	44	Hollow			
3	Flowering dogwood	Cornus florida	Poor	1519.76	11	Much die back. Non specimen			
4	Flowering dogwood	Cornus florida	Fair	1808.64	12	Some defects. Non specimen.			
5	Common crapemyrtle	Lagerstroemia spp	Good	1256	10				17
6	Water oak	Quercus nigra	Good	3629.84	17				
7	Tulip tree	Liriodendron tulipifera	Good	7850	25	boundary			
8	White oak	Quercus alba	Good	6644.24	23				
9	Southern red oak	Quercus falcata	Fair	16277.76	36	Some bleeding cankers.		54	
10	Southern red oak	Quercus falcata	Fair	13677.84	33			49.5	
11			Dead	15386	35				
12	Southern red oak	Quercus falcata	Fair	15386	35	lost multiple branches. Boundary			
13	Water oak	Quercus nigra	Good	1256	10				
14	Post oak	Quercus stellata	Good	4534.16	19				
15	Southern red oak	Quercus falcata	Fair	9156.24	27			40.5	
16	Southern red oak	Quercus falcata	Good	12070.16	31			46.5	
17	White oak	Quercus alba	Good	3629.84	17				17
18	White oak	Quercus alba	Dead	2826	15				
19	Tulip tree	Liriodendron tulipifera	Good	615.44	7	Boundary			
20	Hickory	Carya spp	Good	4534.16	19	Boundary			
21	Eastern red cedar	Juniperus virginiana	Good	1519.76	11	Boundary			
22	Loblolly pine	Pinus taeda	Good	5024	20				
23	Southern red oak	Quercus falcata	Fair	18136.64	38	Bad phototropic lean. Not a specimen			
24	White oak	Quercus alba	Good	10562.96	29	White oak boundary tree, good		46.5	
25	Tulip tree	Liriodendron tulipifera	Good	12070.16	31				
26	Flowering dogwood	Cornus florida	Fair	452.16	6				
27	Tulip tree	Liriodendron tulipifera	Good	13677.84	33	Thin, lack of vigor, tip die back. Non specimen		49.5	
28	White oak	Quercus alba	Fair	17194.64	37				
							96	190.5	34

SEC. 14-55 - PROTECTION OF TREES DURING CONSTRUCTION.

(A) TREES IDENTIFIED TO BE PRESERVED AND COUNTED TOWARD THE TREE DENSITY REQUIREMENTS SHALL HAVE TEMPORARY CHAIN LINK OR OTHER METAL FENCE, A MINIMUM OF FIVE FEET IN HEIGHT, INSTALLED EXACTLY WHERE IT IS LOCATED ON THE APPROVED TREE PLAN.

EACH PANEL OF FENCING IS TO BE TIGHTLY BOUND TO THE ADJACENT PANELS AND FIRMLY STABILIZED AT THE BASE. A SIGN SHALL BE PLACED ON THE FENCING STATING 'KEEP OUT.' THIS AREA IS DESIGNATED AS THE TREE PROTECTION AREA, AN AREA ENCOMPASSING THE CRITICAL ROOT ZONE OF A TREE THAT SHALL REMAIN IN A PERVIOUS STATE AND UNDISTURBED.

(B) A TWO-INCH LAYER OF ORGANIC MATTER MUST BE PRESENT OVER THE CRITICAL ROOT ZONE IN TREE PROTECTION AREAS. UTILIZING FRESH WOOD CHIPS FROM APPROVED TREE REMOVALS ON-SITE TO PROVIDE A TWO-INCH LAYER OF PROTECTIVE ORGANIC MATTER IS A PERMISSIBLE PRACTICE AND IS ENCOURAGED.

(C) ANY FORM OF ENCROACHMENT INTO THE TREE PROTECTION AREA MAY RESULT IN A 'STOP WORK' ORDER FROM THE CITY. THE ENCROACHMENT AND PROTECTION MUST BE IMMEDIATELY CORRECTED. IF THE LEVEL OF ENCROACHMENT HAS LIKELY CAUSED SIGNIFICANT IMPACT TO THE TREES, AS DETERMINED BY A QUALIFIED PROFESSIONAL, ADDITIONAL TREE PROTECTION MEASURES, INCLUDING BUT NOT LIMITED TO ROOT PRUNING, DECOMPACTION, AND PRESCRIPTIVE SOIL TREATMENTS MAY ALSO BE REQUIRED BEFORE THE 'STOP WORK' ORDER IS LIFTED. COURT SUMMONS AS A VIOLATION OF THIS SECTION WILL BE ISSUED FOR PROLONGED, REPEAT, OR SEVERE FORMS OF ENCROACHMENT SIGNIFICANTLY COMPROMISING THE HEALTH OF A TREE OR TREES.

(D) TREES IDENTIFIED TO BE PRESERVED SHOULD BE BRANCH AND ROOT PRUNED ACCORDING TO ANSI A300 STANDARDS. THIS IS ONLY A REQUIREMENT FOR TREES THAT WILL LIKELY HAVE CROWN AND/OR ROOT ENCROACHMENT PER THE APPROVED TREE PLAN.

(E) TREE CARE PRESCRIPTIONS DEVELOPED BY A QUALIFIED PROFESSIONAL WILL BE REQUIRED FOR ANY TREE ON THE PERMITTING PROPERTY OR BOUNDARY TREE WITH 20 PERCENT CRZ IMPACT OR GREATER PROPOSED OR AT THE DISCRETION OF THE CITY ARBORIST DUE TO THE INTENSIVE NATURE OF PROPOSED DEVELOPMENT ACTIVITY WITHIN THE CRITICAL ROOT ZONE. THIS INCLUDES BUT IS NOT LIMITED TO STORM WATER DEVICES, POOLS OR SPAs, OR CONSTRUCTION EXIT ENCROACHING WITHIN A CRZ.

(F) BOUNDARY TREE PROTECTION. A BOUNDARY TREE IS ANY TREE LOCATED ON A PROPERTY WITH A CRITICAL ROOT ZONE THAT EXTENDS INTO THE SOIL OF AN ADJACENT PROPERTY.

(F1) THE PERMITTEE SHALL PROVIDE A BOUNDARY TREE AGREEMENT (BTA) TO THE OWNER OF THE TREE IF PROPOSED CRITICAL ROOT ZONE IMPACT IS 20 PERCENT OR GREATER, OR AT THE DISCRETION OF THE CITY ARBORIST, BASED ON THE INTENSIVE NATURE OF PROPOSED DEVELOPMENT ACTIVITY WITHIN THE CRITICAL ROOT ZONE. THIS INCLUDES BUT IS NOT LIMITED TO STORM WATER DEVICES, POOLS AND SPAs, AND CONSTRUCTION EXITS. THE BOUNDARY TREE AGREEMENT MUST SPECIFY:

A. THE EXACT TREE OR TREES B. PROPOSED CRZ PERCENT IMPACT. C. PROTECTION OF THE ENTIRE STRUCTURAL ROOT PLATE. ASSUMPTION OF FULL LIABILITY FOR THE PROTECTION OF THE TREE. IF THE TREE IS PROPOSED TO HAVE A CRZ IMPACT OF 20 PERCENT OR GREATER, A TREE CARE PRESCRIPTION BY A QUALIFIED PROFESSIONAL MUST BE OFFERED TO THE OWNER OF THE TREE. E. PURSUANT TO (D) IN THIS SECTION, SECTION 14-48(H), AND SEC. 14-50 (TREE PRUNING DEFINITION), SPECIFY THAT ANY NECESSARY CROWN PRUNING FOR BUILDING HEIGHT CLEARANCE WILL BE CONDUCTED ACCORDING TO ANSI A300 STANDARDS. THIS INCLUDES NEVER REMOVING MORE THAN 25 PERCENT OF THE LIVE BRANCHES, NEVER CUTTING A BRANCH BELOW THE BRANCH COLLAR, NEVER USING SPIKES TO ASCEND A TREE (CAUSING INJURY TO THE BARK AND VASCULAR TISSUE), AND AVOIDANCE OF PRUNING SCAFFOLD (LARGE) LIMBS ALL THE WAY BACK TO THE MAIN TRUNK OF THE TREE WHEREVER POSSIBLE. IF THE PERMITTEE INTENDS TO CONDUCT ANY LEVEL OF PRUNING ON A BOUNDARY TREE, ADHERENCE TO THESE GUIDELINES SHALL BE EXPLICITLY COMMUNICATED IN THE BOUNDARY TREE AGREEMENT. F. ASSUMPTION OF FUTURE REMOVAL AND REPLACEMENT COSTS IF THE TREE FAILS OR HAS BEGUN TO DECLINE IN HEALTH, AS DETERMINED BY A QUALIFIED PROFESSIONAL. G. THE BTA IS NOT TO BE WRITTEN IN SUCH A WAY THAT IT IS AN ENTITLEMENT TO DESTROY THE TREE. H. PERMITTEE FULL NAME, PHONE NUMBER, EMAIL ADDRESS, PHYSICAL ADDRESS, AND SIGNATURE. I. BOUNDARY TREE'S OWNER FULL NAME, PHONE NUMBER, EMAIL ADDRESS, PHYSICAL ADDRESS, AND SIGNATURE.

(F2) THE OWNER OF A BOUNDARY TREE MAY REQUEST THAT A TREE PROTECTION ESCROW ACCOUNT BE ESTABLISHED PRIOR TO THE ISSUANCE OF ANY PERMIT PROPOSING IMPACT OF 20 PERCENT OR GREATER. THE ESCROW ACCOUNT REQUESTED CANNOT EXCEED THE APPRAISED VALUE OF THE TREE BY A QUALIFIED PROFESSIONAL AND CANNOT BE LESS THAN THE MARKET COST FOR THE REMOVAL AND REPLACEMENT OF THE TREE.

(F3) IF THE PERMITTEE CANNOT REASONABLY OBTAIN A SIGNATURE FOR THE BOUNDARY TREE AGREEMENT, THE PERMITTEE MAY PROVIDE TO THE CITY A COPY OF THE BTA AND A LETTER OF RECEIPT OF THE BTA BY CERTIFIED MAIL.

(F4) PERMITTEES ASSOCIATED WITH LAND DISTURBANCE ACTIVITY SHALL NOT BE PERMITTED TO REMOVE OR DESTROY TREES THAT ARE NOT LOCATED ON THE PERMITTING PROPERTY; THIS INCLUDES APPLYING FOR A TREE REMOVAL PERMIT ON BEHALF OF AN ADJACENT PROPERTY OWNER.

(G) FINAL LANDSCAPING AND STABILIZATION (1) PER SECTION 14-48(K), NO GRADING OR DISTURBANCE WITHIN THE DESIGNATED TREE PROTECTION AREA IS PERMITTED. THIS INCLUDES THE TIME DURING WHICH THE CITY LAND DEVELOPMENT INSPECTOR ALLOWS FOR ALL EROSION CONTROL MEASURES AND TREE PROTECTION FENCING TO BE REMOVED FROM THE SITE FOR FINAL LANDSCAPING AND STABILIZATION. (2) THE ONLY ACTIVITY ASSOCIATED WITH LAND DEVELOPMENT THAT IS PERMITTED WITHIN THE TREE PROTECTION AREA IS A ALL ACTIVITY ASSOCIATED WITH THE CONTROL AND REMOVAL OF INVASIVE VEGETATION. B. THE APPLICATION OF MULCH, WHICH IS NOT TO EXCEED A DEPTH OF FOUR INCHES.

PER SECTION 14-50, MULCH IS AN ORGANIC MATERIAL SPREAD AROUND THE BASE OF A PLANT OR ON A PLANT BED TO ENRICH AND INSULATE THE SOIL. MULCH SHOULD NEVER MAKE CONTACT WITH A TREE ABOVE THE ROOT COLLAR.

ACCEPTABLE TYPES OF MULCH INCLUDE PINE STRAW, SHREDDED HARDWOOD, WOOD CHIPS, BARK CHIPS, OR LEAF LITTER. SYNTHETIC OR ARTIFICIAL MULCHES AND ARTIFICIALLY DYED MULCHES ARE NOT PERMITTED FOR NEW MULCH APPLICATIONS TO PRESERVED AND REPLACED TREES.

(H) SURVIVORSHIP OF PRESERVED AND PLANTED TREES (1) FOR ALL PERMITTED PROJECTS INVOLVING LAND DISTURBANCE, ALL TREES SHOWN TO BE PRESERVED OR PLANTED ON THE SITE PLAN APPROVED BY THE CITY MUST REMAIN ALIVE AND HEALTHY. ANY SUBJECT TREE THAT DIES OR EXHIBITS SIGNS OF DECLINE OR FAILURE WITHIN FIVE YEARS OF THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR PASSING OF THE SITE FINAL INSPECTION MUST BE REMOVED AND REPLACED BY THE PERMITTEE.

REFER TO SHEET T1.3 FOR BROOKHAVEN CONSTRUCTION DETAILS



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REVISIONS

NO.	DATE	ISSUE

PROJECT NAME

MASOUDI SUBDIVISION

PROJECT ADDRESS

1133 GAIL DRIVE  
BROOKHAVEN, GA 30319

CITY OF BROOKHAVEN

DEKALB COUNTY

LD #

OWNER

SAADAT MASOUDI  
1776 NORTH  
DRUID HILLS,  
BROOKHAVEN, GA  
30319

SHEET TITLE

TREE REMOVAL AND PRESERVATION PLAN

DATE 02/28/2024

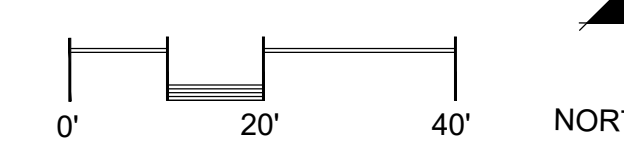
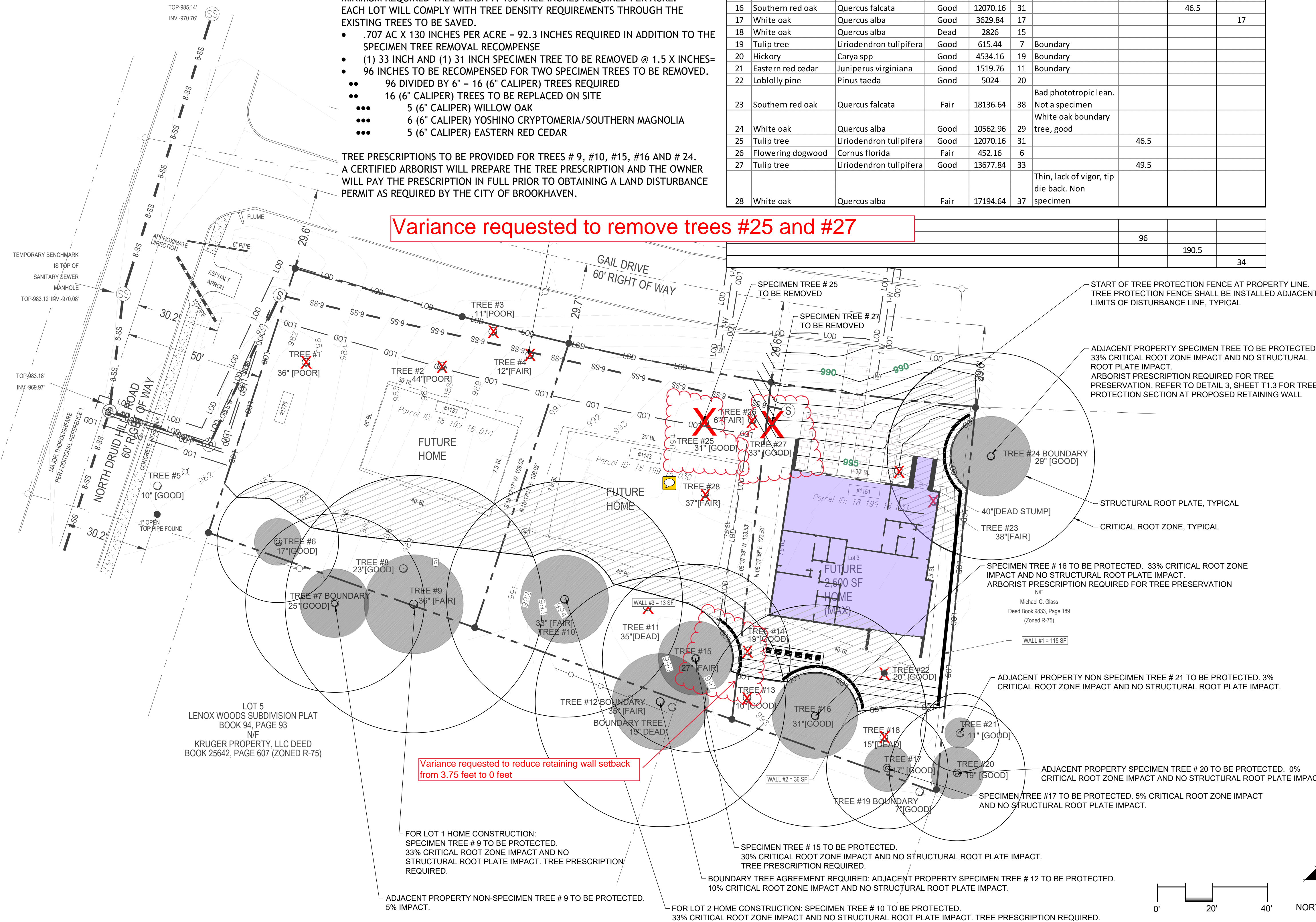
PROJ. NO. 2023038

PROFESSIONAL SEAL



SHEET

T1.2  
VARIANCE SUBMITTAL

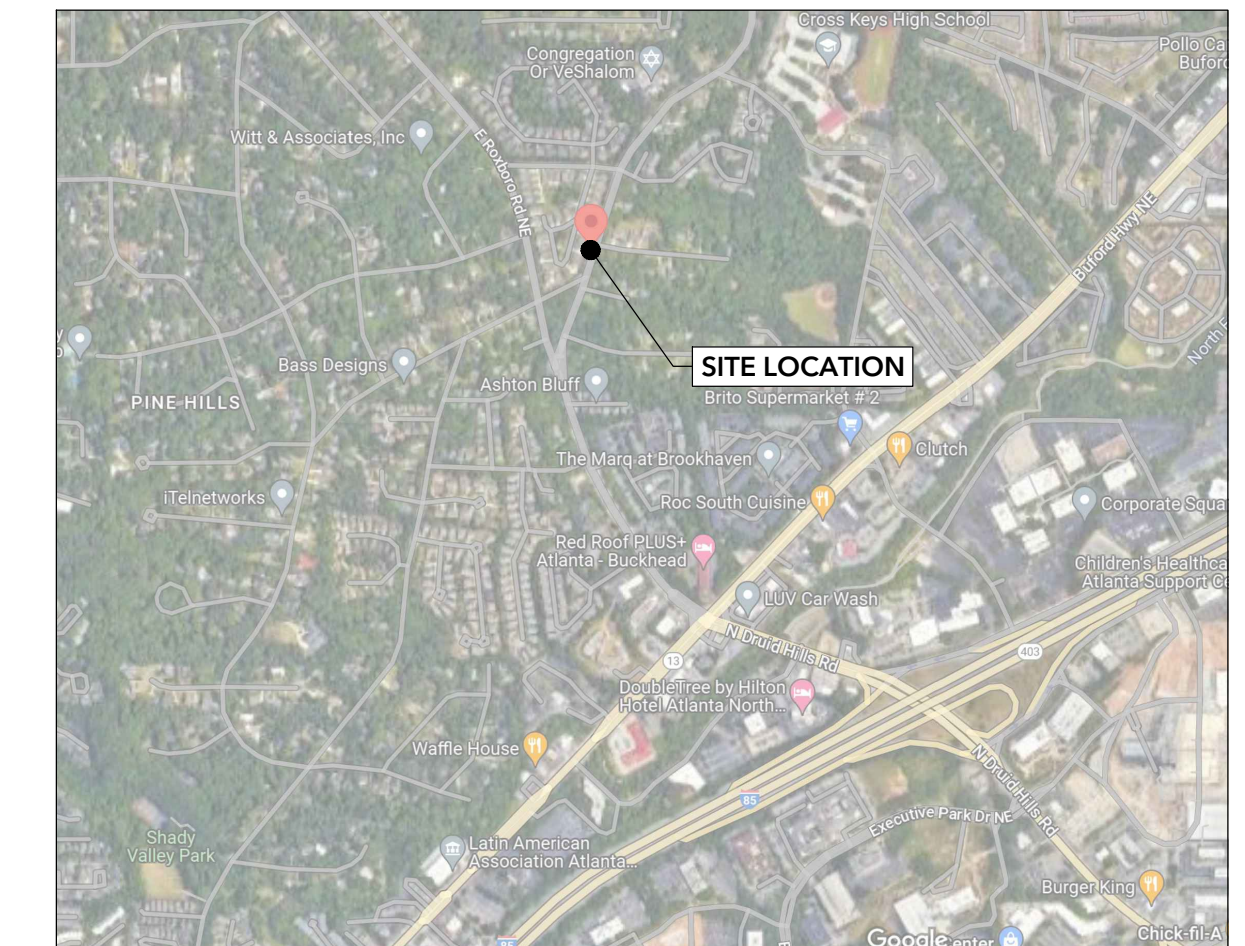


Received by PZ 3-6-24

**EXTENDED DRY WELL CALCULATIONS:**

**\*REQUIRED VOLUME CALCULATIONS:**  
 $WQ = (1.2712 \times R^2) \times A = 92.2 \text{ CF}$   
 $R = 0.05 + (0.009 \times I_a) = 0.191 \rightarrow \text{WEIGHTED VOLUME COEFFICIENT FOR 15.7% IMPERVIOUS AREA}$   
 $I_a = \text{IMPERVIOUS AREA (\%)} = 15.7\%$   
 $A = \text{IMPERVIOUS AREA (SF)} = 4,898 \text{ SF}$   
**\*EQUATIONS FROM 2016 GEORGIA STORMWATER MANAGEMENT MANUAL VOLUME 2 TECHNICAL HANDBOOK**

**PROVIDED VOLUME CALCULATIONS:**  
 $\text{STORAGE} = 48 \times 2.28 \times 5.58 = 484 \text{ CF}$   
 $\text{VOLUME PROVIDED} = 484 \text{ CF} \times 0.4 \text{ (40\% VOID)} = 193.6$   
 $\text{WQ PROVIDED} = 193.6 \text{ CF}$



VICINITY MAP  
N.T.S

- GENERAL GRADING NOTES**
- ALL CRITICAL SPOT GRADES ALONG CURB ARE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE SPECIFIED.
  - NO SLOPES ARE TO BE STEEPER THAN 2:1
  - ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
  - ALL TREES TO HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
  - TOPOGRAPHIC SURVEY BY GEORGIA LAND SURVEYING COMPANY, DATED 6/19/2018.
  - FLOOD PLAIN IS NOT PRESENT ON THIS SITE PER FEMA FIRM MAP NUMBER 13089C0054K, DATED 08/15/2019.
  - EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
  - OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL STORM SEWER ON PRIVATE PROPERTY.
  - THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
  - VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.
  - ALL CLEANOUTS LOCATED IN PAVEMENT TO HAVE TRAFFIC RATED LIDS

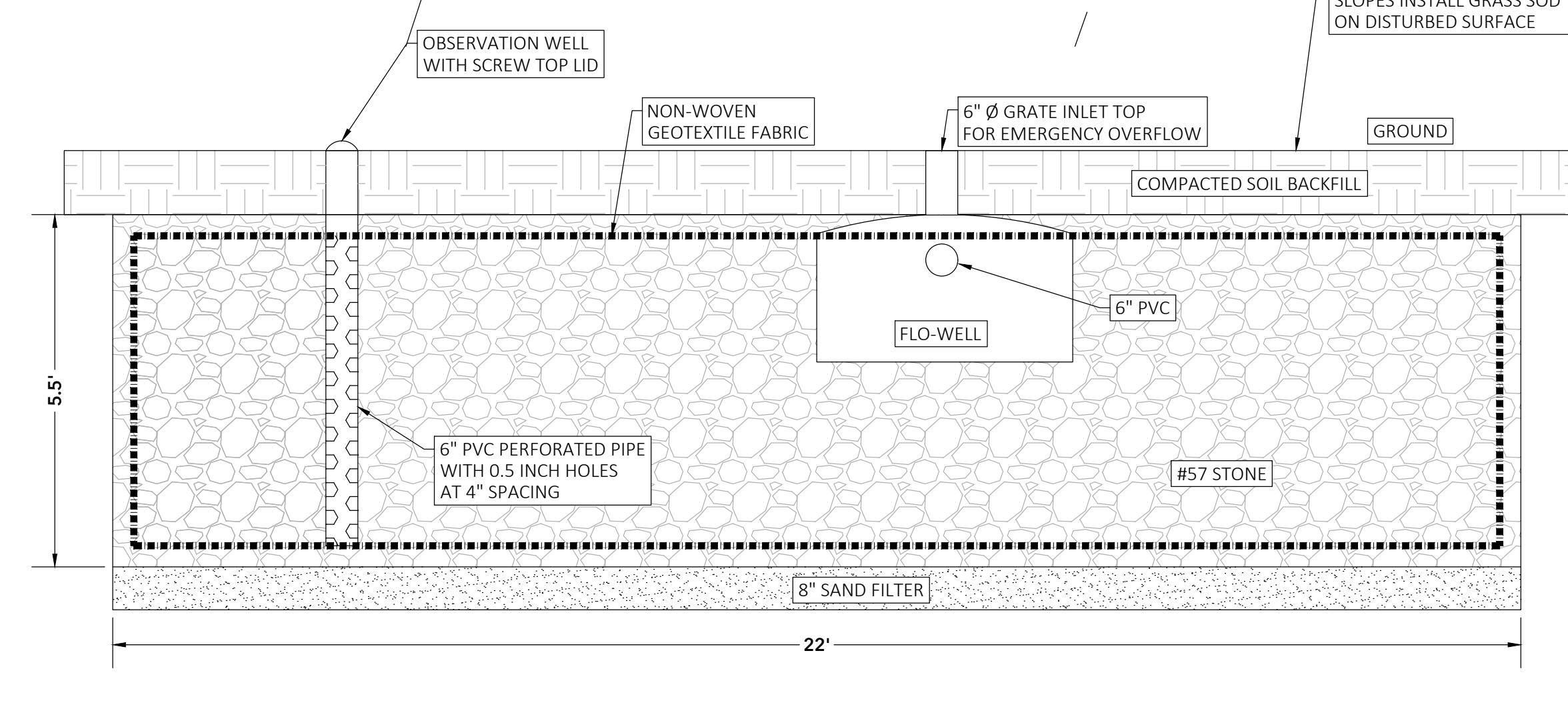
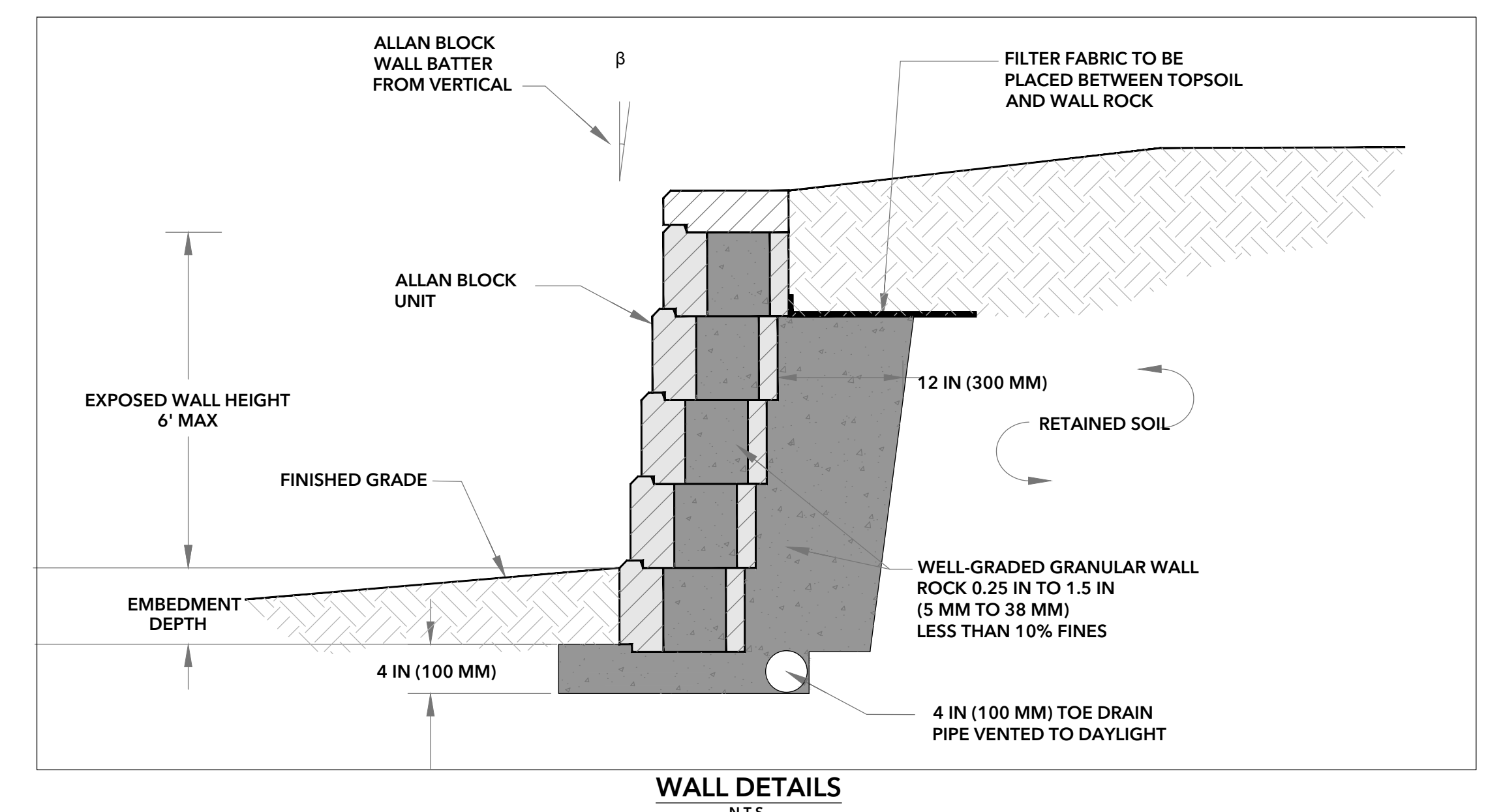
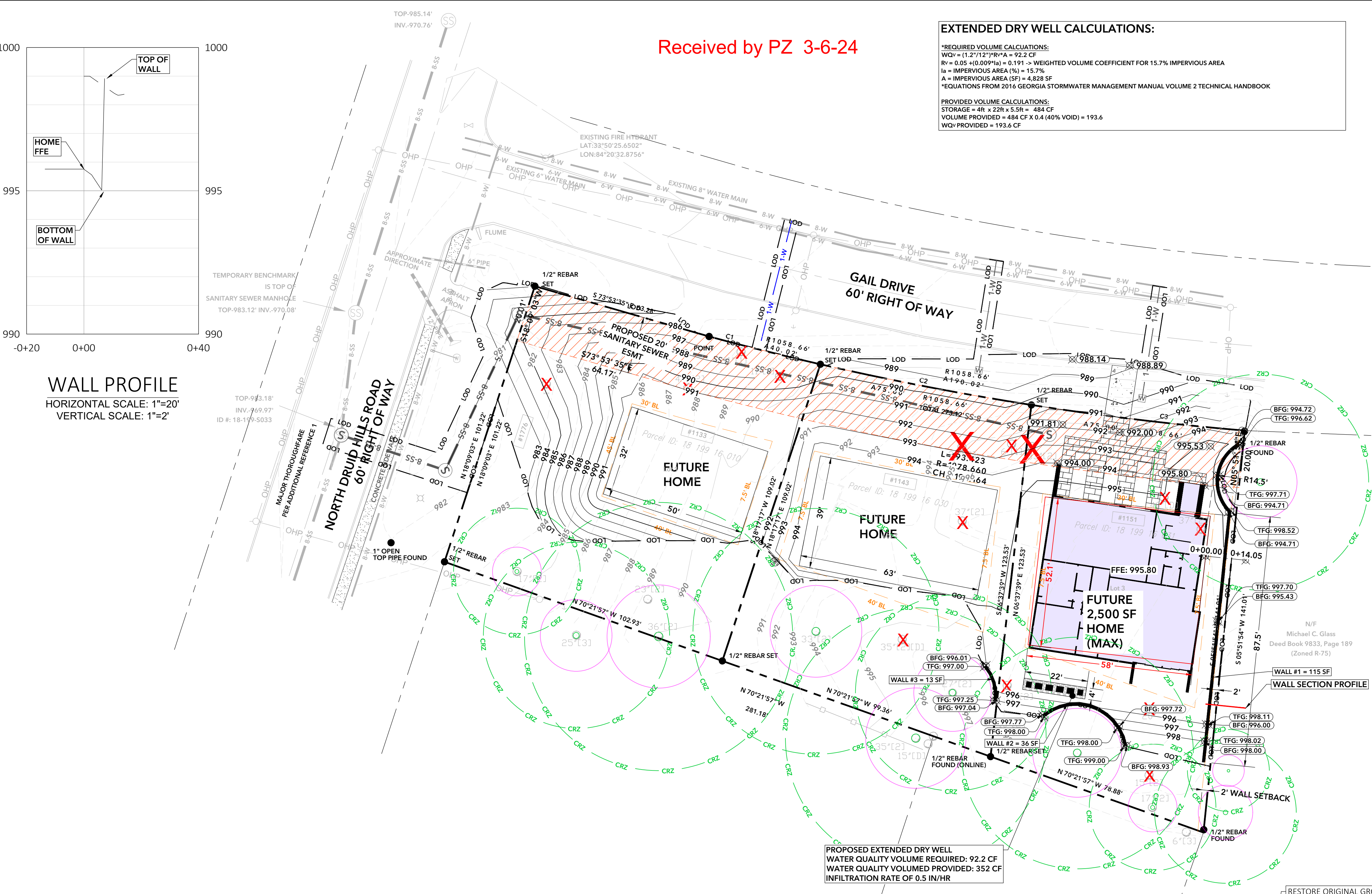
- GENERAL STORM NOTES**
- MINIMUM 3' COVER OVER ALL PIPES IN NON-TRAFFIC AREAS. 4' MINIMUM COVER UNDER PAVEMENT AND TRAFFIC AREAS.
  - FITTINGS AND CONNECTIONS PER MANUFACTURERS SPECIFICATIONS
  - PIPE BEDDING PER FULTON COUNTY STANDARDS
  - APPROXIMATE LOCATION OF ROOF LEADERS ARE SHOWN ON THE PLANS OF THIS PERMIT SET. SIZE OF PIPE TO BE DETERMINED. CONTRACTOR TO CONTACT ENGINEER IF CONFLICT OCCURS.

**UTILITY CAUTION NOTE:**

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**GRADING LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING SETBACK LINE
---	EXISTING SETBACK LINE
---	100 YEAR FLOOD PLAIN
---	PROPOSED RETAINING WALL
---	LIMITS OF DISTURBANCE
---	EXISTING MINOR CONTOURS
---	EXISTING MAJOR CONTOURS
---	PROPOSED MINOR CONTOURS
---	PROPOSED MAJOR CONTOURS
---	EXISTING SPOT ELEVATION
---	EXISTING TOP OF FINISHED GRADE
---	EXISTING BOTTOM OF FINISHED GRADE
---	PROPOSED SPOT ELEVATION
---	PROPOSED TOP OF FINISHED GRADE
---	PROPOSED BOTTOM OF FINISHED GRADE
---	PROPOSED SLOPE ARROW
---	EXISTING STORM LINE
---	PROPOSED STORM LINE
---	EXISTING GRATE INLET
---	SINGLE WING CURB INLET
---	DOUBLE WING CURB INLET
---	STORM MANHOLE (JUNCTION BOX)



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

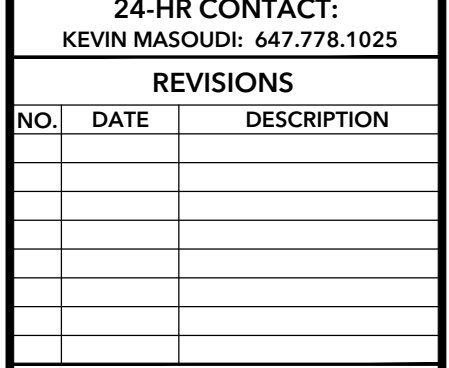
PREPARED BY:  
**GRAN SOL ENGINEERING**  
 5274 SILVER CREEK DRIVE SW  
 LILBURN, GA 30047  
 PHONE: 678.361.8074

PREPARED FOR:  
**SAADAT MASOUDI**  
 PHONE: 647.778.1025

24-HR CONTACT:  
 KEVIN MASOUDI: 647.778.1025

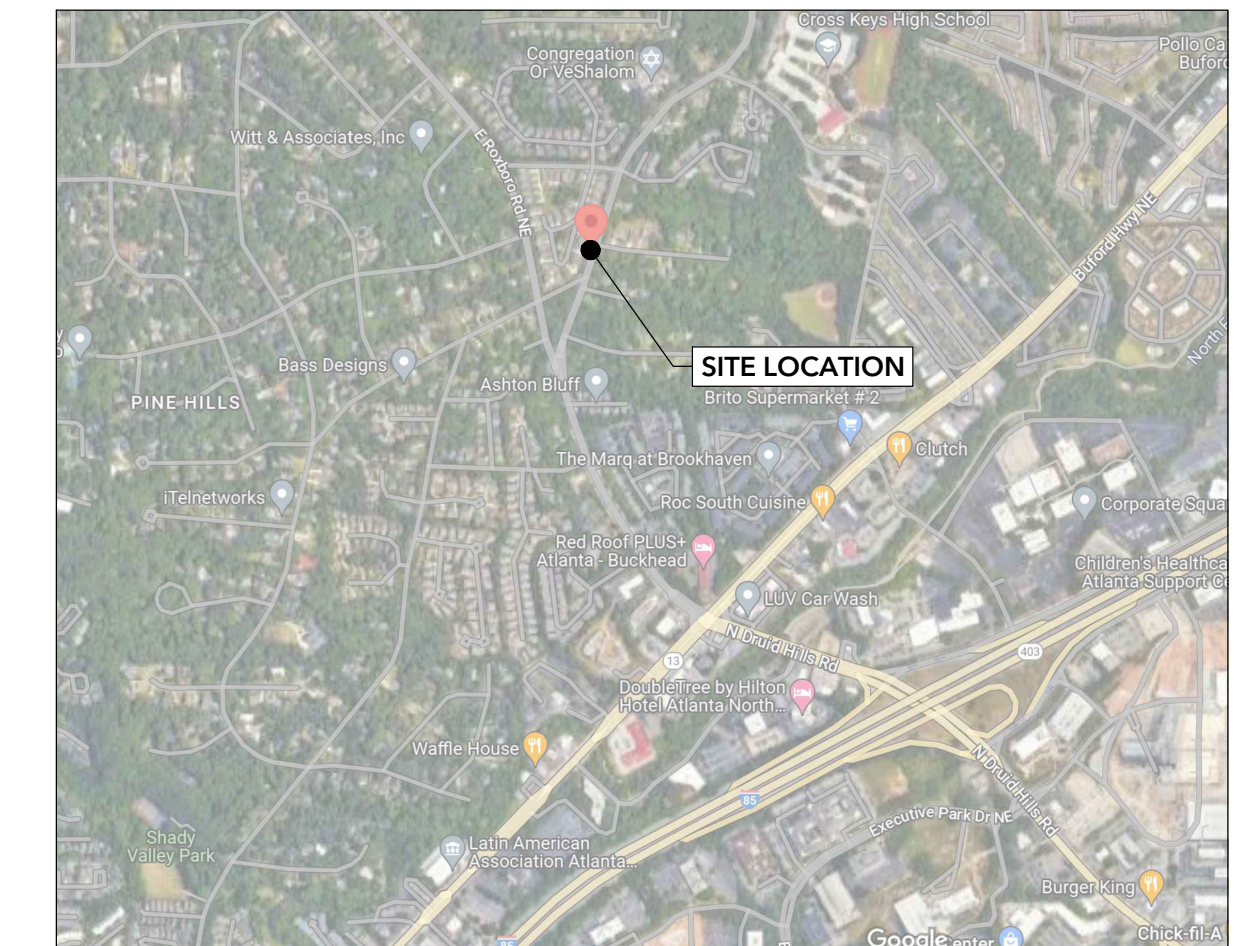
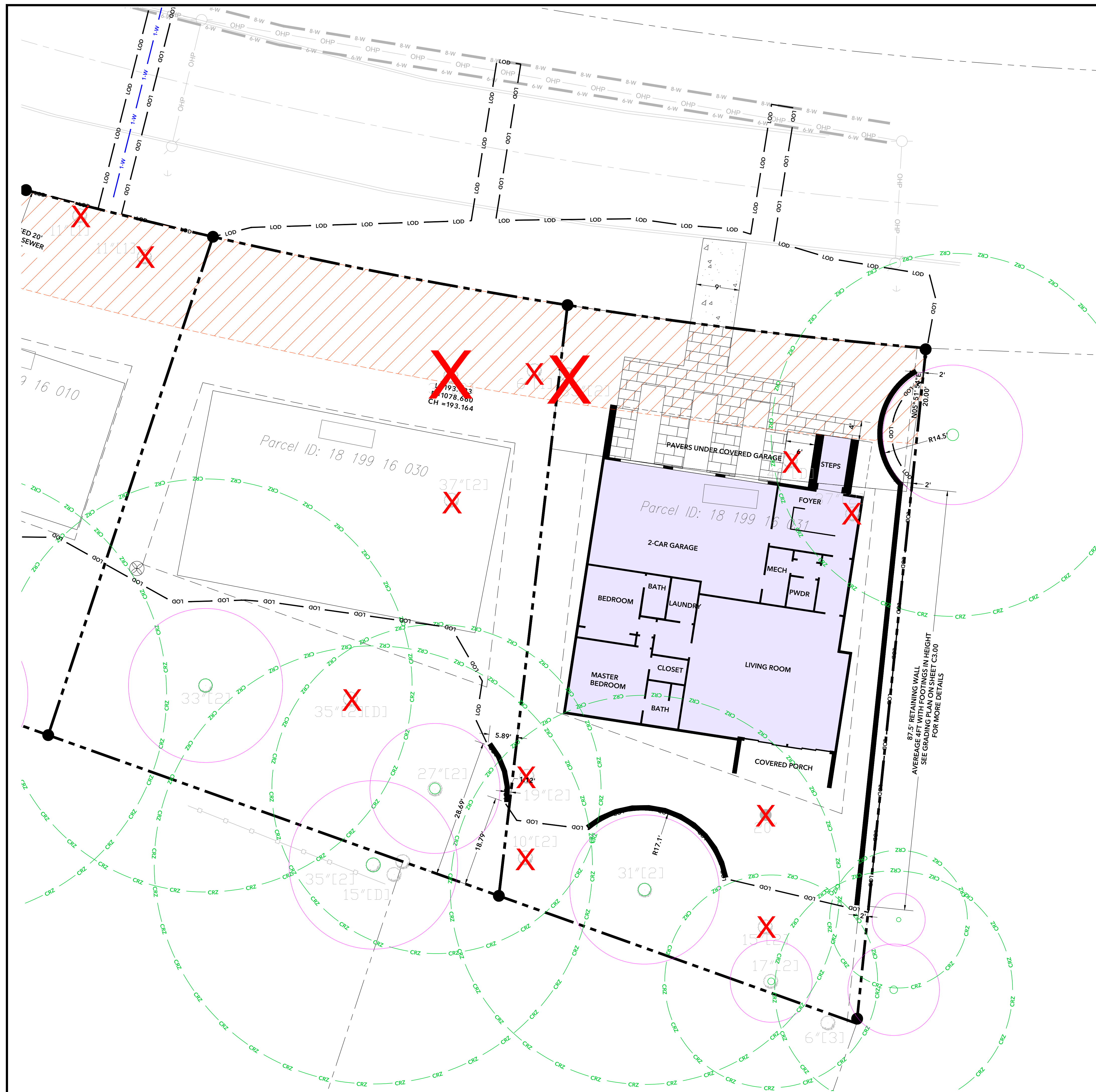
**REVISIONS**

NO.	DATE	DESCRIPTION



GSWCC LEVEL II #: 000084134  
 SCALE: 1" = 20'  
 DATE: 03/04/2024  
 PROJECT #: 2023.006  
 SHEET: **C3.00**

FILE NAME: C:\Users\kquinn\OneDrive\Documents\GRAN SOL\2023\006 - 1775 N Druid Hills\DWG\SHEETS\C3.00 GRADING PLAN.dwg  
 LAST SAVED BY: COUIN 3/4/24 AT 5:22 PM  
 PLOTTED BY: COUIN 3/4/24 AT 5:04 PM  
 PAPER SIZE: ARCH FULL BLEED (36.00 X 24.00 INCHES)  
 DEVICE: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3  
 PLOT STYLE: CIVIL.DWT



VICINITY MAP  
N.T.S

**SITE DATA SUMMARY**

ADDRESS	1133 GAIL DRIVE, BROOKHAVEN, GA 30319
TOTAL PROPERTY AREA:	0.707± AC (30779± S.F.)
DISTURBED AREA:	0.59± AC (25700± S.F.)
IMPERVIOUS AREA:	0.07± AC (2,996± S.F.)
PERVIOUS AREA:	0.637± AC (27,783± S.F.)

**ZONING CLASSIFICATION**

ZONING:	R-75
ADJACENT ZONING:	R-75
JURISDICTION:	CITY OF BROOKHAVEN

**BUILDING SUMMARY**

PROPOSED BUILDING AREA:	2,500 SF
BUILDING HEIGHT:	40 FT
MINIMUM LOT AREA:	10,000 SF
MINIMUM LOT WIDTH:	75 FT
MAXIMUM IMPERVIOUS AREA:	35%
MINIMUM SIDE STREET SETBACK:	20 FT
FRONT SETBACK:	45' (THOROUGHFARES) 35' (MINOR THOROUGHFARES) 30' (COLLECTOR STREETS & ALL OTHER)
SIDE SETBACK:	7.5'
REAR SETBACK:	40'

**SITE LEGEND**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- FZ 100 YEAR FLOOD PLAIN
- PROPOSED RETAINING WALL
- PERMEABLE PAVERS
- CONCRETE
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT

- GENERAL SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL INTERIOR CURB RADII TO BE 5' UNLESS OTHERWISE NOTED.
  - PARKING LOT AND ROAD STRIPING SHALL BE IN ACCORDANCE WITH GDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
  - ACCESSIBLE PARKING, SIGNAGE, WARNING STRIPES AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
  - ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
  - ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS SPECIFY OTHERWISE.
  - TOPOGRAPHIC SURVEY BY GEORGIA LAND SURVEYING COMPANY, DATED 6/19/2018.
  - FLOODPLAIN IS NOT PRESENT ON SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER 13089C0054K, DATED 08/15/2019.
  - OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
  - TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. ALL BARRICADES AND SIGNS SHALL BE FURNISHED AND USED BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL/STATE AND CURRENT SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGN, TO WARN AND KEEP PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL JURISDICTION. IF A PHYSICAL MAILBOX IS REQUIRED, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION PLACEMENT, AND INSTALLATION.
  - BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS.
  - SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
  - SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDINGS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC., GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

**VARIANCE NOTE**

PROPOSED RETAINING WALL: VARIANCE REQUESTED TO REDUCE THE RETAINING WALL SETBACK FROM 3.75 FEET TO 0 FEET ALONG THE EASTERN PROPERTY LINE.

FUTURE PROPOSED WALL VARIANCE WILL BE APPLIED FOR ONCE LOT 2 (1143 GAIL DRIVE) CONSTRUCTION PLAN ARE CREATED



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**DETAILED SITE PLAN**

MASOUDI SUBDIVISION  
1133 GAIL DRIVE  
BROOKHAVEN, GA 30319

PREPARED BY:  
GRAN SOL ENGINEERING  
PASSION THROUGH DESIGN

5274 SILVER CREEK DRIVE SW  
LILBURN, GA 30047  
PHONE: 678.361.8074

PREPARED FOR:  
SAADAT MASOUDI  
PHONE: 647.778.1025

24-HR CONTACT:  
KEVIN MASOUDI: 647.778.1025

**REVISIONS**

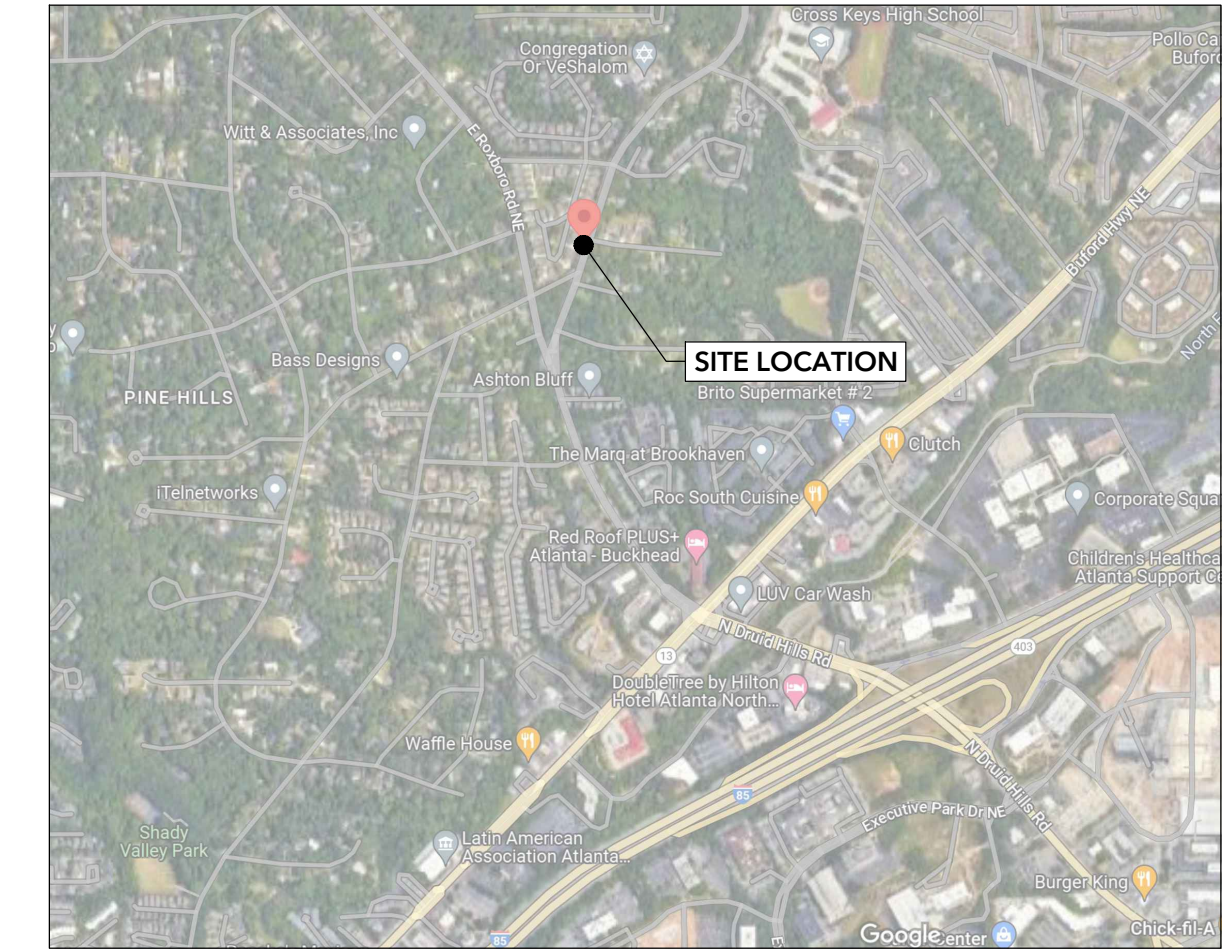
NO.	DATE	DESCRIPTION

SEAL

GSWCC LEVEL II #: 000084134  
SCALE: 1" = 10'  
DATE: 02/28/2024  
PROJECT #: 2023.006  
SHEET: C2.01

**DEKALB COUNTY NOTES**

- ALL DESIGN AND CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LIFT STATIONS AND BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARD LATEST EDITION. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
- DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EASEMENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF THE "AS-BUILT PLANS."
- FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVED BY THE DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT BEFORE CHANGES ARE IMPLEMENTED
- PROJECTS LOCATED WITHIN THE CITIES, THE DEVELOPER SHALL PROVIDE A MAINTENANCE BOND TO DEKALB COUNTY WATERSHED MANAGEMENT PRIOR TO APPROVAL OF AS-BUILT PLANS
- CONTRACTOR MUST JET CLEAN AND T.V. SANITARY SEWER AFTER ALL CONNECTIONS IS MADE TO THE EXISTING SEWER TIE-IN LOCATIONS. TRACER WIRE IS TO BE INSTALLED FOR ALL PVC PIPES.
- WATER AND SEWER FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES:
  - NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC. THESE FEES ARE TO BE PAID AT 330 WEST PONCE DE LEON AVE, 2ND FLOOR.
  - FAILURE IN PAYMENT OF THESE FEES WILL RESULT IN POSTPONEMENT OF THE PLAN REVIEW PROCESS.
  - CALL (404) 371-4918 FOR FEE CALCULATIONS OR ANY QUESTIONS.



**VICINITY MAP**  
N.T.S



Know what's below.  
Call before you dig.

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**LOT 3 COVERAGE CALCULATIONS:**

PROPOSED HOUSE	2,500 SF
DRIVEWAY PAVERS	343 SF (686 SF OF PAVERS AT 50% IMPERVIOUS)
WALLS	164 SF
<b>TOTAL IMPERVIOUS AREA:</b>	<b>164 SF</b>
<b>TOTAL SITE AREA:</b>	<b>30,779 SF</b>
<b>% OF IMPERVIOUS SURFACE</b>	<b>30.78%</b>

**SITE DATA SUMMARY**

ADDRESS	1133 GAIL DRIVE, BROOKHAVEN, GA 30319
TOTAL PROPERTY AREA:	0.707± AC (30779± S.F.)
DISTURBED AREA:	0.59± AC (25700± S.F.)
IMPERVIOUS AREA:	0.07± AC (2,996± S.F.)
PERVIOUS AREA:	0.637± AC (27,783± S.F.)

**ZONING CLASSIFICATION**

ZONING:	R-75
ADJACENT ZONING:	R-75
JURISDICTION:	CITY OF BROOKHAVEN

**BUILDING SUMMARY**

PROPOSED BUILDING AREA:	2,500 SF
BUILDING HEIGHT:	40 FT
MINIMUM LOT AREA:	10,000 SF
MINIMUM LOT WIDTH:	75 FT
MINIMUM IMPERVIOUS AREA:	35%
MINIMUM SIDE STREET SETBACK:	20 FT
FRONT SETBACK:	45' (THOROUGHFARES) 35' (MINOR THOROUGHFARES) 30' (COLLECTOR STREETS & ALL OTHER)
SIDE SETBACK:	7.5'
REAR SETBACK:	40'

**SITE LEGEND**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- 100 YEAR FLOOD PLAIN
- PROPOSED RETAINING WALL
- PERMEABLE PAVERS
- CONCRETE
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT

**GENERAL SITE NOTES**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL INTERIOR CURB RADII TO BE 5' UNLESS OTHERWISE NOTED.
- PARKING LOT AND ROAD STRIPING SHALL BE IN ACCORDANCE WITH GDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- ACCESSIBLE PARKING, SIGNAGE, WARNING STRIPES AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS SPECIFY OTHERWISE.
- TOPOGRAPHIC SURVEY BY GEORGIA LAND SURVEYING COMPANY, DATED 6/19/2018.
- FLOODPLAIN IS NOT PRESENT ON SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER 13089C0054K, DATED 08/15/2019.
- OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
- TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. ALL BARRICADES AND SIGNS SHALL BE FURNISHED AND USED BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL/STATE AND CURRENT SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGN, TO WARN AND KEEP PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL JURISDICTION. IF A PHYSICAL MAILBOX IS REQUIRED, GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION PLACEMENT, AND INSTALLATION.
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS.
- SITE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS.
- SITE WORK CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5' OF THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC., GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.



**SITE PLAN**  
MASOUDI SUBDIVISION  
1133 GAIL DRIVE  
BROOKHAVEN, GA 30319

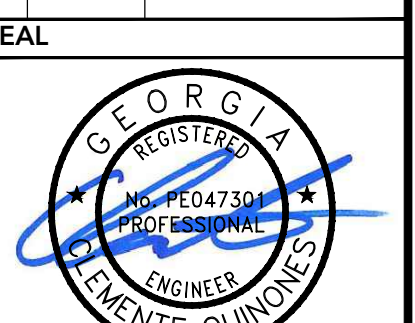
PREPARED BY:  
**GRAN SOL ENGINEERING**  
5274 SILVER CREEK DRIVE SW  
LILBURN, GA 30047  
PHONE: 678.361.8074

PREPARED FOR:  
**SAADAT MASOUDI**  
PHONE: 647.778.1025

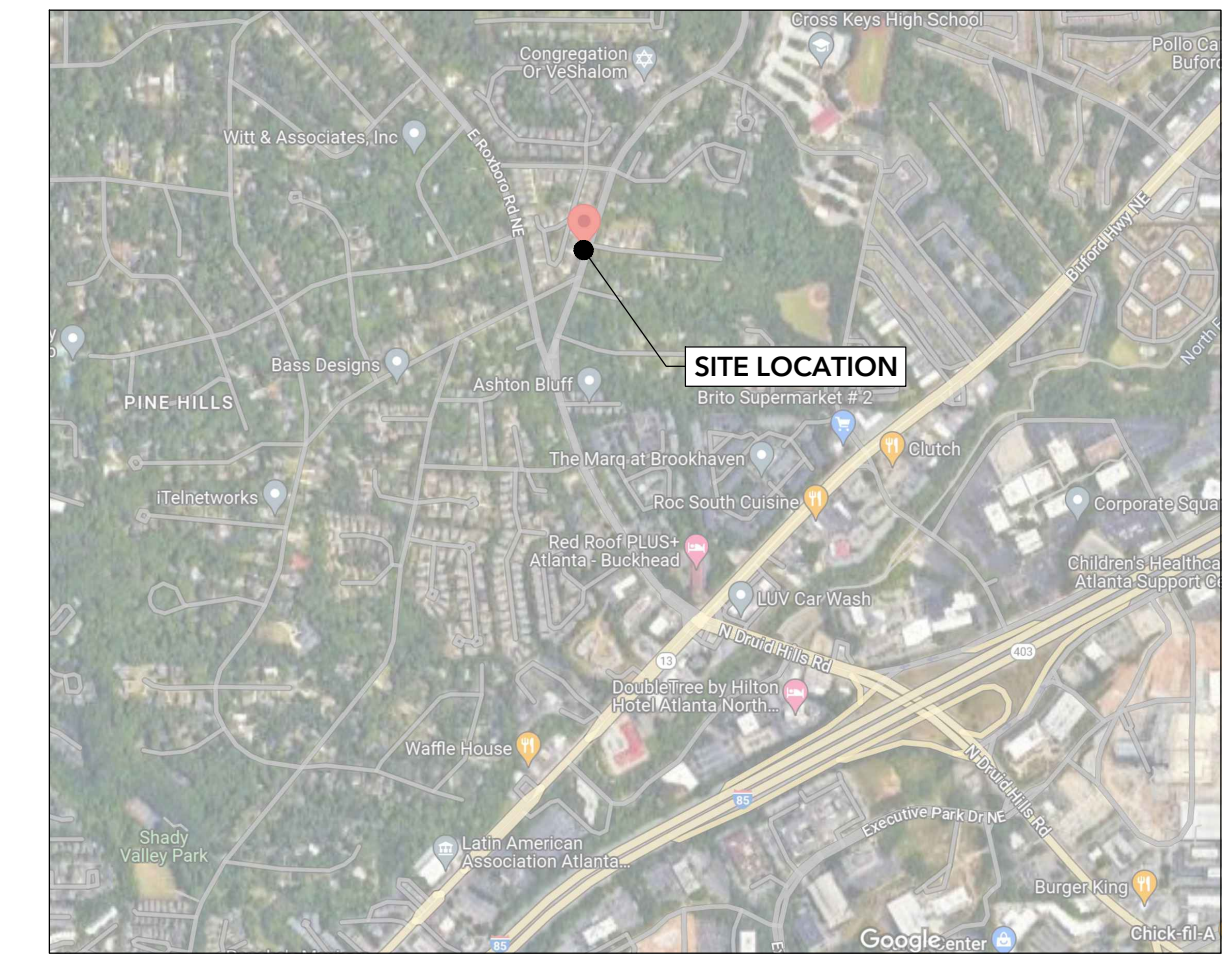
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KEVIN MASOUDI: 647.778.1025

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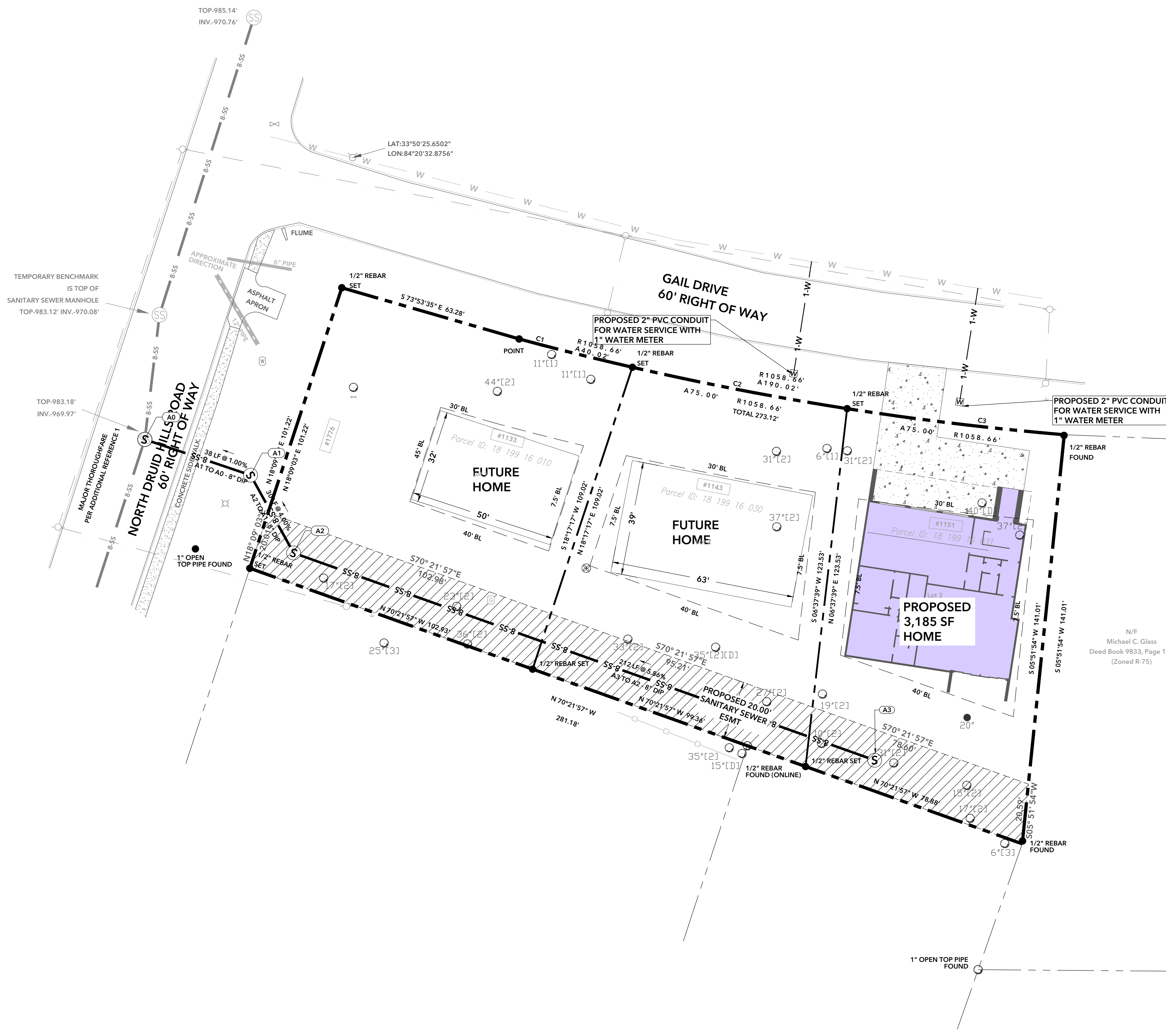
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SHEET  
**C2.00**



VICINITY MAP  
N.T.S



- GENERAL UTILITY NOTES**
- CONTRACTOR TO NOTIFY OWNER/DEVELOPER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS DIFFER FROM DESIGN ASSUMPTIONS.
  - LOCATION OF UNDERGROUND UTILITIES SHOWN IS BASED ON A SURVEY BY GEORGIA LAND SURVEYING COMPANY, DATED 6/19/2018.
  - APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES.
  - REFER TO ARCHITECTURAL PLANS FOR ON SITE UTILITY CONDUITS FOR SITE LIGHTING, ETC. AND UTILITY ENTRY AND EXIT LOCATIONS
  - VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.

**UTILITY CAUTION NOTE:**  
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**UTILITY LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING SETBACK LINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED SETBACK LINE
---	EASEMENT LINE
---	FOC
---	OHP
---	UGP
---	G
---	12-SS
---	FM
---	OHT
---	UGT
---	W
⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEANOUT
●	POST INDICATOR VALVE
W	WATER METER
↘ ↙	WATER BENDS 11.25° - 90°
⊕	WATER TEE WITH THRUST BLOCK
⊕	GATE VALVE
DDC	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
⊕	FIRE HYDRANT
⊕	FIRE DEPARTMENT CONNECTION
⊕	GREASE TRAP
T	ELECTRICAL TRANSFORMER
⊕	POWER POLE

**811**  
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**UTILITY PLAN**  
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1151 GAIL DRIVE  
BROOKHAVEN, GA 30319

PREPARED BY:  
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REVISIONS

NO.	DATE	DESCRIPTION

SEAL

GEORGIA REGISTERED ENGINEER  
K. MASOUDI  
PE# 47307  
EXPIRES 12/31/2025

GSWCC LEVEL II #: 0000084134  
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